



**NOTICE OF TOWN COUNCIL MEETING
FOR THE TOWN OF CROSS ROADS
MONDAY, DECEMBER 13, 2021 at 7:00 P.M.**

**LOCATION: IN PERSON at
1401 FM 424, CROSSROADS, TEXAS 76227
Or**

View via Zoom Meeting

<https://us02web.zoom.us/j/86894472078>

Meeting ID: 868 9447 2078

One tap mobile

+13462487799,,86894472078# US (Houston)

***Note: All applicants should attend in person.**

1. Call to Order.
2. Roll Call.
3. Invocation – Mike Spencer, Denton Bible Church
4. Pledge of Allegiance – Chief Shaun Short
5. Council Member’s announcements and updates.
6. Mayor’s announcements and updates.
7. Citizens Input (Items on the agenda and not on the agenda)
If commenting via Zoom, please use the Raise Your Hand feature. Please state your full name before speaking. Please limit your comments to three minutes in duration. You are restricted from passing your time or any portion of unused minutes to another citizen for comment.
8. Updates; Discussion of Same.
 - Town Administrator Announcements and Updates – Kristi Gilbert
 - Financial Reports
 - Building Permits and Development
 - Law Enforcement – Chief Shaun Short
 - Fire Department – Chief Paul Rust
 - Parks and Recreation Board/Connectivity Committee/Municipal Development District

CONSENT AGENDA

9. Consider approval of the November 15, 2021 Council Meeting Minutes.
10. Consider approval of the November 2021 Financials.
11. Consider approval of an application for a tree removal permit submitted by Robert Poorman, for residential property located at 1030 E. Oak Shores Drive.

12. Consider approval of an application for a tree removal permit submitted by Janine Sprecher, for residential property located at 1071 E. Oak Shores Drive.
13. Consider approval of an application for a tree removal permit submitted by Reed Fiegener, for property located at 2000 E. Oak Shores Drive.
14. Consider approval of an ordinance establishing a construction work zone speed limit of 50 mph on US 380 within the corporate limits of the Town of Cross Roads.

REGULAR BUSINESS

15. CONDUCT A PUBLIC HEARING, discuss, and consider a request by Larry Coker on behalf of owner Anthony Cimino for a change in zoning from A-Agricultural to C2-Commerical 2 and request a Special Use Permit to allow for outdoor retail sales for Tract 87B, of the J. Bridges Abstract A0036A, generally located at 5400 FM 424, Cross Roads, Denton County, Texas. (2021-0809-01ZC, 2021-0809-03SUP)
16. Discuss and consider approval of an application for a tree removal permit submitted by Century Custom Homes, for property located at 5601 Foothills Dr. to remove trees greater than eighteen (18) inches in diameter at breast height.
17. Discuss and consider action on a commercial building permit application for property generally located at the southeast corner of FM 424 and US 380 for CVS Covid Testing Building. (2021-1108-04C)
18. Discuss and consider action on a request from K&P Signs, on behalf of Mod Pizza, appealing the Building Official's denial of a sign permit and requesting a variance from the sign regulations to allow for approximately 47.25 total square feet of signage on the rear of a strip building.
19. Discuss and consider action on Amendment One of the Professional Services Agreement between the Town of Cross Roads and SAFEbuilt, Texas, LLC.
20. Discuss and consider approval of a resolution authorizing appointments to the Cross Roads Municipal Development District.

EXECUTIVE SESSION

21. The Town Council will convene into Executive Session pursuant Texas Government Code, annotated, Chapter 551, Subchapter D for the following:
 - a. Texas Government Code, Section 551.074 Deliberation Regarding Personnel Matters – to discuss the duties of a public officer: Police Chief duties
22. Take action as may be necessary or appropriate on matters discussed in Executive session.

ADJOURN

Future Meetings and Events:

All citizens are invited to participate; schedule may change.

- *Holiday Pop-up Market – Saturday, December 18th, 2021 from 9:00 a.m. to 2:00 p.m.*
- *Town Hall closed for Christmas Holiday, Friday, December 24th, 2021*
- *Town Hall closed for New Year Holiday, Friday, December 31st, 2021*
- *Planning and Zoning Commission Meeting – Tuesday, January 4th, 2022 at 7:00 p.m.*
- *Parks and Recreation Board Meeting – Wednesday, January 5th, 2022 at 7:00 p.m.*
- *Town Council Meeting – Monday, January 10th, 2022 at 7:00 p.m. – Note, second Monday of the month*
- *Municipal Development District Meeting – Thursday, January 13th, 2022 at 7:00 p.m.*
- *Town Council Meeting – Monday, January 24th, 2022 at 7:00 p.m. – Note, fourth Monday of the month*

CERTIFICATION

I, the undersigned authority, do hereby certify that this Public Meeting Notice was posted on the official bulletin board at the Town Hall of the Town of Cross Roads, Texas on or before Friday, December 10th, 2021 by 5:00 p.m., in accordance with Chapter 551, Texas Government Code.

As authorized by Section 551.071 of the Texas Government Code, this meeting may be convened into closed executive session for seeking confidential legal advice from the Town Attorney on any agenda item listed herein.

This facility is wheelchair accessible and accessible parking spaces are available. For requests, please contact Town Hall at 940-365-9693. Reasonable accommodations will be made to assist your needs.

Donna Butler, Town Secretary

I certify that the attached notice and agenda of items to be considered by the Town Council of the Town of Cross Roads was removed by me from the front window of the Town of Cross Roads Town Hall, 1401 FM 424, Cross Roads, Texas, on the _____ day of _____, 2021.

_____, Title: _____



Police Department November Activity

11/1/2021

2100038 -3000 Blk of Moseley, Officer responded to the report of a found firearm. The owner was identified and claimed the property from the PD.

11/2/2021

2100039 -100 Blk Las Colinas TR, 36 YOM discovered deceased at his residence referred to ME.

2100040 -5100 Blk FM 424, 28 YOM involved in a hit and run located and arrested for DWI 2nd.

2100041 -US380 @ Fishtrap RD, Crash Investigation.

2100042 -9900 Blk US380, 29 YOM reported his high school ring was lost or stolen after he took it off and left it at his place of employment.

11/3/2021

2100043 - 11000 Blk US380, Officer investigated the report of a 42 YOF shoplifting.

2100044 - Report pulled in error.

2100045 - 11000 Blk US380, Reckless driver call resulted in arrest of a 67 YOF for DWI.

2100046 - 6500 Blk Fishtrap RD, Officer investigated a disturbance and cited 30 YOF for Assault - MC.

11/4/2021

No new reports

11/5/2021

2100047 - 1900 Blk Alamadine Ave, 35 YOM resident reported discovering damage to his vehicle caused by an unknown person at an unknown location.

2100048 - 11000 Blk US380, Officers investigating a suspicious person at a fuel station arrested a 54 YOM and 47 YOM for outside agency warrants and Possession Drug Paraphernalia.

11/6/2021

2100049 - Report pulled in error.

11/7/2021

2100050 - 1200 Blk Sunset Pt., 42 YOM reported prescription medication stolen from his unlocked vehicle the previous weekend.

11/08/2021



Police Department November Activity

21-00051 - 11000 US 380, 29 YOF issued a citation for shoplifting, MC.

21-00052 - 11000 US 380, 50 YOM harassing customers was issued a criminal trespass notice.

11/09/2021

2100053 - Crash Investigation, 380/720 Agency assist - information exchange.

2100054 - Out of Jurisdiction, PD walk in, 42 YOF resident reported concerns involving a custody dispute.

2100055 - Fishtrap @FM424, Crash Investigation.

2100056 - 3000 Blk US 380, 19 YOM stopped for a traffic violation issued a citation for pos. drug paraphernalia.

11/10/2021

2100057 - 11000 Blk US 380, Crash Investigation.

11/11/2021

21-00058 - 11000 Blk US 380, 41 YOF reported her vehicle on fire, LEFD responded and extinguished the fire - no injuries, on offense.

11/12/2021

2100059 - 10000 Blk US380, Officers responded to a hit and run in a parking lot. The person who left the scene was located, returned and information was exchanged.

2100060 - 11000 Blk US 380, 27 YOM stopped for a traffic violation was arrested for outside agency warrants.

2100061 - 11000 Blk US 380, 51 YOF reported a hit and run, the driver was identified and provided information.

11/13/2021

2100063 - 11000 Blk US 380, 23 YOM stopped for a traffic violation received a citation for pos of drug paraphernalia.

11/14/2021

2100062 - Ramp S. US377 to W US 380, Crash Investigation, a pedestrian was struck and killed by a vehicle entering W. US380 from S. US377.

2100063 - 11000 Blk US 380, 23 YOM stopped for a traffic violation received a citation for pos. of drug paraphernalia.



Police Department November Activity

2100064 - 11000 Blk US 380, 27 YOM was found asleep behind the wheel of his running vehicle and arrested for DWI.

2100065 - 10000 Blk US 380, Crash Investigation.

11/15/2021

2100067- 12000 Blk US380 Suspicious vehicle investigation resulted in discovery of drug paraphernalia, four 19-22 YOF receiving pos drug paraphernalia citations.

2100068-70 Report error

11/16/2021

2100071- 8700 US380 - Crash Investigation

2100072 - 3200 US380 - Traffic stop resulted in discovery of drug paraphernalia and 21 YOM receiving pos drug paraphernalia citations.

11/17/2021

2100073 - 11000 US380 - Traffic stop resulted in discovery of drug paraphernalia and 19 YOM receiving pos drug paraphernalia citations.

11/18/2021

2100074 - US 380 at Walmart Dr. - Crash Investigation.

11/19/2021

2100075 - Rpt pulled in Error

11/20/21

2100076 - 1900 Blk FM424 - Crash Investigation

2100077 - 6400 Blk US380 - 24 YOM stopped for a traffic violation issued citation for pos drug paraphernalia.

2100078 - 11000 Blk US380 - 18 YOM reported an unknown person pointed a handgun toward him then fled the location. Cleared as unfounded

11/21/21

No new reports

11/22/21

2100079 - Fishtrap @ US380 - Crash investigation

2100080 - 11000 Blk US380 - Officer investigated the report of employee theft. Suspect entered agreement with victim, no criminal charges.



Police Department November Activity

2100081 - 200 Blk Naylor - Traffic stop resulted in 22 YOM receiving citation for pos drug paraphernalia.

11/23/21

2100082 - 10000 Blk US380 - Traffic stop resulted in 18 YOM receiving citation for pos drug paraphernalia.

2100083 - Animal welfare concern.

2100084 - 11000 Tanger Ln - 51 YOF reported a missing front license plate.

11/24/21

2100085 - 60 YOF reported her purse left in a shopping cart was missing.

2100086 - 68 YOM resident reported his cell phone missing.

11/25/21 No Reports

11/26/21 No Reports

11/27/21

2100087 - 16000 Blk FM424 - Crash Investigation.

11/28/21

2100088 - 11000 Blk US380 - Investigation of a reckless driver call resulted in 17 YOM arrested DWI.

2100089 - 1900 Blk FM424 - Crash Investigation.

2100090 - 12000 Blk US380 - Traffic stop resulted in a 28 YOM issued a citation for pos drug paraphernalia.

2100091 - 6500 Blk US380 - Traffic stop resulted in a 23 YOM issued a citation for pos drug paraphernalia.

2100092 - 8200 Blk US377 - Traffic stop resulted in arrest of 33 YOM for DWI enhanced.

11/29/2021

210093 -Report generated document and conduct follow up on NEPD arrest.

11/30/21

No new reports



**NOTICE OF TOWN COUNCIL MEETING
FOR THE TOWN OF CROSS ROADS
MONDAY, NOVEMBER 15, 2021 at 7:00 P.M.**

**LOCATION: IN PERSON at
1401 FM 424, CROSSROADS, TEXAS 76227
Or Virtually Via Zoom**

1. Called to Order at **7:00 P.M.**
2. Roll Call.
3. Invocation – Clarence Dalrymple, Aubrey Faith Assembly
4. Pledge of Allegiance – Scoutmaster Stewart and Boy Scout Troup 1811
5. Council Member’s announcements and updates.
**White-Stevens reminded everyone the of the Community Market dates.
King commended the fire and police department for their service.**
6. Mayor’s announcements and updates.
 - **Cane’s had their Grand Opening.**
 - **Information regarding the Denton County 380 Feasibility Study meetings is on the Town website.**
 - **Representative Jared Patterson, Representative Matt Shaheen, and Ercot Interim President Brad Jones will hold a meeting December 1st at the George Purefoy Municipal Center from 7:00 P.M. to 9:00 P.M.**
 - **Town Hall will be closed next Thursday and Friday for Thanksgiving.**
7. Citizens Input (Items on the agenda and not on the agenda)
None.

CONSENT AGENDA

- ~~8. Consider action on the Town’s monthly financial reports—October 2021.~~
Item 8 was moved to Regular Business.
9. Consider approval of the November 1, 2021 Council Meeting Minutes.
10. Consider approval of an ordinance revising the FY 2020-2021 and FY 2021-2022 budgets to indicate new account numbers for line items.
11. Consider approval of an ordinance granting to Oncor Electric Delivery Company an electric power franchise in the Town of Cross Roads.

Motion to approve the Consent Agenda without Item 8 made by Phillips;

**Second by Meek;
Passed unanimously.**

REGULAR BUSINESS

8. Consider action on the Town's monthly financial reports – October 2021.
**Motion to approve made by Gaalema;
Second by Phillips;
Passed unanimously.**

12. CONDUCT A PUBLIC HEARING, discuss, and consider a request by Larry Coker on behalf of owner Anthony Cimino for a change in zoning from A-Agricultural to C2-Commerical 2 for Tract 87B, of the J. Bridges Abstract A0036A, generally located at 5400 FM 424, Cross Roads, Denton County, Texas. (2021-0809-01ZC)
**Opened at 7:22 P.M.
Steve Uzcategui spoke as representative of Ewing Irrigation.
Kay Neubauer spoke in favor.
Closed Public Hearing
Motion to table in order to hear with the SUP request made by Gaalema;
No Second.
Motion to approve change in zoning made by Phillips;
No Second.
Motion to table in order to hear with the SUP request made by White-Stevens;
Second by Gaalema;
Phillips voted no;
Passed 4 to 1.**

13. CONDUCT A PUBLIC HEARING, discuss, and consider a request by Larry Coker on behalf of owner Anthony Cimino for a special use permit to allow for outdoor retail sales for Tract 87B, of the J. Bridges Abstract A0036A, generally located at 5400 FM 424, Cross Roads, Denton County, Texas. (2021-0809-03SUP)
NOTE: This request was tabled by the Planning and Zoning Commission, therefore, Council is unable to take action. This item is being posted for informational purposes only as it was advertised for a public hearing.

14. Discuss and consider a recommendation on a preliminary plat application for property located at 7557 US HWY 377, within the Town of Cross Roads. (2021-0907-01PPLAT)
**Motion to approve made by Phillips;
Second by White-Stevens;
Passed unanimously.**

15. Receive a presentation, discuss and consider the Preliminary CIP Street Ranking and Estimate Report.
**Town's Engineer, Leigh Hollis, gave presentation.
Council held discussion and directed Hollis and Town Administrator Gilbert to meet with Denton County regarding being a part of the bond election.**

16. Discuss and consider action on a request from City Sign Service Inc., on behalf of Firehouse Subs, appealing the Building Official's denial of a sign permit and requesting a variance from

the sign regulations to allow for approximately 25 total square feet of signage on the rear of a strip building.

Motion to approve made by Meek;

Second by Phillips;

Passed unanimously.

EXECUTIVE SESSION – 8:37 P.M. to 8:45 P.M.

17. The Town Council will convene into Executive Session pursuant to the following:
 - a. Section 551.071 Consultation with Attorney – Consultation with and legal advice from the Town Attorney regarding sales tax.

18. Take action as may be necessary or appropriate on matters discussed in Executive session.

Motion to authorize the Town Administrator to resolve this matter consistent with the discussions in Executive Session and to take all other necessary action made by Gaalema;

Second by Phillips;

Passed unanimously.

ADJOURNED at **8:46 P.M.**

T. Lynn Tompkins, Jr., Town Mayor

Donna Butler, Town Secretary



COUNCIL AGENDA BRIEFING SHEET

Meeting Date:

December 13, 2021

Agenda Item:

Consider action on the Town's monthly financial reports – November 2021.

Prepared by:

Kristi Gilbert, Town Administrator

Description:

The attached financials are the unaudited financials as of November 30, 2021. These transactions have not yet been reconciled due to a software change with PointBank. The report is reflective of two months (83%) of the fiscal year. Most revenues should be tracking at 83% or lower, indicative of revenues at or exceeding budget projections. Most expenses should be tracking at 83% or higher, indicative of expenses at or lower than budget projections.

The following are exceptions of note:

- Staff wages – We pay based on 26 pay periods and there have been five pay periods as of November 30th so any expenditures based on wages will be at approximately 80%.
- Revenues received on an annual or semi-annual basis include franchise fees.
- Items paid on an annual basis which include workers compensation, liability insurance, dues and software subscriptions.
- Items paid on a quarterly basis which include Fire/EMS and dispatch services which are paid in October, January, April, and July.
- Residential and commercial permits are tracking lower, but that is not unusual of this time of year.
- Municipal Court revenue is slightly lower than expected, but is expected to track back in line with the budget in the near future.
- We have already received nearly half of the budgeted amount for development applications.
- Nearly \$22,000 of the \$27,000 budgeted for administration software has been spent. This is due to annual subscriptions and the completion of the finance software install and training.
- Engineering services is at 61% of budgeted expenses due to the Road Improvement Plan (\$16,650) and research on the Oak Shores drainage issues (\$5,602.50).
- Uniforms for the Police Department is at 27.9% of budgeted expenses due to the need to purchase uniforms at an officers hire date.

Recommended Action:

Staff recommends approval.

Attachments:

November 2021 Finance Report

Town of Cross Roads
 Revenue And Expense Report
 As of November 30, 2021

12/6/2021 3:35 PM

100 - General	Current Month Expense/Rev	Year To Date Expense/Rev	Current Year Budget	Budget Balance Remaining	% Balance Remaining	Prior Year YTD Balance	Prior Year FY End Bal.
Revenue Summary							
-	319,072.83	596,321.03	3,609,315.00	3,012,993.97	83.48%	0.00	3,591,202.67
Revenue Totals	<u>319,072.83</u>	<u>596,321.03</u>	<u>3,609,315.00</u>	<u>3,012,993.97</u>	<u>83.48%</u>	<u>0.00</u>	<u>3,591,202.67</u>
Expense Summary							
110-Administration	115,130.26	308,123.78	1,360,855.00	1,052,731.22	77.36%	0.00	1,211,687.26
210-Municipal Court	2,454.95	3,704.95	25,000.00	21,295.05	85.18%	0.00	0.00
310-Police	118,063.79	231,588.01	1,391,052.98	1,159,464.97	83.35%	(1,184.15)	57,659.62
410-Parks & Recreation	942.29	1,185.97	27,500.00	26,314.03	95.69%	0.00	(37.88)
510-Community Development	0.00	50.00	0.00	(50.00)	0.00%	0.00	0.00
520-Inspection	450.00	450.00	71,000.00	70,550.00	99.37%	0.00	0.00
610-Public Works	3,344.04	3,511.96	441,422.56	437,910.60	99.20%	0.00	339.89
Expense Totals	<u>240,385.33</u>	<u>548,614.67</u>	<u>3,316,830.54</u>	<u>2,768,215.87</u>	<u>83.46%</u>	<u>(1,184.15)</u>	<u>1,269,648.89</u>
Revenues Over(Under) Expenditures	<u>78,687.50</u>	<u>47,706.36</u>	<u>292,484.46</u>	<u>0.00</u>	<u>0.00%</u>	<u>1,184.15</u>	<u>2,321,553.78</u>

Town of Cross Roads
 Revenue and Expense Report
 As of November 30, 2021

12/6/2021 3:35 PM

100 - General Department Revenue	Current Month Expense/Rev	Year To Date Expense/Rev	Current Year Budget	Budget Balance Remaining	% Balance Remaining	Prior Year YTD Balance	Prior Year FY End Bal.
<hr/>							
Sales Taxes							
-40100 Sales Tax Revenue	284,519.95	525,439.13	2,753,132.00	2,227,692.87	80.91%	0.00	2,778,147.24
-40110 Mixed Beverage Tax Revenue	0.00	1,936.02	18,375.00	16,438.98	89.46%	0.00	23,965.73
Total Sales Taxes	<u>284,519.95</u>	<u>527,375.15</u>	<u>2,771,507.00</u>	<u>2,244,131.85</u>	<u>80.97%</u>	<u>0.00</u>	<u>2,802,112.97</u>
Franchise Taxes							
-40120 Franchise Tax Telecom	950.76	1,864.49	4,750.00	2,885.51	60.75%	0.00	5,313.03
-40121 Franchise Tax Waste	0.00	5,981.97	24,750.00	18,768.03	75.83%	0.00	22,370.15
-40122 Franchise Tax Electric	0.00	0.00	90,000.00	90,000.00	100.00%	0.00	97,833.96
-40123 Franchise Tax Gas	0.00	0.00	12,375.00	12,375.00	100.00%	0.00	14,762.29
-40124 Franchise Tax Mustang SUD	0.00	0.00	17,820.00	17,820.00	100.00%	0.00	0.00
Total Franchise Taxes	<u>950.76</u>	<u>7,846.46</u>	<u>149,695.00</u>	<u>141,848.54</u>	<u>94.76%</u>	<u>0.00</u>	<u>140,279.43</u>
Licenses & Permits							
-40200 Development/Platng/Permit Fees	9,580.00	9,580.00	20,000.00	10,420.00	52.10%	0.00	19,488.30
-40201 Infrastructure Inspection Fees	0.00	0.00	60,000.00	60,000.00	100.00%	0.00	0.00
-40202 Residential Bldg Permits and Inspections	7,968.72	12,794.72	240,000.00	227,205.28	94.67%	0.00	0.00
-40203 Commercial Bldg Permits and Inspections	0.00	2,757.96	120,000.00	117,242.04	97.70%	0.00	0.00
-40204 Septic Permits and Fees	1,160.00	1,160.00	8,000.00	6,840.00	85.50%	0.00	339,696.16
-40206 Health Inspection and Fees	385.00	785.00	11,500.00	10,715.00	93.17%	0.00	10,385.00
-40208 Signs Permit and Fees	1,910.00	2,250.00	4,250.00	2,000.00	47.06%	0.00	7,025.00
Total Licenses & Permits	<u>21,003.72</u>	<u>29,327.68</u>	<u>463,750.00</u>	<u>434,422.32</u>	<u>93.68%</u>	<u>0.00</u>	<u>376,594.46</u>
Court Revenue							
-40210 Municipal Court Fines	11,619.52	19,803.95	190,000.00	170,196.05	89.58%	0.00	0.00

Town of Cross Roads
 Revenue and Expense Report
 As of November 30, 2021

12/6/2021 3:35 PM

100 - General Department Revenue	Current Month Expense/Rev	Year To Date Expense/Rev	Current Year Budget	Budget Balance Remaining	% Balance Remaining	Prior Year YTD Balance	Prior Year FY End Bal.
Total Court Revenue	11,619.52	19,803.95	190,000.00	170,196.05	89.58%	0.00	0.00
<u>Fines and Fees</u>							
-40300 Administrative Fees	705.00	705.00	2,000.00	1,295.00	64.75%	0.00	2,398.03
-40314 Credit Card Processing Fee	273.88	462.93	1,000.00	537.07	53.71%	0.00	1,213.23
Total Fines and Fees	978.88	1,167.93	3,000.00	1,832.07	61.07%	0.00	3,611.26
<u>Contributions</u>							
-40304 MDD Contribution	0.00	0.00	24,363.00	24,363.00	100.00%	0.00	240,000.00
Total Contributions	0.00	0.00	24,363.00	24,363.00	100.00%	0.00	240,000.00
<u>Investment Income</u>							
-40306 Interest Revenue	0.00	784.43	7,000.00	6,215.57	88.79%	0.00	11,729.55
Total Investment Income	0.00	784.43	7,000.00	6,215.57	88.79%	0.00	11,729.55
<u>Intergovernmental</u>							
-40410 Intergovernmental Revenue	0.00	192.27	0.00	(192.27)	0.00%	0.00	0.00
-40419 NEMC Personnel Reimbursement	0.00	1,748.00	0.00	(1,748.00)	0.00%	0.00	16,875.00
Total Intergovernmental	0.00	1,940.27	0.00	(1,940.27)	0.00%	0.00	16,875.00
<u>Transfers</u>							
-40910 Transfers In	0.00	8,075.16	0.00	(8,075.16)	0.00%	0.00	0.00
Total Transfers	0.00	8,075.16	0.00	(8,075.16)	0.00%	0.00	0.00
Total	319,072.83	596,321.03	3,609,315.00	3,012,993.97	83.48%	0.00	3,591,202.67
Total Revenue	319,072.83	596,321.03	3,609,315.00	3,012,993.97	83.48%	0.00	3,591,202.67

Town of Cross Roads
 Revenue and Expense Report
 As of November 30, 2021

12/6/2021 3:35 PM

100 - General Department Expense	Current Month Expense/Rev	Year To Date Expense/Rev	Current Year Budget	Budget Balance Remaining	% Balance Remaining	Prior Year YTD Balance	Prior Year FY End Bal.
110-Administration							
<u>Personnel and Benefits</u>							
110-51101 Payroll Expenses: Wages	30,832.58	77,243.28	424,600.00	347,356.72	81.81%	0.00	410,390.79
110-51102 Overtime	0.00	0.00	500.00	500.00	100.00%	0.00	0.00
110-51109 Auto Allowance	150.00	300.00	1,800.00	1,500.00	83.33%	0.00	692.30
110-51210 Payroll Expenses: Company Contributions: Retirement	2,333.00	5,839.04	32,150.00	26,310.96	81.84%	0.00	25,095.16
110-51215 Payroll Expenses: Taxes	2,370.17	5,932.06	37,050.00	31,117.94	83.99%	0.00	33,806.16
110-51216 Employee Health Benefits	25,261.88	28,361.21	44,000.00	15,638.79	35.54%	0.00	39,335.42
110-51220 Workers Compensation	0.00	4,460.96	11,950.00	7,489.04	62.67%	0.00	0.00
110-51230 Unemployment	6.21	290.61	0.00	(290.61)	0.00%	0.00	0.00
Total Personnel and Benefits	<u>60,953.84</u>	<u>122,427.16</u>	<u>552,050.00</u>	<u>429,622.84</u>	<u>77.82%</u>	<u>0.00</u>	<u>509,319.83</u>
<u>Supplies</u>							
110-52014 Office Supplies	767.75	1,096.82	4,000.00	2,903.18	72.58%	0.00	12,628.67
110-52030 Postage	0.00	200.00	1,000.00	800.00	80.00%	0.00	0.00
110-55555 Prior Fiscal Year Adjusted (for Auditor)	0.00	(8,075.16)	0.00	8,075.16	0.00%	0.00	(189,000.00)
Total Supplies	<u>767.75</u>	<u>(6,778.34)</u>	<u>5,000.00</u>	<u>11,778.34</u>	<u>235.57%</u>	<u>0.00</u>	<u>(176,371.33)</u>
<u>Contractual Services</u>							
110-53001 Accounting and Auditing Fees	673.45	673.45	7,500.00	6,826.55	91.02%	0.00	4,500.00
110-53002 Advertising and Promotion	0.00	842.02	12,000.00	11,157.98	92.98%	0.00	3,463.88
110-53004 Software	12,835.64	21,968.08	27,000.00	5,031.92	18.64%	0.00	36,984.85
110-53006 Codification Services	0.00	0.00	2,000.00	2,000.00	100.00%	0.00	3,169.00
110-53010 Property and Liability Insurance	0.00	6,895.28	8,500.00	1,604.72	18.88%	0.00	6,851.08

Town of Cross Roads
 Revenue and Expense Report
 As of November 30, 2021

12/6/2021 3:35 PM

100 - General Department Expense	Current Month Expense/Rev	Year To Date Expense/Rev	Current Year Budget	Budget Balance Remaining	% Balance Remaining	Prior Year YTD Balance	Prior Year FY End Bal.
110-53012 Legal Fees	6,322.51	6,322.51	48,000.00	41,677.49	86.83%	0.00	73,028.73
110-53015 Dues and Subscriptions	0.00	0.00	900.00	900.00	100.00%	0.00	0.00
110-53016 Public Notices/Dues	137.25	492.50	1,200.00	707.50	58.96%	0.00	1,278.85
110-53022 Training and Travel	410.00	410.00	12,000.00	11,590.00	96.58%	0.00	3,686.23
110-53030 PayPal Charge	251.98	464.24	1,000.00	535.76	53.58%	0.00	1,220.59
110-53045 Lease and CAM Pmts - Town Hall	5,216.77	10,973.79	68,900.00	57,926.21	84.07%	0.00	20,799.56
110-53050 Careflite Services	0.00	0.00	2,575.00	2,575.00	100.00%	0.00	1,944.00
110-53055 City of Aubrey Library Fund	0.00	0.00	21,500.00	21,500.00	100.00%	0.00	20,285.86
110-53080 Engineering Services	21,243.37	23,030.87	60,000.00	36,969.13	61.62%	0.00	58,388.25
110-53083 Professional Services	1,054.00	1,054.00	40,000.00	38,946.00	97.37%	0.00	76,805.98
110-53084 Code Enforcement Services	0.00	0.00	2,000.00	2,000.00	100.00%	0.00	0.00
110-53110 Utilities	677.88	833.03	6,600.00	5,766.97	87.38%	0.00	15,292.02
110-53225 Interlocal Fire	0.00	113,075.00	452,830.00	339,755.00	75.03%	0.00	425,000.00
110-53610 Election Expense	0.00	0.00	8,000.00	8,000.00	100.00%	0.00	8,371.30
Total Contractual Services	<u>48,822.85</u>	<u>187,034.77</u>	<u>782,505.00</u>	<u>595,470.23</u>	<u>76.10%</u>	<u>0.00</u>	<u>761,070.18</u>
<u>Maintenance</u>							
110-54018 Repair and Maintenance	289.99	880.99	4,000.00	3,119.01	77.98%	0.00	20,282.47
110-54020 Vehicles Maintenance	138.62	401.99	2,300.00	1,898.01	82.52%	0.00	3,349.38
Total Maintenance	<u>428.61</u>	<u>1,282.98</u>	<u>6,300.00</u>	<u>5,017.02</u>	<u>79.64%</u>	<u>0.00</u>	<u>23,631.85</u>
<u>Capital Outlay</u>							
110-58007 Capital Improvements	4,157.21	4,157.21	15,000.00	10,842.79	72.29%	0.00	94,036.73
Total Capital Outlay	<u>4,157.21</u>	<u>4,157.21</u>	<u>15,000.00</u>	<u>10,842.79</u>	<u>72.29%</u>	<u>0.00</u>	<u>94,036.73</u>

Town of Cross Roads
 Revenue and Expense Report
 As of November 30, 2021

12/6/2021 3:35 PM

100 - General Department Expense	Current Month Expense/Rev	Year To Date Expense/Rev	Current Year Budget	Budget Balance Remaining	% Balance Remaining	Prior Year YTD Balance	Prior Year FY End Bal.
Total Administration	115,130.26	308,123.78	1,360,855.00	1,052,731.22	77.36%	0.00	1,211,687.26
210-Municipal Court							
<u>Supplies</u>							
210-52014 Office Supplies	182.27	182.27	3,000.00	2,817.73	93.92%	0.00	0.00
210-52020 Court Supplies	220.00	220.00	3,000.00	2,780.00	92.67%	0.00	0.00
210-52030 Postage	232.00	232.00	0.00	(232.00)	0.00%	0.00	0.00
Total Supplies	634.27	634.27	6,000.00	5,365.73	89.43%	0.00	0.00
<u>Contractual Services</u>							
210-53004 Software	620.68	620.68	0.00	(620.68)	0.00%	0.00	0.00
210-53022 Training and Travel	0.00	0.00	500.00	500.00	100.00%	0.00	0.00
210-53075 Prosecutor	1,200.00	1,200.00	16,000.00	14,800.00	92.50%	0.00	0.00
210-53076 Jury	0.00	0.00	500.00	500.00	100.00%	0.00	0.00
210-53077 Interpreter	0.00	0.00	750.00	750.00	100.00%	0.00	0.00
210-53078 Arrest/Jail Fees	0.00	0.00	1,250.00	1,250.00	100.00%	0.00	0.00
Total Contractual Services	1,820.68	1,820.68	19,000.00	17,179.32	90.42%	0.00	0.00
<u>Capital Outlay</u>							
210-58010 Capital Equipment	0.00	1,250.00	0.00	(1,250.00)	0.00%	0.00	0.00
Total Capital Outlay	0.00	1,250.00	0.00	(1,250.00)	0.00%	0.00	0.00
Total Municipal Court	2,454.95	3,704.95	25,000.00	21,295.05	85.18%	0.00	0.00
310-Police							
<u>Personnel and Benefits</u>							
310-51101 Payroll Expenses: Wages	56,013.74	126,410.57	831,580.96	705,170.39	84.80%	(1,100.00)	(1,100.00)
310-51102 Overtime	565.36	2,560.85	45,000.00	42,439.15	94.31%	0.00	0.00

Town of Cross Roads
 Revenue and Expense Report
 As of November 30, 2021

12/6/2021 3:35 PM

100 - General Department Expense	Current Month Expense/Rev	Year To Date Expense/Rev	Current Year Budget	Budget Balance Remaining	% Balance Remaining	Prior Year YTD Balance	Prior Year FY End Bal.
310-51105 Longevity Pay	0.00	0.00	2,000.00	2,000.00	100.00%	0.00	0.00
310-51108 Incentive Pay	0.00	0.00	6,000.00	6,000.00	100.00%	0.00	0.00
310-51210 Payroll Expenses: Company Contributions: Retirement	4,147.47	9,478.14	63,615.94	54,137.80	85.10%	0.00	999.18
310-51215 Payroll Expenses: Taxes	4,328.30	9,866.28	65,524.42	55,658.14	84.94%	(84.15)	(84.15)
310-51216 Employee Health Benefits	21,786.67	27,960.45	104,000.00	76,039.55	73.11%	0.00	3,964.82
310-51220 Workers Compensation	0.00	3,238.90	32,431.66	29,192.76	90.01%	0.00	0.00
310-51230 Unemployment	448.94	1,951.85	0.00	(1,951.85)	0.00%	0.00	0.00
Total Personnel and Benefits	<u>87,290.48</u>	<u>181,467.04</u>	<u>1,150,152.98</u>	<u>968,685.94</u>	<u>84.22%</u>	<u>(1,184.15)</u>	<u>3,779.85</u>
<u>Supplies</u>							
310-52005 Uniforms	6,575.26	7,210.23	10,000.00	2,789.77	27.90%	0.00	12,837.78
310-52010 Law Enforcement Supplies	634.75	634.75	5,000.00	4,365.25	87.31%	0.00	3,078.58
310-52014 Office Supplies	1,053.34	1,073.76	3,000.00	1,926.24	64.21%	0.00	452.16
310-52015 Evidence Supplies	528.58	528.58	2,000.00	1,471.42	73.57%	0.00	3,683.40
310-52030 Postage	57.55	57.55	1,250.00	1,192.45	95.40%	0.00	145.00
310-52050 Fuel	2,197.09	2,197.09	20,000.00	17,802.91	89.01%	0.00	286.33
310-52100 Minor Tools and Equipment	1,497.37	1,497.37	3,500.00	2,002.63	57.22%	0.00	454.15
Total Supplies	<u>12,543.94</u>	<u>13,199.33</u>	<u>44,750.00</u>	<u>31,550.67</u>	<u>70.50%</u>	<u>0.00</u>	<u>20,937.40</u>
<u>Contractual Services</u>							
310-53004 Software	0.00	1,060.00	18,400.00	17,340.00	94.24%	0.00	0.00
310-53010 Property and Liability Insurance	0.00	5,634.02	20,000.00	14,365.98	71.83%	0.00	0.00
310-53012 Legal Fees	0.00	0.00	2,500.00	2,500.00	100.00%	0.00	275.00
310-53015 Dues and Subscriptions	0.00	0.00	1,500.00	1,500.00	100.00%	0.00	1,168.00
310-53022 Training and Travel	1,094.78	1,094.78	11,500.00	10,405.22	90.48%	0.00	1,632.00

Town of Cross Roads
 Revenue and Expense Report
 As of November 30, 2021

12/6/2021 3:35 PM

100 - General Department Expense	Current Month Expense/Rev	Year To Date Expense/Rev	Current Year Budget	Budget Balance Remaining	% Balance Remaining	Prior Year YTD Balance	Prior Year FY End Bal.
310-53033 Community Events	406.45	406.45	5,000.00	4,593.55	91.87%	0.00	3,147.93
310-53081 Information Technology Services	10,299.99	10,299.99	22,500.00	12,200.01	54.22%	0.00	4,447.50
310-53083 Professional Services	1,620.00	2,100.00	22,800.00	20,700.00	90.79%	0.00	11,677.97
310-53091 Landscaping	0.00	0.00	2,000.00	2,000.00	100.00%	0.00	1,177.16
310-53110 Utilities	364.36	774.88	2,450.00	1,675.12	68.37%	0.00	0.00
310-53130 Telephone Mobile	2,394.84	2,410.32	13,000.00	10,589.68	81.46%	0.00	1,921.07
310-53210 Animal Control	1,150.00	2,300.00	14,500.00	12,200.00	84.14%	0.00	0.00
310-53230 Dispatch Fees	0.00	6,157.25	25,000.00	18,842.75	75.37%	0.00	0.00
Total Contractual Services	17,330.42	32,237.69	161,150.00	128,912.31	80.00%	0.00	25,446.63
<u>Maintenance</u>							
310-54010 Building Maintenance/Cleaning	661.86	806.86	20,000.00	19,193.14	95.97%	0.00	4,167.89
310-54018 Repair and Maintenance	49.77	1,139.77	0.00	(1,139.77)	0.00%	0.00	0.00
310-54020 Vehicles Maintenance	187.32	2,737.32	15,000.00	12,262.68	81.75%	0.00	3,327.85
Total Maintenance	898.95	4,683.95	35,000.00	30,316.05	86.62%	0.00	7,495.74
Total Police	118,063.79	231,588.01	1,391,052.98	1,159,464.97	83.35%	(1,184.15)	57,659.62
<u>410-Parks & Recreation</u>							
<u>Contractual Services</u>							
410-53035 Park Events	889.66	889.66	15,000.00	14,110.34	94.07%	0.00	(37.88)
410-53110 Utilities	52.63	71.31	1,000.00	928.69	92.87%	0.00	0.00
Total Contractual Services	942.29	960.97	16,000.00	15,039.03	93.99%	0.00	(37.88)
<u>Maintenance</u>							
410-54030 Park Maintenance	0.00	225.00	11,500.00	11,275.00	98.04%	0.00	0.00

Town of Cross Roads
 Revenue and Expense Report
 As of November 30, 2021

12/6/2021 3:35 PM

100 - General Department Expense	Current Month Expense/Rev	Year To Date Expense/Rev	Current Year Budget	Budget Balance Remaining	% Balance Remaining	Prior Year YTD Balance	Prior Year FY End Bal.
Total Maintenance	0.00	225.00	11,500.00	11,275.00	98.04%	0.00	0.00
Total Parks & Recreation	942.29	1,185.97	27,500.00	26,314.03	95.69%	0.00	(37.88)
510-Community Development							
<u>Contractual Services</u>							
510-53084 Code Enforcement Services	0.00	50.00	0.00	(50.00)	0.00%	0.00	0.00
Total Contractual Services	0.00	50.00	0.00	(50.00)	0.00%	0.00	0.00
Total Community Development	0.00	50.00	0.00	(50.00)	0.00%	0.00	0.00
520-Inspection							
<u>Contractual Services</u>							
520-53085 Res & Com Building Review & Insp	0.00	0.00	65,000.00	65,000.00	100.00%	0.00	0.00
520-53090 Sanitation Services	450.00	450.00	6,000.00	5,550.00	92.50%	0.00	0.00
Total Contractual Services	450.00	450.00	71,000.00	70,550.00	99.37%	0.00	0.00
Total Inspection	450.00	450.00	71,000.00	70,550.00	99.37%	0.00	0.00
610-Public Works							
<u>Contractual Services</u>							
610-53060 Street Materials and Signs	0.00	0.00	8,000.00	8,000.00	100.00%	0.00	0.00
610-53065 Mowing and ROW Cleanup	3,164.64	3,221.88	38,500.00	35,278.12	91.63%	0.00	339.89
610-53070 Street Contract/Repairs	0.00	0.00	393,422.56	393,422.56	100.00%	0.00	0.00
610-53110 Utilities	179.40	290.08	1,500.00	1,209.92	80.66%	0.00	0.00
Total Contractual Services	3,344.04	3,511.96	441,422.56	437,910.60	99.20%	0.00	339.89
Total Public Works	3,344.04	3,511.96	441,422.56	437,910.60	99.20%	0.00	339.89
Total Expense	240,385.33	548,614.67	3,316,830.54	2,768,215.87	83.46%	(1,184.15)	1,269,648.99

Town of Cross Roads
Revenue and Expense Report
As of November 30, 2021

12/6/2021 3:35 PM

100 - General Department Expense	Current Month Expense/Rev	Year To Date Expense/Rev	Current Year Budget	Budget Balance Remaining	% Balance Remaining	Prior Year YTD Balance	Prior Year FY End Bal.
---	------------------------------	-----------------------------	------------------------	--------------------------------	------------------------	---------------------------	---------------------------

Town of Cross Roads
 Transaction Detail Report
 11/1/2021 - 11/30/2021

100 - General

Account 100-110-51216

Post Date	Tran Date	Line Description	Vendor	Invoice #	Check #	Debit	Credit	Balance
11/2/2021	11/2/2021	EmployER share \$46.85 for 5 employees plus \$9.25	Metlife	5392016 - Oct 2021	10526	243.50	0.00	3,342.83
11/2/2021	11/2/2021	EmployER share \$46.85 for 5 employees plus \$9.25	Metlife	Cust 5392016 Nov	10527	243.50	0.00	3,586.33
11/18/2021	11/18/2021	Dec 2021 Coverage - 5 employees at \$46.85 plus 1 employee at \$9.25	Metlife	Dec 2021	10558	243.50	0.00	3,829.83
11/30/2021	11/30/2021	Med Coverage - Admin - Dec 2021	Blue Cross Blue Shield	Acct 92928 - Dec 21	10573	3,099.33	0.00	6,929.16
Total						<u>3,829.83</u>	<u>0.00</u>	

100 - General

Account 100-110-52014

Post Date	Tran Date	Line Description	Vendor	Invoice #	Check #	Debit	Credit	Balance
11/2/2021	11/2/2021	10-28-21 Cleaning - Town Hall	Amanda Escovedo	11-1-2021 Amanda	10516	190.00	0.00	380.00
11/2/2021	11/2/2021	Weedeat Liberty	Billy Joe Lerma	11-1-2021 Lerma	10517	75.00	0.00	455.00
11/2/2021	11/2/2021	Meter reading Sept 2021 Inv 014605430	Xerox Corporation	14605430	10528	276.53	0.00	731.53
11/5/2021	11/5/2021	October entry charged Xerox to Town-s/be PD \$276.53				0.00	276.53	455.00
11/10/2021	11/10/2021	Amz bill - Oct - Office Exp - City Hall	Amazon Capital Services	stmt 10-01 to 10-31	10540	39.99	0.00	494.99
11/24/2021	11/24/2021	Wal Mart, Amazon, SRFAX, Home Depot, Denton Co, Vistaprint	JPMorgan Chase Bank NA	Stmt thru 10-25-2		423.00	0.00	917.99
Total						<u>1,004.52</u>	<u>276.53</u>	

100 - General

Account 100-110-53001

Post Date	Tran Date	Line Description	Vendor	Invoice #	Check #	Debit	Credit	Balance
11/10/2021	11/10/2021	EFTPS payment to IRS Q3 2021 tax payment made after date due				673.45	0.00	673.45
Total						<u>673.45</u>	<u>0.00</u>	

100 - General

Account 100-110-53004

Post Date	Tran Date	Line Description	Vendor	Invoice #	Check #	Debit	Credit	Balance
11/2/2021	11/2/2021	Court - Remote Services Inv 11767	The Core Technology Group	11767	10524	208.75	0.00	9,341.19
11/2/2021	11/2/2021	Inv 21-2264 Annual Subscription - PR	FAST Inc	21-2263 21-2264	10525	5,750.00	0.00	15,091.19
11/2/2021	11/2/2021	Inv 21-2263 Fixed Fee - Fundview software Remote Training-PR and HR	FAST Inc	21-2263 21-2264	10525	4,500.00	0.00	19,591.19

11/12/2021	11/12/2021	FundView Support / GL conversion - Inv 1506	Eddie Peacock PLLC	EPPLLC-1506	10550	1,000.00	0.00	20,591.19
11/22/2021	11/22/2021	Bank Recon - Annual Subscription - Inv 21-2304	FAST Inc	21-2304	10571	1,000.00	0.00	21,591.19
11/24/2021	11/24/2021	QB Online, Dropbox, Intuit, Adobe, Calendar Wiz	JPMorgan Chase Bank NA	Stmt thru 10-25-2		376.89	0.00	21,968.08
Total						<u>12,835.64</u>	<u>0.00</u>	

100 - General Account 100-110-53012

Post Date	Tran Date	Line Description	Vendor	Invoice #	Check #	Debit	Credit	Balance
11/4/2021	11/4/2021	October 2021-Legal NEPD related	Boyle & Lowry, L.L.P.	Stmt to 10-25-21	10535	1,581.25	0.00	1,581.25
11/4/2021	11/4/2021	October 2021-General Legal Bill	Boyle & Lowry, L.L.P.	Stmt to 10-25-21	10535	4,741.26	0.00	6,322.51
Total						<u>6,322.51</u>	<u>0.00</u>	

100 - General Account 100-110-53016

Post Date	Tran Date	Line Description	Vendor	Invoice #	Check #	Debit	Credit	Balance
11/12/2021	11/12/2021	Legal Notice - Inv 95247	Pilot Point Post Signal	95247	10551	137.25	0.00	492.50
Total						<u>137.25</u>	<u>0.00</u>	

100 - General Account 100-110-53022

Post Date	Tran Date	Line Description	Vendor	Invoice #	Check #	Debit	Credit	Balance
11/24/2021	11/24/2021	TX Municipal clerk	JPMorgan Chase Bank NA	Stmt thru 10-25-2		410.00	0.00	410.00
Total						<u>410.00</u>	<u>0.00</u>	

100 - General Account 100-110-53030

Post Date	Tran Date	Line Description	Vendor	Invoice #	Check #	Debit	Credit	Balance
11/3/2021	11/4/2021	PP transfer \$3213.34 PP chg \$113.37				113.37	0.00	325.63
11/4/2021	11/4/2021	10-12-21 fee now recorded in FV 11-4-21 \$5.64 from FV and PP chg (.36)				0.36	0.00	325.99
11/15/2021	11/15/2021	Paypal chg to 11-12-21 FV\$1349.04 PP \$1300.29				48.75	0.00	374.74
11/30/2021	11/29/2021	Paypal Fee for various trans's 11-15-21 thru 11-23-21				89.50	0.00	464.24
Total						<u>251.98</u>	<u>0.00</u>	

100 - General Account 100-110-53045

Post Date	Tran Date	Line Description	Vendor	Invoice #	Check #	Debit	Credit	Balance
11/18/2021	11/18/2021	Suite 105 rent month of Dec 2021 - Operating exp portion	West Crossroads LTD	Dec 2021 rent	10564	1,964.52	0.00	7,721.54
11/18/2021	11/18/2021	Suite 105 rent month of December	West Crossroads LTD	Dec 2021 rent	10564	3,792.50	0.00	11,514.04

2021 - rent

11/18/2021	11/24/2021	*VOID* Suite 105 rent month of Dec 2021 - Operating exp portion	West Crossroads LTD	Dec 2021 rent	10564	0.00	1,964.52	9,549.52
11/18/2021	11/24/2021	*VOID* Suite 105 rent month of December 2021 - rent	West Crossroads LTD	Dec 2021 rent	10564	0.00	3,792.50	5,757.02
11/24/2021	11/24/2021	Dec 2021 revised dollar amt - Lease and Cam pmts - Town Hall Operating Expense	West Crossroads LTD	Dec 2021 revised c	10572	1,769.27	0.00	7,526.29
11/24/2021	11/24/2021	Dec 2021 revised dollar amt - Lease and Cam pmts - Town Hall Rent	West Crossroads LTD	Dec 2021 revised c	10572	3,447.50	0.00	10,973.79
Total							<u>10,973.79</u>	<u>5,757.02</u>

100 - General Account 100-110-53080

Post Date	Tran Date	Line Description	Vendor	Invoice #	Check #	Debit	Credit	Balance
11/18/2021	11/18/2021	Inv 10062169-Street Ranking - Oct 2021	Halff Associates, Inc.	10062169	10563	16,650.00	0.00	18,437.50
11/19/2021	11/19/2021	Inv 10062168 Developer Charges - various	Halff Associates, Inc.	10062168	10566	64.70	0.00	18,502.20
11/19/2021	11/19/2021	NOVTOC062521E - Engineering Service-Oak Shores Entrance Drainage	K. J. Environmental Management Inc.	NOVTOC062521E	10567	3,815.00	0.00	22,317.20
11/22/2021	11/22/2021	Inv 10060356 Sept 2021 Developer charges - Developer 9000	Halff Associates, Inc.	10060356	10570	713.67	0.00	23,030.87
Total						<u>21,243.37</u>	<u>0.00</u>	

100 - General Account 100-110-53083

Post Date	Tran Date	Line Description	Vendor	Invoice #	Check #	Debit	Credit	Balance
11/5/2021	11/5/2021	IT Services - City Hall	Local Circuit	3055	10537	1,054.00	0.00	1,054.00
Total						<u>1,054.00</u>	<u>0.00</u>	

100 - General Account 100-110-53110

Post Date	Tran Date	Line Description	Vendor	Invoice #	Check #	Debit	Credit	Balance
11/18/2021	11/18/2021	Internet - Nov 2021-acct 314371029	AT&T	314371029	10561	145.16	0.00	300.31
11/19/2021	11/19/2021	Refund for Credit Balance with AT&T Utility acct				0.00	22.65	277.66
11/24/2021	11/24/2021	Intermedia Net	JPMorgan Chase Bank NA	Stmt thru 10-25-2		555.37	0.00	833.03
Total						<u>700.53</u>	<u>22.65</u>	

100 - General Account 100-110-54018

Post Date	Tran Date	Line Description	Vendor	Invoice #	Check #	Debit	Credit	Balance
11/24/2021	11/24/2021	Lowe's, PULS, Wal Mart, Lowe's	JPMorgan Chase Bank	Stmt thru 10-25-2		289.99	0.00	880.99

NA

Total	289.99	0.00
	289.99	0.00

100 - General Account 100-110-54020

Post Date	Tran Date	Line Description	Vendor	Invoice #	Check #	Debit	Credit	Balance
11/18/2021	11/18/2021	Oct 2021 stmt-Town of CR portion of Bill	WEX Bank	Oct 2021 stmt	10553	123.62	0.00	386.99
11/24/2021	11/24/2021	Car Wash	JPMorgan Chase Bank NA	Stmt thru 10-25-2		15.00	0.00	401.99
Total						138.62	0.00	
						138.62	0.00	

100 - General Account 100-110-58007

Post Date	Tran Date	Line Description	Vendor	Invoice #	Check #	Debit	Credit	Balance
11/18/2021	11/18/2021	Capital Additions - Inv 62584 \$1080.00 Evidence Room	Parker Security Services Inc	63106-62603-625	10557	1,080.00	0.00	1,080.00
11/18/2021	11/18/2021	Capital Additions - Inv 62603 \$394.00 Door	Parker Security Services Inc	63106-62603-625	10557	394.00	0.00	1,474.00
11/18/2021	11/18/2021	Capital Additions - Inv 63106 \$2306.00 Cameras	Parker Security Services Inc	63106-62603-625	10557	2,306.00	0.00	3,780.00
11/24/2021	11/24/2021	Amazon, Apple, Microsoft, Acrobat, Adobe, Dropbox	JPMorgan Chase Bank NA	Stmt thru 10-25-2		377.21	0.00	4,157.21
Total						4,157.21	0.00	
						4,157.21	0.00	

100 - General Account 100-210-52014

Post Date	Tran Date	Line Description	Vendor	Invoice #	Check #	Debit	Credit	Balance
11/24/2021	11/24/2021	Circle K	JPMorgan Chase Bank NA	Stmt thru 10-25-2		4.33	0.00	4.33
11/24/2021	11/24/2021	Amazon	JPMorgan Chase Bank NA	Stmt thru 10-25-2		177.94	0.00	182.27
Total						182.27	0.00	
						182.27	0.00	

100 - General Account 100-210-52020

Post Date	Tran Date	Line Description	Vendor	Invoice #	Check #	Debit	Credit	Balance
11/18/2021	11/18/2021	Court Supplies paper rolls - Inv 130-124235	Tyler Technologies	130-124235	10565	220.00	0.00	220.00
Total						220.00	0.00	
						220.00	0.00	

100 - General Account 100-210-52030

Post Date	Tran Date	Line Description	Vendor	Invoice #	Check #	Debit	Credit	Balance
11/24/2021	11/24/2021	USPS	JPMorgan Chase Bank NA	Stmt thru 10-25-2		232.00	0.00	232.00
Total						232.00	0.00	
						232.00	0.00	

100 - General Account 100-210-53004

Post Date	Tran Date	Line Description	Vendor	Invoice #	Check #	Debit	Credit	Balance
11/24/2021	11/24/2021	Adobe, Parallels	JPMorgan Chase Bank NA	Stmt thru 10-25-2		620.68	0.00	620.68

NA

Total 620.68 0.00

100 - General

Account 100-210-53075

Post Date	Tran Date	Line Description	Vendor	Invoice #	Check #	Debit	Credit	Balance
11/4/2021	11/4/2021	October 2021 Prosecutor	Boyle & Lowry, L.L.P.	Stmt to 10-25-21	10535	1,200.00	0.00	1,200.00
						Total	<u>1,200.00</u>	<u>0.00</u>

100 - General

Account 100-310-51216

Post Date	Tran Date	Line Description	Vendor	Invoice #	Check #	Debit	Credit	Balance
11/2/2021	11/2/2021	EmployER share \$46.85 (6 employees)	Metlife	5392016 - Oct 2021	10526	281.10	0.00	6,454.88
11/2/2021	11/2/2021	EmployER share \$46.85 (6 employees)	Metlife	Cust 5392016 Nov	10527	281.10	0.00	6,735.98
11/2/2021	11/2/2021	Oct 2021 Adjmt PD Life	Metlife	Cust 5392016 Nov	10527	51.34	0.00	6,787.32
11/18/2021	11/18/2021	Dec 2021 Coverage - 9 employees at \$46.85	Metlife	Dec 2021	10558	421.65	0.00	7,208.97
11/18/2021	11/18/2021	Adjmt to prior months - Police Dept Employer Share	Metlife	Dec 2021	10558	30.60	0.00	7,239.57
11/30/2021	11/30/2021	pmt to BCBS Nov 2021 coverage reclass to PD ER expense-Draut retro adj				441.79	0.00	7,681.36
11/30/2021	11/30/2021	Med Coverage - PD - Dec 2021	Blue Cross Blue Shield	Acct 92928 - Dec 21	10573	5,494.74	0.00	13,176.10
11/30/2021	11/30/2021	Med Coverage - Retro Adjmt - PD - Nov 2021	Blue Cross Blue Shield	Acct 92928 - Dec 21	10573	679.04	0.00	13,855.14
						Total	<u>7,681.36</u>	<u>0.00</u>

100 - General

Account 100-310-52005

Post Date	Tran Date	Line Description	Vendor	Invoice #	Check #	Debit	Credit	Balance
11/2/2021	11/2/2021	Point Blank Vision 2 Carrier - Inv 019651579	Galls LLC	019651579	10531	1,040.00	0.00	1,674.97
11/12/2021	11/12/2021	019665672 Shirts qty 4	Galls LLC	7 Galls invoices	10547	215.96	0.00	1,890.93
11/12/2021	11/12/2021	019399146 shirts qty 2	Galls LLC	7 Galls invoices	10547	154.98	0.00	2,045.91
11/12/2021	11/12/2021	019399138 shirt qty 1	Galls LLC	7 Galls invoices	10547	57.99	0.00	2,103.90
11/12/2021	11/12/2021	019399134 Nameplate qty 1	Galls LLC	7 Galls invoices	10547	4.99	0.00	2,108.89
11/12/2021	11/12/2021	019399127 shirts qty 3 pant Qty 3	Galls LLC	7 Galls invoices	10547	348.00	0.00	2,456.89
11/12/2021	11/12/2021	019399050 Tactical Pant Qty 3	Galls LLC	7 Galls invoices	10547	224.40	0.00	2,681.29
11/12/2021	11/12/2021	019716426-Vision 2 Carrier Qty 4	Galls LLC	7 Galls invoices	10547	4,368.00	0.00	7,049.29
11/24/2021	11/24/2021	4 Imprint	JPMorgan Chase Bank NA	Stmt thru 10-25-2		160.94	0.00	7,210.23
						Total	<u>6,575.26</u>	<u>0.00</u>

100 - General**Account 100-310-52010**

Post Date	Tran Date	Line Description	Vendor	Invoice #	Check #	Debit	Credit	Balance
11/10/2021	11/10/2021	Amz bill - Oct Supplies	Amazon Capital Services	stmt 10-01 to 10-31	10540	153.70	0.00	153.70
11/24/2021	11/24/2021	Sirchie	JPMorgan Chase Bank NA	Stmt thru 10-25-2		156.76	0.00	310.46
11/24/2021	11/24/2021	Call to Arms Full Identity	JPMorgan Chase Bank NA	Stmt thru 10-25-2		324.29	0.00	634.75
Total						<u>634.75</u>	<u>0.00</u>	

100 - General**Account 100-310-52014**

Post Date	Tran Date	Line Description	Vendor	Invoice #	Check #	Debit	Credit	Balance
11/2/2021	11/2/2021	credit - applying to inv pmt CM 516581	Sirchie Acquisition Company LLC	515572	10518	0.00	100.00	(100.00)
11/2/2021	11/2/2021	Office Supplies Inv 515572 and will apply credit to this inv	Sirchie Acquisition Company LLC	515572	10518	197.20	0.00	97.20
11/10/2021	11/10/2021	Amz bill - Oct - Office Supplies	Amazon Capital Services	stmt 10-01 to 10-31	10540	308.33	0.00	405.53
11/18/2021	11/18/2021	Inv ADVREP220366 - Remote Display Control Panel	WatchGuard Video	ADVREP220366	10555	405.00	0.00	810.53
11/24/2021	11/24/2021	Wal Mart Used Office Furniture	JPMorgan Chase Bank NA	Stmt thru 10-25-2		242.81	0.00	1,053.34
Total						<u>1,153.34</u>	<u>100.00</u>	

100 - General**Account 100-310-52015**

Post Date	Tran Date	Line Description	Vendor	Invoice #	Check #	Debit	Credit	Balance
11/10/2021	11/10/2021	Amz Bill - Oct - Evidence Supplies	Amazon Capital Services	stmt 10-01 to 10-31	10540	232.91	0.00	232.91
11/24/2021	11/24/2021	Wal Mart Sirchie Finger print	JPMorgan Chase Bank NA	Stmt thru 10-25-2		295.67	0.00	528.58
Total						<u>528.58</u>	<u>0.00</u>	

100 - General**Account 100-310-52030**

Post Date	Tran Date	Line Description	Vendor	Invoice #	Check #	Debit	Credit	Balance
11/24/2021	11/24/2021	USPS	JPMorgan Chase Bank NA	Stmt thru 10-25-2		57.55	0.00	57.55
Total						<u>57.55</u>	<u>0.00</u>	

100 - General**Account 100-310-52050**

Post Date	Tran Date	Line Description	Vendor	Invoice #	Check #	Debit	Credit	Balance
11/24/2021	11/24/2021	Circle K 7-Eleven QT	JPMorgan Chase Bank NA	Stmt thru 10-25-2		2,197.09	0.00	2,197.09
Total						<u>2,197.09</u>	<u>0.00</u>	

100 - General**Account 100-310-52100**

Post Date	Tran Date	Line Description	Vendor	Invoice #	Check #	Debit	Credit	Balance
-----------	-----------	------------------	--------	-----------	---------	-------	--------	---------

11/5/2021	11/5/2021	October charges copier PD	Xerox Corporation	14730891	10538	276.13	0.00	276.13
11/5/2021	11/5/2021	October entry charged Xerox to Town-s/be PD \$276.53				276.53	0.00	552.66
11/10/2021	11/10/2021	Amz bill - Oct - Table	Amazon Capital Services	stmt 10-01 to 10-31	10540	944.71	0.00	1,497.37
Total						<u>1,497.37</u>	<u>0.00</u>	

100 - General Account 100-310-53022

Post Date	Tran Date	Line Description	Vendor	Invoice #	Check #	Debit	Credit	Balance
11/24/2021	11/24/2021	Tape it Teex Caboodles Jasons Deli Pei Wei Whataburger Uber Eats San Antonio Collonnade Chipotle	JPMorgan Chase Bank NA	Stmt thru 10-25-2		1,094.78	0.00	1,094.78
Total						<u>1,094.78</u>	<u>0.00</u>	

100 - General Account 100-310-53033

Post Date	Tran Date	Line Description	Vendor	Invoice #	Check #	Debit	Credit	Balance
11/24/2021	11/24/2021	Wal Mart	JPMorgan Chase Bank NA	Stmt thru 10-25-2		406.45	0.00	406.45
Total						<u>406.45</u>	<u>0.00</u>	

100 - General Account 100-310-53081

Post Date	Tran Date	Line Description	Vendor	Invoice #	Check #	Debit	Credit	Balance
11/2/2021	11/2/2021	Inv 25566 IT Maintenance	Protel	25548 / 25550 / 2	10522	2,000.00	0.00	2,000.00
11/2/2021	11/2/2021	Inv 25550 Speed Dial added	Protel	25548 / 25550 / 2	10522	75.00	0.00	2,075.00
11/2/2021	11/2/2021	Inv 25548 Programmed Phones	Protel	25548 / 25550 / 2	10522	150.00	0.00	2,225.00
11/2/2021	11/2/2021	Oct 2021 to Sept 2022 Enhanced Support - Inv 21-0030	Denton County Technology Services	21-0030	10523	7,424.99	0.00	9,649.99
11/5/2021	11/5/2021	IT Services - Town of CR Police Dept	Local Circuit	3055	10537	650.00	0.00	10,299.99
Total						<u>10,299.99</u>	<u>0.00</u>	

100 - General Account 100-310-53083

Post Date	Tran Date	Line Description	Vendor	Invoice #	Check #	Debit	Credit	Balance
11/2/2021	11/2/2021	Property/Evidence 13 hours	Joshua Wayne Lyon	2021-003	10520	520.00	0.00	1,000.00
11/2/2021	11/2/2021	Property/Evidence 13 hours - Inv 2021-001	Joshua Wayne Lyon	2021-001	10530	240.00	0.00	1,240.00
11/10/2021	11/10/2021	Psyche Testing Applicant - J. Martinez Inv 005-TUPD	Pro Wellness Services PLLC	005-TUPD	10544	300.00	0.00	1,540.00
11/10/2021	11/10/2021	Property/Evidence Services - 14 hours	Joshua Wayne Lyon	2021-004	10545	560.00	0.00	2,100.00
Total						<u>1,620.00</u>	<u>0.00</u>	

100 - General Account 100-310-53110

Post Date	Tran Date	Line Description	Vendor	Invoice #	Check #	Debit	Credit	Balance
-----------	-----------	------------------	--------	-----------	---------	-------	--------	---------

11/10/2021	11/10/2021	new service bill for 10/26 to 10/31/21	ACC Business	213040465	10541	41.42	0.00	451.94
11/10/2021	11/10/2021	Activation Fee	ACC Business	213040465	10541	99.00	0.00	550.94
11/12/2021	11/12/2021	Electric-Police Dept	CoServ	PD-Park-3 lights	10546	187.90	0.00	738.84
11/12/2021	11/12/2021	acct 002-0077400-001 Police Dept water bill	Mustang Special Utility District	Two invoices	10548	36.04	0.00	774.88
Total						<u>364.36</u>	<u>0.00</u>	

100 - General Account 100-310-53130

Post Date	Tran Date	Line Description	Vendor	Invoice #	Check #	Debit	Credit	Balance
11/2/2021	11/2/2021	Inv 2816455601 Phone 9-19-21 to 10-18-21	AT&T	2816455601	10519	887.48	0.00	902.96
11/10/2021	11/10/2021	Amz bill - Oct - phone	Amazon Capital Services	stmt 10-01 to 10-31	10540	465.50	0.00	1,368.46
11/18/2021	11/18/2021	Acct 287310473254 - 17 wireless phones Oct 8 thru Nov 7	AT&T Mobility	287310473254-Oct	10556	1,041.86	0.00	2,410.32
Total						<u>2,394.84</u>	<u>0.00</u>	

100 - General Account 100-310-53210

Post Date	Tran Date	Line Description	Vendor	Invoice #	Check #	Debit	Credit	Balance
11/2/2021	11/2/2021	Animal Control Inv 4521	All American Dogs	4521	10521	1,150.00	0.00	2,300.00
Total						<u>1,150.00</u>	<u>0.00</u>	

100 - General Account 100-310-54010

Post Date	Tran Date	Line Description	Vendor	Invoice #	Check #	Debit	Credit	Balance
11/2/2021	11/2/2021	10-28-21 Cleaning - PD office	Amanda Escovedo	11-1-2021 Amanda	10516	145.00	0.00	290.00
11/2/2021	11/2/2021	Weedeat Fishtrap, Oak Grove Ln	Billy Joe Lerma	11-1-2021 Lerma	10517	90.00	0.00	380.00
11/10/2021	11/10/2021	Amz bill - Oct - flags for PD office	Amazon Capital Services	stmt 10-01 to 10-31	10540	319.90	0.00	699.90
11/10/2021	11/10/2021	Cross Roads PD - Pest control - Inv 21221	A Smart Pest Control	21221	10542	97.00	0.00	796.90
11/24/2021	11/24/2021	Atwood	JPMorgan Chase Bank NA	Stmt thru 10-25-2		9.96	0.00	806.86
Total						<u>661.86</u>	<u>0.00</u>	

100 - General Account 100-310-54018

Post Date	Tran Date	Line Description	Vendor	Invoice #	Check #	Debit	Credit	Balance
11/24/2021	11/24/2021	O Reilly Auto	JPMorgan Chase Bank NA	Stmt thru 10-25-2		49.77	0.00	1,139.77
Total						<u>49.77</u>	<u>0.00</u>	

100 - General Account 100-310-54020

Post Date	Tran Date	Line Description	Vendor	Invoice #	Check #	Debit	Credit	Balance
11/10/2021	11/10/2021	Amz bill - Oct - Car Battery	Amazon Capital Services	stmt 10-01 to 10-31	10540	65.96	0.00	2,615.96

Post Date	Tran Date	Line Description	Vendor	Invoice #	Check #	Debit	Credit	Balance
11/10/2021	11/10/2021	Emissions Test Inspection on Vehicle - Inv 2008195	Integrity Car Care	2008195	10543	25.50	0.00	2,641.46
11/18/2021	11/18/2021	Zipcash Acct 2010812338-Lic Tag RBL-9626	North Texas Tollway Authority	2010812338	10554	24.99	0.00	2,666.45
11/18/2021	11/24/2021	*VOID* Zipcash Acct 2010812338-Lic Tag RBL-9626	North Texas Tollway Authority	2010812338	10554	0.00	24.99	2,641.46
11/24/2021	11/24/2021	Atwood	JPMorgan Chase Bank NA	Stmt thru 10-25-2		95.86	0.00	2,737.32
Total						<u>212.31</u>	<u>24.99</u>	

100 - General Account 100-410-53035

Post Date	Tran Date	Line Description	Vendor	Invoice #	Check #	Debit	Credit	Balance
11/2/2021	11/2/2021	10-15-21 to 11-11-21 Inv A-87250	Texas Johns	A-87250	10529	87.98	0.00	87.98
11/4/2021	11/4/2021	Display Ad Inv 95204	Pilot Point Post Signal	95204	10532	172.50	0.00	260.48
11/4/2021	11/4/2021	Banner-Park and Rec Holiday Market-Inv 480-56794	FastSigns	480-56794	10533	216.00	0.00	476.48
11/4/2021	11/4/2021	Post cards receipt Reimbursement	Vicki Knox	Post cards receipt	10534	120.00	0.00	596.48
11/18/2021	11/18/2021	11/12/21 to 12/09/21 Inv A-89689	Texas Johns	A-89689	10562	87.98	0.00	684.46
11/22/2021	11/22/2021	Reimbmt for Cards for Parks and Rec printed at UPS store	Vicki Knox	11-10-21	10568	187.50	0.00	871.96
11/22/2021	11/22/2021	30 color copies @ .59 per copy for Park and Rec	The UPS Store	103	10569	17.70	0.00	889.66
Total						<u>889.66</u>	<u>0.00</u>	

100 - General Account 100-410-53110

Post Date	Tran Date	Line Description	Vendor	Invoice #	Check #	Debit	Credit	Balance
11/12/2021	11/12/2021	Electric-Park Fm 424	CoServ	PD-Park-3 lights	10546	24.39	0.00	43.07
11/12/2021	11/12/2021	acct 002-0081400-002 Parks water bill	Mustang Special Utility District	Two invoices	10548	28.24	0.00	71.31
Total						<u>52.63</u>	<u>0.00</u>	

100 - General Account 100-520-53090

Post Date	Tran Date	Line Description	Vendor	Invoice #	Check #	Debit	Credit	Balance
11/12/2021	11/12/2021	Plan Review - Inv 81715	SAFEbuilt LLC	81715	10549	450.00	0.00	450.00
Total						<u>450.00</u>	<u>0.00</u>	

100 - General Account 100-610-53065

Post Date	Tran Date	Line Description	Vendor	Invoice #	Check #	Debit	Credit	Balance
11/2/2021	11/2/2021	10-29-21 Weedeat 10 locations	Billy Joe Lerma	11-1-2021 Lerma	10517	1,550.00	0.00	1,607.24
11/2/2021	11/2/2021	10-28-21 Pull down tree on Griffin Rd	Billy Joe Lerma	11-1-2021 Lerma	10517	140.00	0.00	1,747.24
11/2/2021	11/2/2021	-21-21 Signs install and also on 10-22-21	Billy Joe Lerma	11-1-2021 Lerma	10517	262.00	0.00	2,009.24

11/2/2021	11/2/2021	10-15-21 Haul Hutch/Hanger install	Billy Joe Lerma	11-1-2021 Lerma	10517	315.00	0.00	2,324.24
11/2/2021	11/2/2021	10-13-21 Install Dry Erase Board / desk	Billy Joe Lerma	11-1-2021 Lerma	10517	450.00	0.00	2,774.24
11/24/2021	11/24/2021	Wal Mart, Atwood, Circle K, Racetrac, 7-Eleven, Denton Landfill	JPMorgan Chase Bank NA	Stmt thru 10-25-2		447.64	0.00	3,221.88
Total						<u>3,164.64</u>	<u>0.00</u>	

100 - General

Account 100-610-53110

Post Date	Tran Date	Line Description	Vendor	Invoice #	Check #	Debit	Credit	Balance
11/2/2021	11/2/2021	9000272769 Griffin 9-27-21 to 10-26-21	CoServ	9000272769 Griffin	10515	10.51	0.00	121.19
11/12/2021	11/12/2021	Electric-Fishtrap Road Light	CoServ	PD-Park-3 lights	10546	28.62	0.00	149.81
11/12/2021	11/12/2021	Electric-FM 424 Wal Mart Light	CoServ	PD-Park-3 lights	10546	14.31	0.00	164.12
11/12/2021	11/12/2021	Electric-380 Wal Mart Light	CoServ	PD-Park-3 lights	10546	14.31	0.00	178.43
11/18/2021	11/18/2021	10-08 to 11-08 Naylor Rd lights	CoServ	9000272768 11-1-	10560	111.65	0.00	290.08
Total						<u>179.40</u>	<u>0.00</u>	



COUNCIL AGENDA BRIEFING SHEET

Meeting Date:

December 13, 2021

Agenda Item:

Consider approval of an application for a tree removal permit submitted by Robert Poorman, for residential property located at 1030 E. Oak Shores Drive.

Prepared by:

Rodney Patterson, Building Official

Description:

Applicant Robert Poorman submitted the attached Tree Removal Permit Application to remove oak trees greater than eighteen (18) inches at diameter breast height (DBH) from a residential lot. Applicant is requesting permission to remove 3 trees which appear to be dead, at least 1 of which is over 18" diameter at breast height. Mr. Poorman has included several photographs of the subject trees.

Recommended Action:

It should be noted that Section 3.08.004(a) of the Code of Ordinances specifically excepts trees located in the yard area within the three acres surrounding a constructed primary dwelling of development residential property. Historically, these cases have still been brought forward for Council approval. As such, Staff recommends the approval of the tree removal permit to allow for the removal of the trees.

Attachments:

Tree Removal Permit Application
Photographs

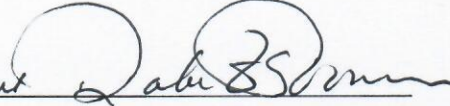


TREE REMOVAL PERMIT APPLICATION

Based on Town of Cross Roads Code of Ordinances

Date: 29-NOV-2021

Applicant Name: ROBERT POORMAN

Property Owner Name and Signature: ROBERT POORMAN 

Property Address: 1030 EAST OAK SHORES DR. CROSS ROADS, TX 76227-2409

Phone: 940-783-1315 email: R.A.POORMAN@GMAIL.COM

REASON FOR PERMIT REQUEST

A Tree Preservation and Protection permit is required for the following:

- I have a tree/s 18 inches or greater DBH (diameter at breast height/ 4 1/2 foot height) and must get council permission for removal
- I am a contractor developing a new residential property or lot/s and prior to any clearing of trees over 6" in DBH I am submitting a tree preservation plan
- I own or represent an owner for an agricultural/residential property and need a permit to remove trees 6" or greater DBH including dead trees.
- I am developing a commercial property and **PRIOR** to any clearing or removal of trees or other action that could impact the trees I am submitting a tree preservation plan
- Dead trees over 6" DBH (diameter at breast height/4 1/2 foot height). Describe below
- THERE ARE NO TREES ON MY PROPERTY

Description of Action: A TOTAL OF THREE (3) DEAD POST OAKS. TWO ARE IN CLOSE PROXIMITY TO THE HOUSE. ALL THREE DIED THIS YEAR AS A RESULT OF THE WINTER STORM (I ASSUME).

(Please attach an additional sheet if more space needed)

DOCUMENTATION ATTACHED

- Photos
- Tree Preservation Plan
- Tree Location
- Map
- Signed Affidavit
- Other _____

OFFICE USE ONLY			
Rec'd by: _____	Date _____	Time _____	<input type="checkbox"/> Approved <input type="checkbox"/> Denied
Signature: _____			
Date: _____			
Reason: _____			



5 6 7 8 9 THE STANLEY WORKS © 1988 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24



STANLEY 3 Life Guard 4 5 6 7 P.R. APPO NO. 339 TC 8 9 THE STANLEY WORKS © 1988 10 11 12 13 14 15 16 17 18 19





COUNCIL AGENDA BRIEFING SHEET

Meeting Date:

December 13, 2021

Agenda Item:

Consider approval of an application for a tree removal permit submitted by Janine Sprecher, for residential property located at 1071 E. Oak Shores Drive.

Prepared by:

Rodney Patterson, Building Official

Description:

Applicant Janine Sprecher submitted the attached Tree Removal Permit Application to remove a single tree greater than eighteen (18) inches at diameter breast height (DBH) from a residential lot. Ms. Sprecher has included several photographs of trees to be removed including the subject tree.

Recommended Action:

It should be noted that Section 3.08.004(a) of the Code of Ordinances specifically excepts trees located in the yard area within the three acres surrounding a constructed primary dwelling of development residential property. Historically, these cases have still been brought forward for Council approval. As such, Staff recommends the approval of the tree removal permit to allow for the removal of the trees.

Attachments:

Tree Removal Permit Application
Photographs



TREE REMOVAL PERMIT APPLICATION

Based on Town of Cross Roads Ordinance # 2005-0613-05

Date: 11/18/2021

Name: Janine Sprecher Property Owner: _____
(Applicant) (If Different)

Property Address: 1071 E Oak Shores Dr. Cross Roads

Phone: 707-853-3214 email: janines50@yahoo.com

REASON FOR PERMIT REQUEST

A Tree Preservation and Protection permit is required for the following:

- Tree 18 inches or greater DBH (diameter at breast height/ 4 1/2 foot height).
- Undeveloped residential development property or lots prior to any clearing of trees over 6" in DBH. Tree preservation plan must be submitted prior to clearing any trees larger than 6" DBH.
- Agricultural/Residential property greater than 3 acres in size - permit required for removing trees 6" or greater DBH including dead trees.
- Commercial development **PRIOR** to any clearing or removal of trees or other action that could impact the trees.
- Dead trees over 6" DBH (diameter at breast height/4 1/2 foot height). Describe below
- No trees on the property cut these limbs and trees

Description of Action: 1st 2 pictures front yard
3RD picture dead tree in the back.

(Please attach an additional sheet if more space needed)

DOCUMENTATION ATTACHED

- Photos
- Tree Preservation Plan
- Tree Location
- Map
- Signed Affidavit
- Other _____

OFFICE USE ONLY			
Rec'd by: _____	Date _____	Time _____	<input type="checkbox"/> Approved <input type="checkbox"/> Denied
Signature: _____			
Date: _____			
Reason: _____			

1401 FM 424 Cross Roads, TX 76227
TEL 940/365-9693 FAX 940/665-6898
CrossRoadsTX.gov

The first 2 pictures are of the trees in in the front yard.
The 3rd picture is of the dead tree in the backyard.
Thank you, Janine Sprecher









COUNCIL AGENDA BRIEFING SHEET

Meeting Date:

December 13, 2021

Agenda Item:

Consider approval of an application for a tree removal permit submitted by Reed Fiegener, for property located at 2000 E. Oak Shores Drive.

Prepared by:

Rodney Patterson, Building Official

Description:

Applicant Reed Fiegener submitted the attached Tree Removal Permit Application to remove oak trees greater than eighteen (18) inches at diameter breast height (DBH) from a residential lot. Mr. Fiegener is requesting permission to remove several trees which appear to have been struck by lightning, 2 of which are over 18" diameter at breast height. Mr. Fiegener has included several photographs of the subject trees.

Recommended Action:

It should be noted that Section 3.08.004(a) of the Code of Ordinances specifically excepts trees located in the yard area within the three acres surrounding a constructed primary dwelling of development residential property. Historically, these cases have still been brought forward for Council approval. As such, Staff recommends the approval of the tree removal permit to allow for the removal of the trees.

Attachments:

Tree Removal Permit Application

Photographs



TREE REMOVAL PERMIT APPLICATION

Based on Town of Cross Roads Code of Ordinances

Date: 11 / 08 / 2021

Applicant Name: John Fiegener

Property Owner Name and Signature: John Fiegener

Property Address: 2000 E Oak Shores Dr. Crossroads, Tx 76227

Phone: 9727404368 email: zero.wrx@gmail.com

REASON FOR PERMIT REQUEST

A Tree Preservation and Protection permit is required for the following:

- I have a tree/s 18 inches or greater DBH (diameter at breast height/ 4 1/2 foot height) and must get council permission for removal
- I am a contractor developing a new residential property or lot/s and prior to any clearing of trees over 6" in DBH I am submitting a tree preservation plan
- I own or represent an owner for an agricultural/residential property and need a permit to remove trees 6" or greater DBH including dead trees.
- I am developing a commercial property and **PRIOR** to any clearing or removal of trees or other action that could impact the trees I am submitting a tree preservation plan
- Dead trees over 6" DBH (diameter at breast height/4 1/2 foot height). Describe below
- THERE ARE NO TREES ON MY PROPERTY

Description of Action: _____

Arborist examined trees and found several lightning strikes.

Trees are hollow, are only half-anchored by roots, are fall-risks and must be removed.

(Please attach an additional sheet if more space needed)

DOCUMENTATION ATTACHED

- Photos
- Tree Preservation Plan
- Tree Location
- Map
- Signed Affidavit
- Other Arborist Map, Summary, Review

OFFICE USE ONLY			
Rec'd by: _____	Date _____	Time _____	<input type="checkbox"/> Approved <input type="checkbox"/> Denied
Signature: _____			
Date: _____			
Reason: _____			

Tree Masters Tree Service

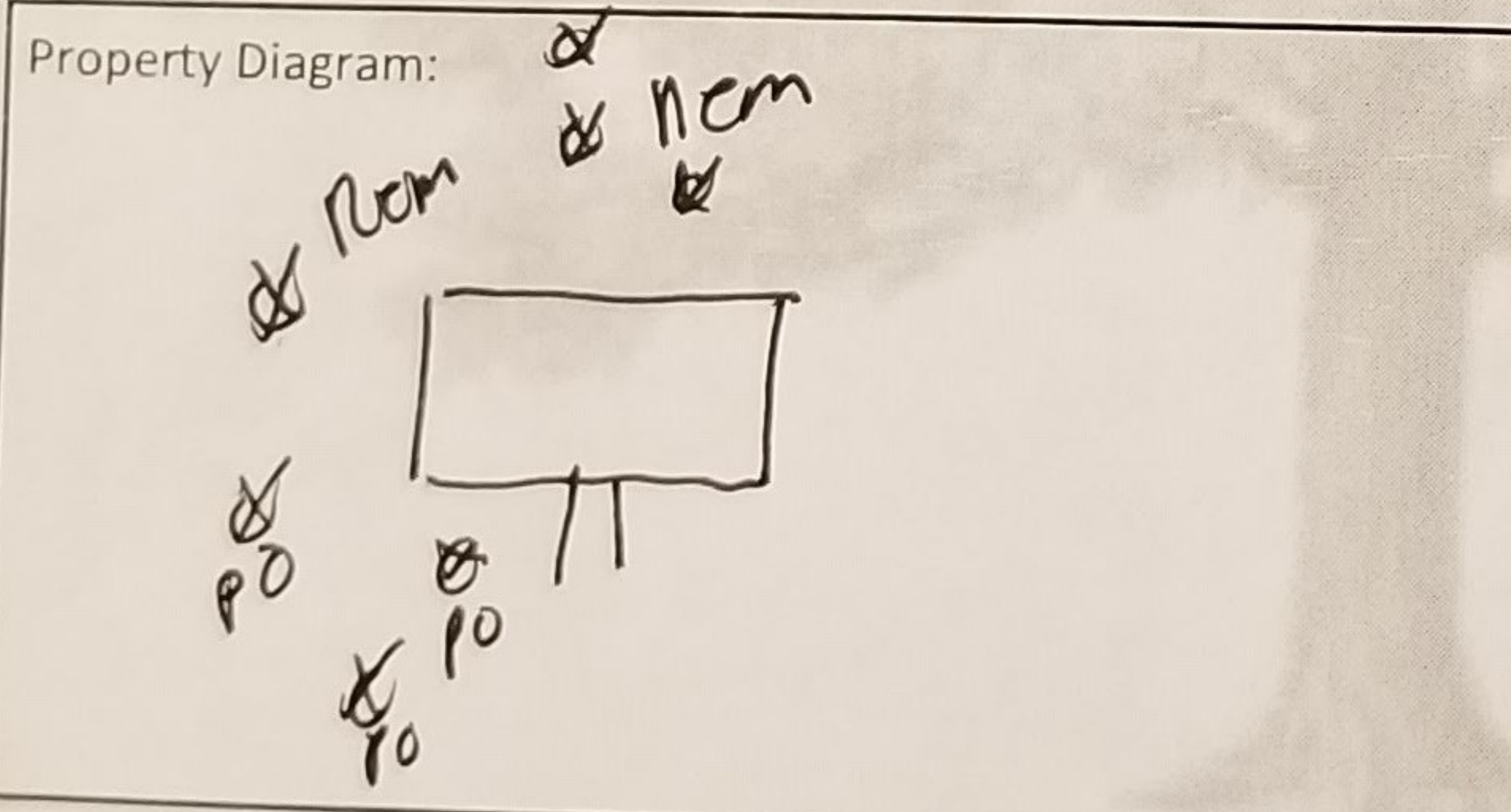
Wed.
9-11

"We'll go out on a limb for you"

- FREE ESTIMATE -

Name: Annemarie Fiegenger	Date of Estimate: 10/4/21
Address: 2008 E. Oak Shores DR	
City: Crossroads	State: TX
Phone 1: (972) 740/4368	Phone 2:
Email:	Date Work Performed:

Description of Work:		
Evaluation -		
3 (F) Treatments - Vascula/Systemic Inplants		\$ 960.00
1 (L) Lrg. Post Oaks (F)		\$
- Dead wood (3) Lrg. P. Oak		\$
111 Removal (Flush cut) PO (Keep big wood)		\$ 7,240.00
		\$
		\$
Bois d arc > Shot Hole		TAX \$
X _____	Approval Signature	TOTAL \$



Notes:

- Home Depot -
- Can "Great Stuff"
- Can Pruning Seal
- Anthracnose
- Anthracnose + Canker + Shot hole

Payment—Payment is due upon completion of work in the form of Cash, Check, Venmo or Zelle. If paying by check (amount under \$1000 make payable to *Tree Masters*) over \$1000, please make payable to *Gary Zimmerman*. Payments for larger jobs, lasting more than one day, require 50% down on the first day of the job, with the remainder due upon completion of the job. Thank you again for choosing *Tree Masters* for your tree care needs! X _____ Approval Signature

***We will meet or beat any competitors written price, guaranteed!**

dallasarborist@yahoo.com (972) 261-7511 www.treemasters-tree-service.com









COUNCIL AGENDA BRIEFING SHEET

Meeting Date:

December 13, 2021

Agenda Item:

Consider approval of an ordinance establishing a construction work zone speed limit of 50 mph on US 380 within the corporate limits of the Town of Cross Roads.

Prepared by:

Kristi Gilbert, Town Administrator

Description:

On December 2, 2021, Staff received an email from the TxDOT Dallas District Denton County Area Engineer regarding the need for a construction work zone speed reduction for US 380 in anticipation of US 380 interim widening project scheduled to begin in January 2022. TxDOT has requested the Town adopt an ordinance establishing a construction speed zone speed limit of 50 mph for US 380 from mile point 22.086 to 24.365. TxDOT will furnish and install the signs, the Town of Cross Roads is only required to adopt an ordinance. The Town of Little Elm and City of Frisco are being asked to establish the same construction speed limit for their portions of the roadway.

Recommended Action:

Staff recommends approval of the ordinance.

Attachments:

Communication from TxDOT
Proposed Ordinance

Kristi Gilbert

From: Travis Campbell <Travis.Campbell@txdot.gov>
Sent: Thursday, December 2, 2021 5:16 PM
To: Matthew Phillips; Wesley Brandon; Kristi Gilbert
Cc: Mike Glisson; Christopher Rocha
Subject: FW: US 380 (135-10) Construction Speed Zone Approval

[EXTERNAL]

Good Afternoon Matt/Wesley/Kristi,

We have received approval for a temporary construction speed limit reduction through your cities for the US 380 project. The reduction will be down to 50-mph.

Please proceed with passing city ordinances in your areas in support of the 50-mph speed limit and we will replace the signs once Zachry begins work in January/February 2022 timeframe.

Kristi – We already got an ordinance from you for the project West of here, but these limits are on US 380 from the US 377 split going North to the City limits. I don't think the previous ordinance covered that area.

Thanks everyone and if you have any questions or need an example, please let me know. We look forward to continue working together on this project.

Travis

Travis Campbell, P.E.

TxDOT Dallas District
Denton County Area Engineer
2624 W. Prairie
Denton, TX 76201
(940) 387-1414

From: Derryk Blasig <Derryk.Blasig@txdot.gov>
To: Spencer Keane <Spencer.Keane@txdot.gov>; Bahman Afsheen <Bahman.Afsheen@txdot.gov>; Ernest Sherrill <Ernest.Sherrill@txdot.gov>; Miles Hicks <Miles.Hicks@txdot.gov>
Cc: Don Vo <Don.Vo@txdot.gov>
Subject: US 380 (135-10) Construction Speed Zone Approval

We have reviewed the following construction speed zone request:

Highway	US 380
C-S-J	0135-10-050
County	Denton

Cities	Cross Roads Little Elm Frisco
Project #	F 2021(536)

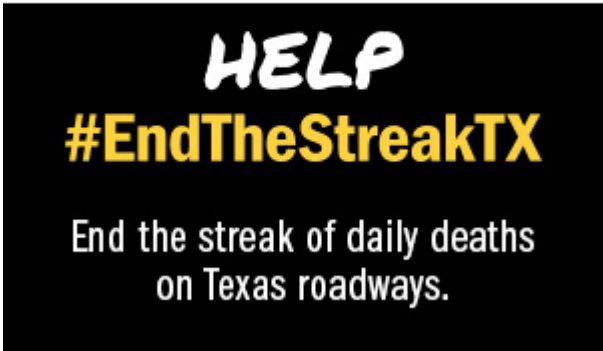
We concur with the following construction speed zones:

#	Mile Points	Length (mi)	Speed (mph)	City
1.	22.086 – 24.365	2.279	50	Cross Roads
2.	24.365 – 29.542	5.177	50	Little Elm
3.	29.542 – 32.368	2.826	50	Frisco

Please proceed with the cities of Cross Roads, Little Elm, and Frisco to have city ordinances passed.

Disclaimer - Per Chapter 2, Section 3 of the Procedures for Establishing Speed Zones manual, the construction speed zone signs must be removed or covered in areas within these approved milepoints where/when they are not needed.

A Texas Department of Transportation message



ORDINANCE NO. 2021-1213-__

AN ORDINANCE OF THE TOWN OF CROSS ROADS, TEXAS AMENDING THE CODE OF ORDINANCES OF THE TOWN OF CROSS ROADS, CHAPTER 12, TRAFFIC AND VEHICLES, ARTICLE 12.05.005, CONSTRUCTION ZONE TO ADD A CONSTRUCTION ZONE SPEED LIMIT FOR U.S. HIGHWAY 380; REPEALING CONFLICTING ORDINANCES; PROVIDING A SEVERABILITY CLAUSE; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the Town of Cross Roads, Texas (the “Town”), is a general law municipality and is authorized to enact regulations as necessary to protect the health, safety and welfare of the public and, may enact ordinances relative to its citizens’ health, safety, and welfare that are not inconsistent with the Constitution and laws of the State; and

WHEREAS, Section 311.002 of the Texas Transportation Code provides that a general-law municipality has exclusive control over and under the public highways, streets, and alleys of the municipality; and

WHEREAS, the Texas Transportation Code, Section 542.202, Powers of Local Authorities, grants the Town the authority to alter speed limits; and

WHEREAS, speeding in a construction zone is proscribed by the Texas Transportation Code and poses an imminent threat to health and safety; and

WHEREAS, the Town desires to implement those rules and regulations that protect health, life, and property and that preserve good government, order, and security of the Town and its inhabitants; and

WHEREAS, the Town has determined that it is a necessity to regulate activities as provided for herein to safeguard the public; and

WHEREAS, the Town is authorized by law to adopt the provisions contained herein, and has complied with all the prerequisites necessary for the passage of this ordinance; and

WHEREAS, all statutory and constitutional requirements for the passage of this ordinance have been adhered to, including but not limited to the Open Meetings Act; and

WHEREAS, the purpose of this ordinance is to promote the public health, safety, and general welfare of the citizens of the Town of Cross Roads;

NOW, THEREFORE, BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF CROSS ROADS, TEXAS:

SECTION 1. That, the statements contained in the preamble to this ordinance are hereby adopted as findings of fact and as a part of the operative provisions hereof.

SECTION 2. That, the Section 12.05.005 Construction Zones of the Code of Ordinances of the Town of Crossroads, is amended to add a construction zone speed limit of 50 miles per hour for U.S. Highway 380 from mile point 22.086 to mile point 24.365 which is the entire length of U.S. Highway 380 within the corporate limits of the Town of Cross Roads, which shall read as follows:

“Sec. 12.05.005 Construction Zones

.....

(c) . . .

The following construction zone speed limit is hereby established:

<u>Highway and Location</u>	<u>Speed Limit</u>
U.S. Highway 377 from north town limits to the intersection with U.S. Highway 380.	50 m.p.h.
<u>U.S. Highway 380 from the west town limits to the east town limits specifically indicated as mile point 22.086 to mile point 24.365”</u>	<u>50 m.p.h.</u>

SECTION 3. That, should any sentence, paragraph, subdivision, clause, phrase or section of this ordinance be adjudged or be held to be unconstitutional, illegal or invalid, the same shall not affect the validity of this ordinance as a whole, or any part or provision thereof other than the part thereof decided to be unconstitutional, illegal, or invalid, and the same shall not affect the validity of the Code of Ordinances of the Town of Crossroads as a whole.

SECTION 4. That, this ordinance shall take effect immediately following its passage, approval, and publication as provided by law, and it is accordingly so ordained.

PASSED AND APPROVED by the Town Council of the Town of Cross Roads, Texas, on this the 13th day of December, 2021.

APPROVED:

T. Lynn Tompkins, Jr., Mayor

ATTEST:

Donna Butler, Town Secretary

APPROVED AS TO FORM:

Town Attorney



COUNCIL AGENDA BRIEFING SHEET

Meeting Date:

December 13, 2021

Agenda Item:

CONDUCT A PUBLIC HEARING, discuss, and consider a request by Larry Coker on behalf of owner Anthony Cimino for a change in zoning from A-Agricultural to C2-Commerical 2 and request a Special Use Permit to allow for outdoor retail sales for Tract 87B, of the J. Bridges Abstract A0036A, generally located at 5400 FM 424, Cross Roads, Denton County, Texas. (2021-0809-01ZC, 2021-0809-03SUP)

Prepared by:

Kristi Gilbert, Town Administrator

Description:

On August 9, 2021, applicant Larry Coker submitted three applications related to 5400 FM 424 for the purpose of building a structure for Ewing Irrigation which included outdoor retail sales. This activity is currently only permitted through a Special Use Permit (SUP) in the C2-Commercial or LI-Light Industrial zoning districts. The applications included an amendment to the Future Land Use Map to change the designation from C-1 to C-2; a zoning change from A-Agricultural to C-2 Commercial and a SUP to allow for outdoor retail sales. Prior to consideration of the zoning change and the SUP, the Planning and Zoning Commission and Town Council had to consider the amendment to the Future Land Use Map.

At the September 20, 2021, Council meeting, the request to change the Future Land Use Map designation from C-1 to C-2 was approved by a vote of two to one with Mayor Pro Tem Meek and Council Member Phillips voting in favor, Council Member Gaalema voting against and Council Members King and White-Stevens absent.

At the November 15th Council Meeting, the Town Council tabled consideration of the zoning change to allow for consideration of the zoning change and SUP simultaneously after Staff's comments had been addressed and the Commission made a recommendation. On November 16, 2021, the applicant resubmitted plans showing the elevation of the building and site plan with additional detail on the proposed screening. Staff reviewed the plans and generated the attached comment letter dated November 19, 2021. The applicant responded to Staff's comments on November 28, 2021, and indicated they had no issues with the recommend action below.

A notice of public hearing for the zoning change and SUP was published in the newspaper and was also mailed to property owners within 200 feet of the subject property. As of the date the packet was published, no comments have been received.



COUNCIL AGENDA BRIEFING SHEET

Staff Recommended Action:

Staff recommends approval of the request to rezone the property from A-Agricultural to C-2 Commercial and approval of the SUP with the following conditions:

1. The special use permit is permitted for Ewing Irrigation and its subsidiaries as depicted in the submission. If the property is sold or transferred, this permit is no longer valid;
2. All items stored and advertised for sale must be on an improved surface such as asphalt or concrete; and,
3. The landscape buffer and screening fence must be maintained at all times to screen the outdoor materials from FM 424.

Planning and Zoning Recommendation

The Planning and Zoning Commission considered the zoning change at their November 2, 2021, meeting and recommended approval by a vote of four to one. The Commission is scheduled to consider the SUP application at their December 7, 2021, meeting. Their recommendation will be provided to the Town Council after the meeting.

Attachments:

Staff Review – 11/19/21

Applicants Response to Staff Review – 11/28/21

Resubmittal – 11/28/21

Proposed Zoning Ordinance

Proposed Special Use Permit Ordinance



Town of Cross Roads

3201 US Hwy 380, Suite 105

Cross Roads, Texas 76227

940-365-9693 office | 469-375-5905 fax

town-information@crossroadstx.gov / crossroadstx.gov

Staff Review Comments - Resubmittal

- Project:** Ewing Irrigation – Request for C2 Commercial Zoning and SUP for Outdoor Retail Sales/Storage
- Location:** 5400 FM 424 (Parcel ID 179425)
- Date of Review:** November 19, 2021
- Reviewer:** Kristi Gilbert, Town Administrator
- Recommendation:** Staff is recommending approval of the SUP with the following conditions:
1. The special use permit is permitted for Ewing Irrigation and its subsidiaries as depicted in the submission. If the property is sold or transferred, this permit is no longer valid;
 2. All items stored and advertised for sale must be on an improved surface such as asphalt or concrete; and,
 3. The landscape buffer and screening fence must be maintained at all times to screen the outdoor materials from FM 424.

Deadline to Submit Revisions or comments: **November 29, 2021, by 12:00 p.m.**

Comments:

The Town is in receipt of the second submittal of plans submitted on November 16, 2021, in response to Staff's comments dated August 23, 2021.

With the approval of the amendment to the Future Land Use Map from C1 Commercial to C2 Commercial, the request for a zoning change from A-Agricultural to C2-Commercial now complies with the Future Land Use Map.

The property is surrounded by the following current zoning designations:

- | | |
|--------|---|
| North: | A-Agricultural – vacant land |
| East: | A-Agricultural – Denton ISD Agricultural Facility |
| South: | A-Agricultural – Single Family Residence and vacant land |
| West: | A-Agricultural – FM 424, Single Family Residence and agricultural buildings |

Both a zoning change and a Special Use Permit (SUP) are discretionary in nature. The Planning and Zoning Commission considered both the application for a zoning change and the SUP request on November 2, 2021. The Commission recommended approval of the change in zoning to C-2 Commercial and tabled the request for an SUP based on outstanding items Staff had requested in the August 23, 2021, review letter. The Town Council considered the zoning change at their November 15, 2021, meeting and moved to table the request to a future date to consider the zoning change and the SUP concurrently. In order for the SUP to be considered, the Town Council must also approve the zoning change. The Town's Zoning Regulations were amended on June 21, 2021, to provide for the opportunity to request outdoor retail sales through the SUP process.



Town of Cross Roads

3201 US Hwy 380, Suite 105

Cross Roads, Texas 76227

940-365-9693 office | 469-375-5905 fax

town-information@crossroadstx.gov / crossroadstx.gov

Section 14.03.116 of the Town's Comprehensive Zoning Regulations provides that the Town Council, after recommendation by the Planning and Zoning Commission can consider conditions related to the operations, site development, parking, signage, and time limits as may be deemed necessary in order that such use will not seriously injure the appropriate use of neighboring property and will generally conform to the intent and purpose of the ordinance. This action is discretionary in nature.

The revised concept plan submitted on November 16, 2021, indicates the boundaries of the special use permit are approximately half of the size of the lot incorporating the eastern portion of the property. The plan indicates a black chain link fence eight (8) feet tall surrounding the entire portion of the property to be utilized for outdoor sales and storage. The western portion of the fencing facing FM 424 will include black slats, while the north, east and south sides are only the chain link fence. Staff has concerns that the chain link fence does not extend to the property lines which could make maintenance of the property between the fence and property lines difficult. There is a landscape buffer planned on the west side of the western fence that includes the planting of 19, 30-gallon, three (3) inch caliper Savannah Holly trees, 170 Burford Holly's, 50 Dwarf Yaupon Holly's, 26 Liriope Big Blue along with seasonal color at the entrance to the parking.

The plan indicates 80,700 square feet of paved outdoor storage area and 140,500 square feet of stabilized compacted flexible base material. It should be noted that Staff's comments do not include a technical review of the site plan and are limited to a conceptual plan for the SUP. Approximately half of the site is proposed to be covered with impervious area and a portion of the property is within Special Flood Hazard Areas Zone A per the Flood Insurance Rate Map 48121C0405G effective April 18, 2011. Engineering review of drainage components will be critical for site development.

Staff is recommending approval of the SUP with the following conditions:

1. The special use permit is permitted for Ewing Irrigation and its subsidiaries as depicted in the submission. If the property is sold or transferred, this permit is no longer valid;
2. All items stored and advertised for sale must be on an improved surface such as asphalt or concrete; and,
3. The landscape buffer and screening fence must be maintained at all times to screen the outdoor materials from FM 424.

From: [Steve Uzcategui](#)
To: [Kristi Gilbert](#)
Cc: [Larry Coker](#); [Ellen Coker](#); [Rodney Patterson](#); [Donna Butler](#)
Subject: RE: Ewing Cross Roads - SUP Screening Package
Date: Sunday, November 28, 2021 7:20:46 PM
Attachments: [Ewing Cross Roads - Drawings - 2021 11 28.pdf](#)

[EXTERNAL]

Kristi,

Thank you for the staff review letter. Below are some comments and questions.

Recommendation Comments:

1. The special use permit is permitted for Ewing Irrigation and its subsidiaries as depicted in the submission. If the property is sold or transferred, this permit is no longer valid; (no issues)
2. All items stored and advertised for sale must be on an improved surface such as asphalt or concrete; and, (is stabilized compacted flexible base an option? – if not we have updated the drawings to show paving in place of the flexible base – I have added the revised drawing to the original link just below – the revised sheets are attached)
3. The landscape buffer and screening fence must be maintained at all times to screen the outdoor materials from FM 424. (no issues)

Misc Comments:

--2nd to last paragraph – “Staff has concerns that the chain link fence does not extend to the property lines which could make maintenance of the property between the fence and property lines difficult.” (the fence lines were shown off set from the property lines for drawing clarity – the fence will be on the property line)

--Last paragraph – “provides for fencing surrounding the proposed 12,500 square foot building.” (are there a few words missing to start the paragraph?)

--Also last paragraph – “Engineering review of drainage components will be critical for site development.” (we will have a Civil Engineering firm determine the drainage requirements for the site during design)

Egnyte Link:

<https://saber.egnyte.com/fl/JzelrcAuUv>

Revised drawing file name: “Ewing Cross Roads - Renderings and Drawings - 2021 11 28.pdf”

Are we officially on the P&Z agenda for 12/7 and on the Town Council agenda for the 12/13?

Let me know if you have any questions or need any additional information.

Thank You,
Steve Uzcategui

Saber Construction, Inc.
12201 Cutten Rd
Houston, TX 77066
281-955-7727 Office
832-309-8524 Mobile

From: Kristi Gilbert <k.gilbert@crossroadstx.gov>

Sent: Friday, November 19, 2021 1:42 PM

To: Steve Uzcategui <suzcategui@sabercon.com>

Cc: Larry Coker <lcoker@sabercon.com>; Ellen Coker <ellen@sabercon.com>; Rodney Patterson <r.patterson@crossroadstx.gov>; Donna Butler <d.butler@crossroadstx.gov>

Subject: RE: Ewing Cross Roads - SUP Screening Package

Steve and Larry,

Please see the attached staff review letter related to the recent resubmittal. If you have any comments, please submit them to me no later than Monday, November 29th at noon.

Thanks,

Kristi Gilbert

Town Administrator

Town of Cross Roads

k.gilbert@crossroadstx.gov

Ofc: 940.365.9693

Cell: 940.218.4241

Note our new physical and mailing address:

Town of Cross Roads

3201 US Hwy 380, Ste 105

Cross Roads, TX 76227

ATTENTION: Please note any correspondence, such as e-mail or letters, sent to Town Staff or Town Officials may become a public record and made available for Public/Media review.

PUBLIC OFFICIALS: A "Reply to All" of this e-mail may lead to violations of the Texas Open Meetings Act. Please reply only to the sender.

From: Steve Uzcategui <suzcategui@sabercon.com>

Sent: Tuesday, November 16, 2021 3:03 AM

To: Kristi Gilbert <k.gilbert@crossroadstx.gov>

Cc: Larry Coker <lcoker@sabercon.com>; Ellen Coker <ellen@sabercon.com>

Subject: Ewing Cross Roads - SUP Screening Package

[EXTERNAL]

Kristi,

Thank you very much for talking with me tonight. Below is the link to the Ewing screening package I handed out.

Egnyte Link:

<https://saber.egnyte.com/fl/JzelrcAuUy>

Let me know if you have any questions or if we need to add anything to the package.

Thank You,
Steve Uzcategui

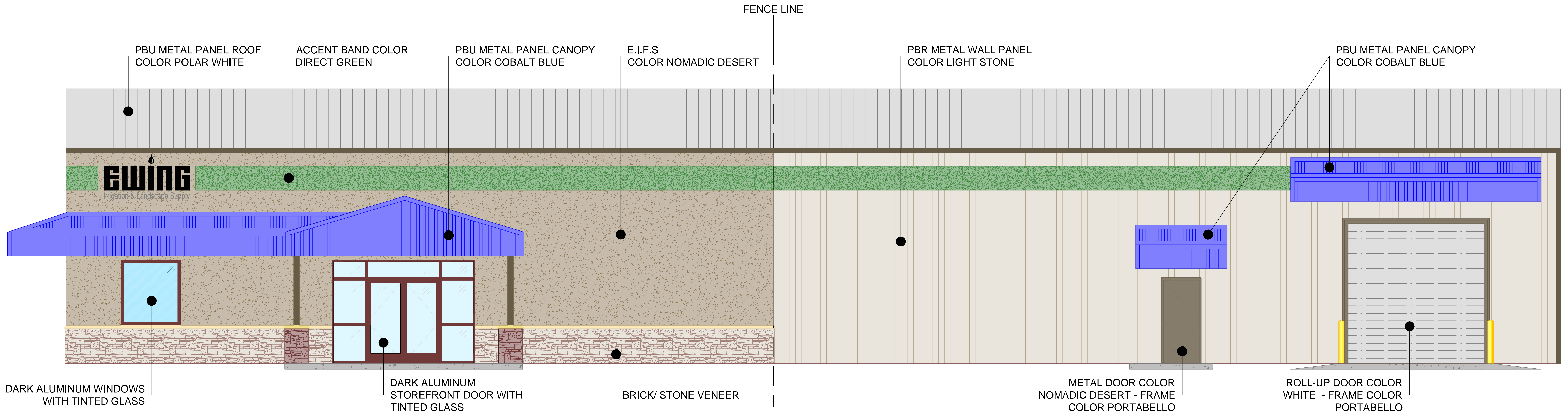
Saber Construction, Inc.
12201 Cutten Rd
Houston, TX 77066
281-955-7727 Office
832-309-8524 Mobile



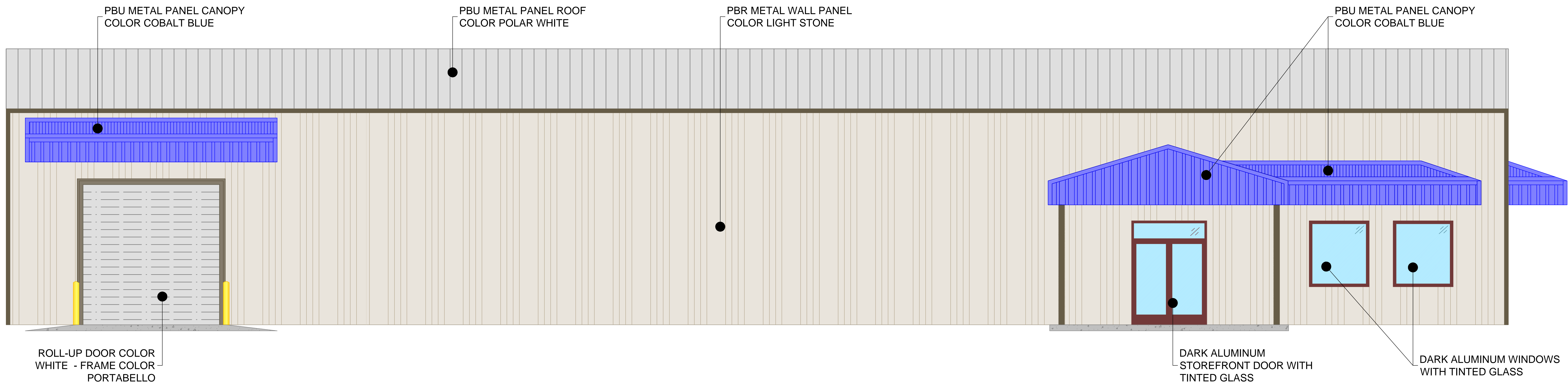




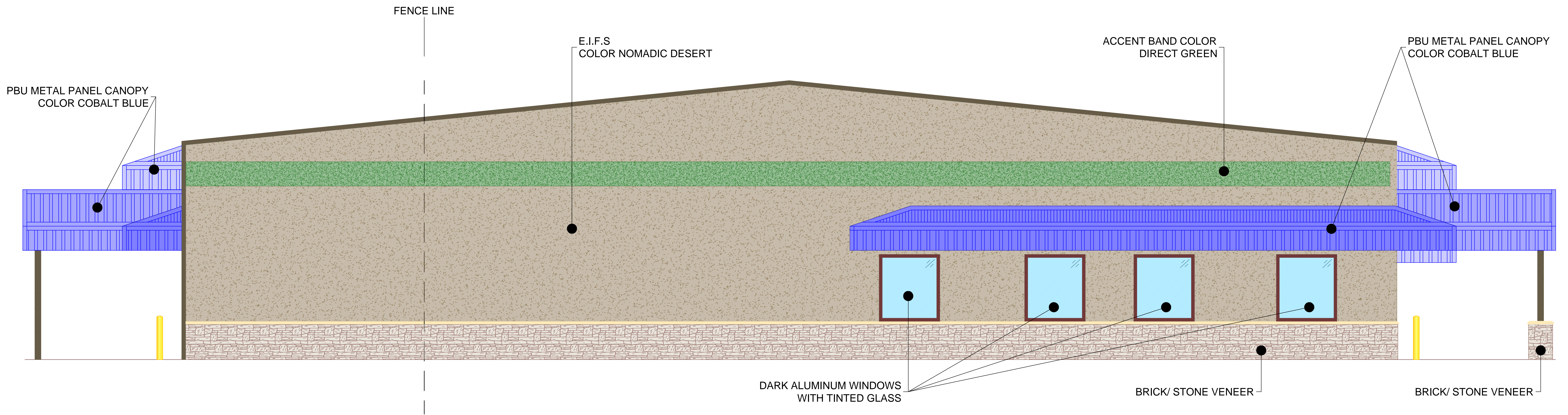
EWING
Market & Central Supply



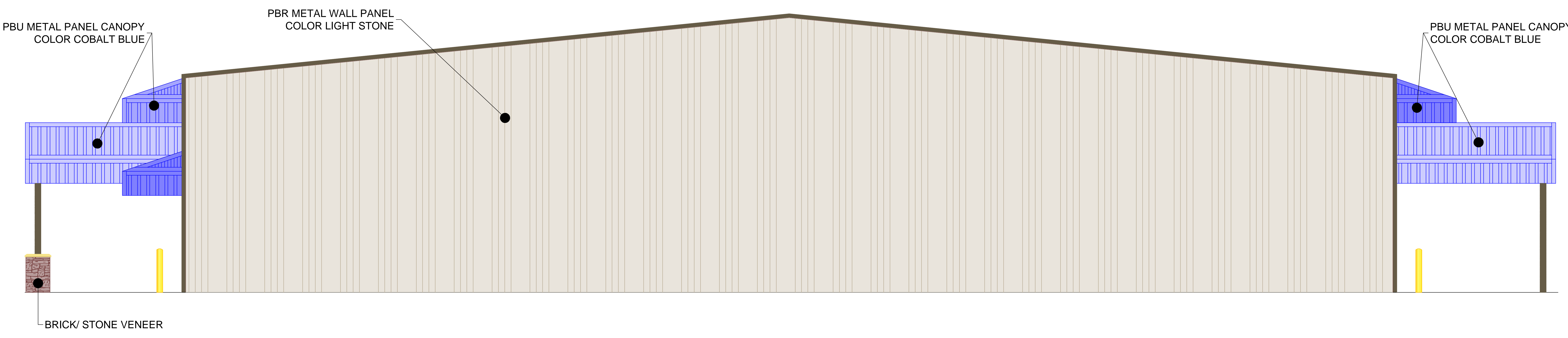
1 ELEVATION - FRONT OF THE BUILDING
SCALE: NTS



2 ELEVATION - BACK OF THE BUILDING
SCALE: NTS



3 ELEVATION - LEFT SIDE OF THE BUILDING
 - SCALE: NTS



4 ELEVATION - RIGHT SIDE OF THE BUILDING
 - SCALE: NTS



Revisions		
Number	Description	Date

Open studio architecture, PLLC © 2021
All Rights Reserved
THIS DRAWING IS PROVIDED AS AN INSTRUMENT OF SERVICE BY THE ARCHITECT AND IS INTENDED FOR USE ON THIS PROJECT ONLY. THE DRAWING REMAINS THE PROPERTY OF THE ARCHITECT AND SHALL BE RETURNED TO HIM/HER UPON COMPLETION OF THE CONSTRUCTION WORKS. PURSUANT TO THE ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990, ALL DRAWINGS, SPECIFICATIONS, IDEAS, AND DESIGN, INCLUDING THE OVERALL FORM, ARRANGEMENT, AND COMPOSITION OF THE SPACES, AND ELEMENTS APPEARING HEREIN, CONSTITUTE THE COPYRIGHT WORK OF THE ARCHITECT. ANY REPRODUCTION, USE, OR DISCLOSURE OF INFORMATION CONTAINED HEREIN WITHOUT PRIOR WRITTEN CONSENT OF THE ARCHITECT IS STRICTLY PROHIBITED.

EWING IRRIGATION PRODUCTS, INC.
5400 FM 424, CROSS ROADS, TX 76227



project #: XX.XXX

date: XX/XX/2021

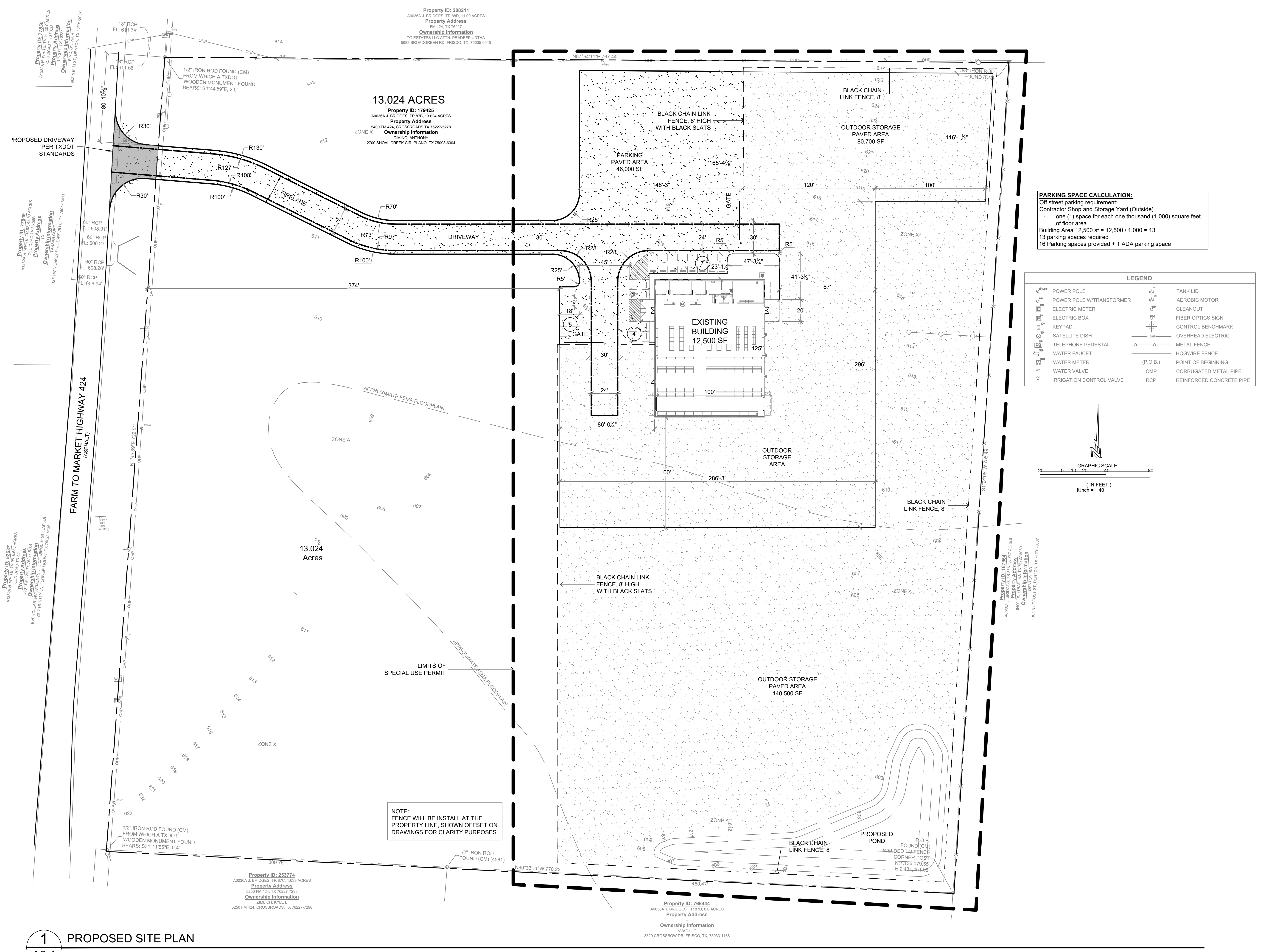
drawn by: AD

checked by: SU/TM

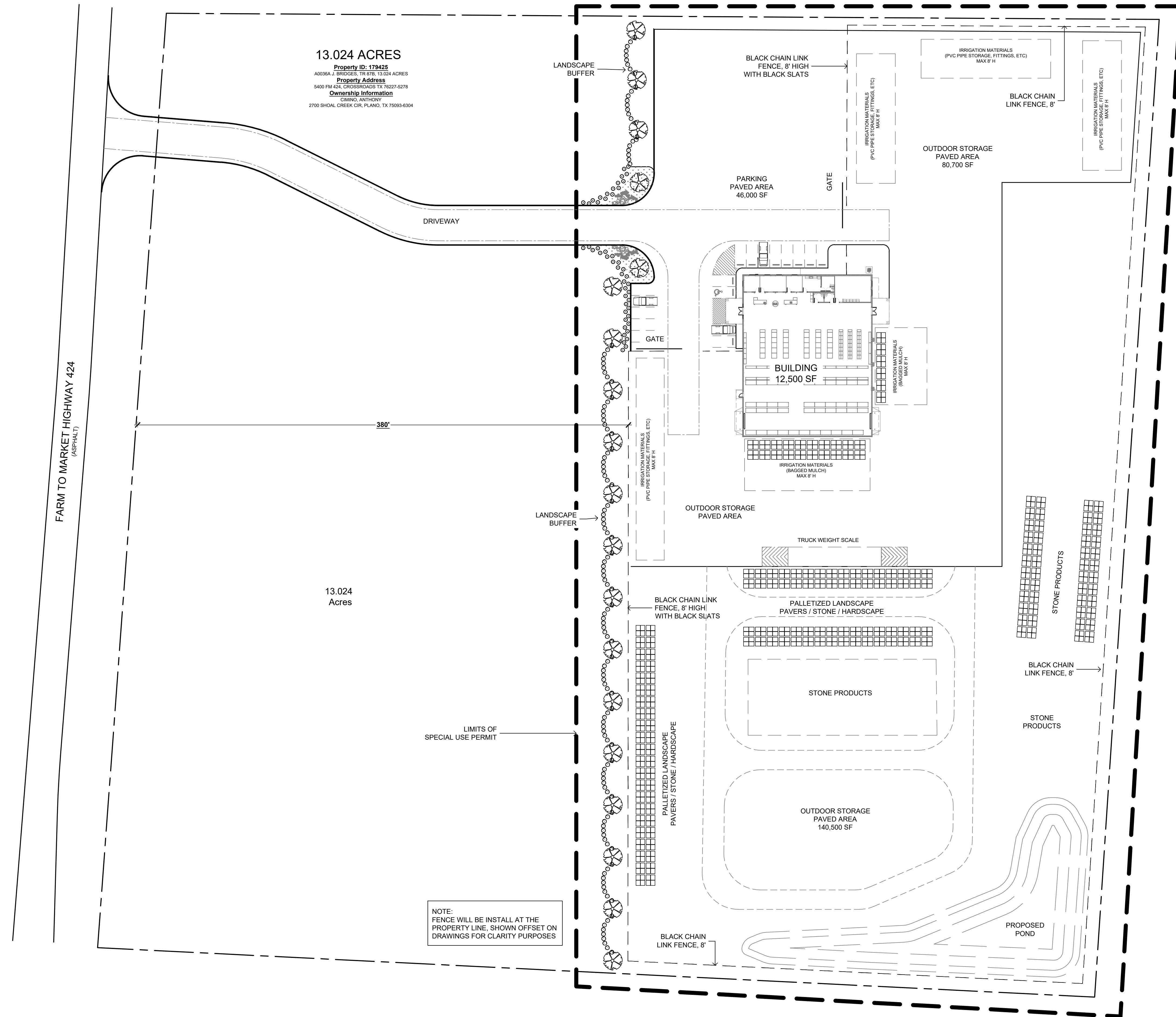
drawing title:
PROPOSED SITE PLAN

drawing number:

A0.1



1 PROPOSED SITE PLAN
A0.1 SCALE: 1" = 40'



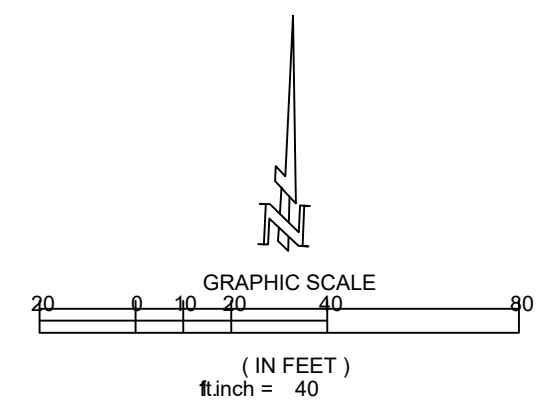
13.024 ACRES
 Property ID: 179425
 A0036A J. BRIDGES, TR 878, 13.024 ACRES
 Property Address
 5400 FM 424, CROSSROADS, TX 76227-6278
 Ownership Information
 CIMINO, ANTHONY
 2700 SHOAL CREEK CIR, PLANO, TX 75093-6304

NOTE:
 FENCE WILL BE INSTALL AT THE
 PROPERTY LINE, SHOWN OFFSET ON
 DRAWINGS FOR CLARITY PURPOSES

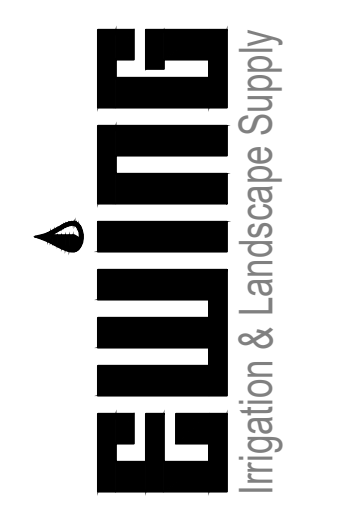


Revisions		
Number	Description	Date

Open studio architecture, PLLC © 2021
 All Rights Reserved
 THIS DRAWING IS PROVIDED AS AN INSTRUMENT OF SERVICE BY THE ARCHITECT AND IS INTENDED FOR USE ON THIS PROJECT ONLY. THE DRAWING REMAINS THE PROPERTY OF THE ARCHITECT AND SHALL BE RETURNED TO HIM/HER UPON COMPLETION OF THE CONSTRUCTION WORKS. PURSUANT TO THE ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990, ALL DRAWINGS, SPECIFICATIONS, IDEAS, AND DESIGNS, INCLUDING THE OVERALL FORM, ARRANGEMENT, AND COMPOSITION OF THE SPACES, AND ELEMENTS APPEARING HEREIN, CONSTITUTE THE COPYRIGHT WORK OF THE ARCHITECT. ANY REPRODUCTION, USE, OR DISCLOSURE OF INFORMATION CONTAINED HEREIN WITHOUT PRIOR WRITTEN CONSENT OF THE ARCHITECT IS STRICTLY PROHIBITED.



EWING IRRIGATION PRODUCTS, INC.
 5400 FM 424, CROSS ROADS, TX 76227



project #: XX.XXX

date: XX/XX/2021

drawn by: AD

checked by: SU/TM

drawing title:
**PROPOSED
 FIXTURE
 SITE PLAN**

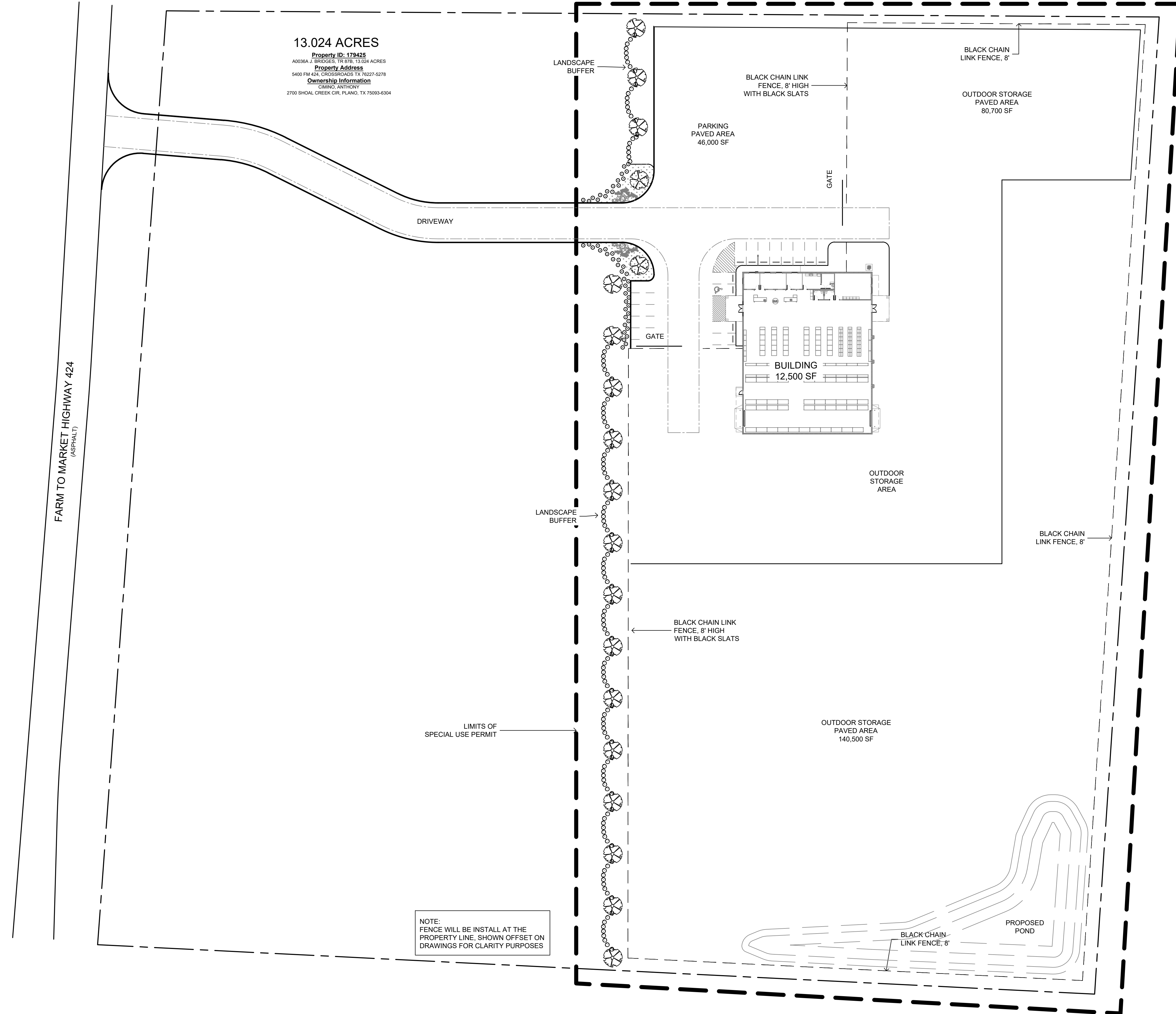
drawing number:

A0.2



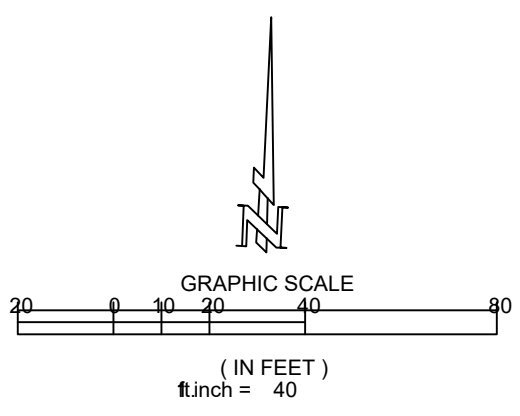
Revisions		
Number	Description	Date

Open studio architecture, PLLC © 2021
All Rights Reserved
THIS DRAWING IS PROVIDED AS AN INSTRUMENT OF SERVICE BY THE ARCHITECT AND IS INTENDED FOR USE ON THIS PROJECT ONLY. THE DRAWING REMAINS THE PROPERTY OF THE ARCHITECT AND SHALL BE RETURNED TO HIM/HER UPON COMPLETION OF THE CONSTRUCTION WORKS. PURSUANT TO THE ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990, ALL DRAWINGS, SPECIFICATIONS, IDEAS, AND DESIGNS, INCLUDING THE OVERALL FORM, ARRANGEMENT, AND COMPOSITION OF THE SPACES, AND ELEMENTS APPEARING HEREIN, CONSTITUTE THE COPYRIGHT WORK OF THE ARCHITECT. ANY REPRODUCTION, USE, OR DISCLOSURE OF INFORMATION CONTAINED HEREIN WITHOUT PRIOR WRITTEN CONSENT OF THE ARCHITECT IS STRICTLY PROHIBITED.



PLANT SCHEDULE:

TREES	QTY	COMMON NAME	CONT	CALIPER
1	19	SAVANNAH HOLLY TREE	30 GAL	3" CAL.
SHRUB	QTY	COMMON NAME	CONT	
2	170	BURFORD HOLLY SHRUB	3 GAL	
3	50	DWARF YAUPON HOLLY	3 GAL	
4	26	LIRIOPE BIG BLUE	1 GAL	
5	-	SEASONAL COLOR	-	-
GRASS	QTY	COMMON NAME	CONT	
6	1.30	BERMUDA GRASS	-	-



NOTE:
FENCE WILL BE INSTALL AT THE PROPERTY LINE, SHOWN OFFSET ON DRAWINGS FOR CLARITY PURPOSES



**TOWN OF CROSS ROADS
ORDINANCE NO. 2021-1213-_____**

AN ORDINANCE OF THE TOWN OF CROSS ROADS, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE AND MAP OF THE TOWN OF CROSS ROADS, TEXAS, AS HERETOFORE, AMENDED, BY GRANTING A CHANGE IN ZONING FROM AGRICULTURAL-A TO COMMERCIAL 2 – C2 FOR APPROXIMATELY 13.024 +/- ACRES OF LAND SITUATED AT 5400 FM 424, CROSS ROADS, DENTON COUNTY, TEXAS DESCRIBED AS TRACT 87B OF THE J. BRIDGES ABSTRACT NO. A0036A, TOWN OF CROSS ROADS, DENTON COUNTY, TEXAS; PROVIDING DEVELOPMENT STANDARDS; PROVIDING A REPEALING CLAUSE; PROVIDING A SAVINGS CLAUSE, PROVIDING A SEVERABILITY CLAUSE; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND (\$2,000.00) DOLLARS FOR EACH OFFENSE; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, Chapter 211 of the Texas Local Government Code empowers municipalities to enact zoning regulations and provide for their administration, enforcement and amendment; and

WHEREAS, the Town has previously deemed it necessary and desirable to adopt zoning regulations to providing for the orderly development of property within the Town, in order to promote the health, safety and welfare of the residents of the Town; and,

WHEREAS, the Cross Roads Code of Ordinances Chapter 14 Zoning constitutes the Town's Zoning regulations and requires property to be zoned in accordance with proper designations as defined by the Town; and,

WHEREAS, the Planning and Zoning Commission of the Town of Cross Roads provided adequate notice and held a public hearing in accordance with Chapter 14 of the Cross Roads Code of Ordinances; and,

WHEREAS, the Planning and Zoning Commission of the Town of Cross Roads has recommended approval of the Zoning Change; and,

WHEREAS, the Town Council finds that the passage of this Ordinance is in the best interest of the citizens of Cross Roads.

NOW, THEREFORE, BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF CROSSROADS, TEXAS:

SECTION 1. That the Comprehensive Zoning Ordinance and Map of the Town of Cross Roads, Texas, heretofore duly passed by the governing body of the Town of Cross Roads, as heretofore amended, be and the same are hereby amended by granting a change in zoning from Agricultural-A to Commercial 2 - C2 for approximately 13.024 +/- acres of land situated 5400 FM 424, Cross Roads, Denton County, Texas, being described as Tract 87B of the J. Bridges Abstract No. A0036A, in the Town of Cross Roads, Denton County, Texas, and being described

in Exhibit “A” and depicted in Exhibit “B”, attached hereto and incorporated herein (hereinafter the “Property”).

SECTION 2. That the above-described Property shall be used only in the manner and for the purposes provided herein and by the ordinances of the Town of Cross Roads, Texas, as heretofore amended, and as amended herein.

SECTION 3. That all provisions of the ordinances of the Town of Cross Roads in conflict with the provisions of this ordinance as applicable to the Property be and the same are hereby repealed and all other provisions of the ordinances of the Town of Cross Roads not in conflict with the provisions of this ordinance shall remain in full force and effect.

SECTION 4. An offense committed before the effective date of this ordinance is governed by the prior law and the provisions of the Comprehensive Zoning Ordinance, as amended, in effect when the offense was committed, and the former law is continued in effect for this purpose.

SECTION 5. That should any sentence, paragraph, subdivision, clause, phrase, or section of this ordinance be adjudged or held to be unconstitutional, illegal, or invalid the same shall not affect the validity of this ordinance as a whole or any part or provision hereof other than the part so decided to be invalid, illegal, or unconstitutional, and shall not affect the validity of the Comprehensive Zoning Ordinance as a whole.

SECTION 6. That any person, firm, or corporation violating any of the provisions or terms of this ordinance shall be subject to the same penalty as provided for in the Comprehensive Zoning Ordinance of the Town of Cross Roads, as heretofore amended, and upon conviction shall be punished by a fine not to exceed the sum of Two Thousand (\$2,000.00) Dollars for each offense; and each and every day such violation shall continue shall be deemed to constitute a separate offense.

SECTION 7. This ordinance shall take effect immediately from and after its passage and the publication of the caption, as the law and charter in such cases provide.

PASSED AND APPROVED this 13th day of **December, 2021**.

APPROVED:

MAYOR

ATTEST:

TOWN SECRETARY

APPROVED AS TO FORM:

TOWN ATTORNEY

EXHIBIT A
LEGAL DESCRIPTION

J.Bridges Abstract A0036, Tract 87B being 13.024 acres of land.

**EXHIBIT B
PROPERTY DEPICTION**



TOWN OF CROSS ROADS

ORDINANCE NO. 2021-____ - ____

AN ORDINANCE OF THE TOWN COUNCIL OF THE TOWN OF CROSS ROADS, TEXAS, GRANTING A SPECIAL USE PERMIT FOR OUTDOOR RETAIL SALES WITH CONDITIONS, FOR PROPERTY LOCATED AT 5400 FM 424, CROSS ROADS, DENTON COUNTY, TEXAS DESCRIBED AS TRACT 87B OF THE J. BRIDGES ABSTRACT NO. A0036A, TOWN OF CROSS ROADS, DENTON COUNTY, TEXAS; PROVIDING FOR A REPEALER; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A SAVINGS CLAUSE AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, Chapter 211 of the Texas Local Government Code empowers municipalities to enact zoning regulations and provide for their administration, enforcement and amendment; and

WHEREAS, the Town has previously deemed it necessary and desirable to adopt zoning regulations to providing for the orderly development of property within the Town, in order to promote the health, safety and welfare of the residents of the Town; and,

WHEREAS, the Cross Roads Code of Ordinances Chapter 14 Zoning constitutes the Town's Zoning regulations and requires property to be zoned in accordance with proper designations as defined by the Town; and,

WHEREAS, the Planning and Zoning Commission of the Town of Cross Roads provided adequate notice and held a public hearing in accordance with Chapter 14 of the Cross Roads Code of Ordinances; and,

WHEREAS, the Planning and Zoning Commission of the Town of Cross Roads has recommended approval of the Special Use Permit 2021-0809-03SUP, to allow for outdoor retail sales with conditions, at the subject location with conditions; and,

WHEREAS, the Town Council of the Town of Cross Roads now desires to grant a Special Use Permit, as requested by applicant Larry Coker on behalf of owner Anthony Cimino for outdoor retail sales at 5400 FM 424 as described in Exhibit A and depicted in Exhibit B attached to this Ordinance.

WHEREAS, the Town Council finds that the passage of this Ordinance is in the best interest of the citizens of Cross Roads.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE TOWN OF CROSS ROADS, TEXAS:

SECTION 1: That, all matters stated in the Recitals hereinabove are found to be true and correct and are incorporated herein by reference as if copied in their entirety

SECTION 2: That the subject location, being the located at 5400 FM 424; more specifically described in Exhibit A is hereby granted a Special Use Permit for Outdoor Retail Sales, subject to the following conditions:

1. The special use permit is permitted for Ewing Irrigation and its subsidiaries as depicted in the submission. If the property is sold or transferred, this permit is no longer valid;
2. All items stored and advertised for sale must be on an improved surface such as asphalt or concrete; and,
3. The landscape buffer and screening fence must be maintained at all times to screen the outdoor materials from FM 424.

SECTION 3: That this ordinance shall be cumulative of all provisions of the Town of Cross Roads, Texas, except where provisions of this Ordinance are in direct conflict with the provisions of such Ordinance, in which event, conflicted provisions of such Ordinance are hereby repealed.

SECTION 4: That it is hereby declared to be the intention of the Town Council of the Town of Cross Roads that phrases, clauses, sentences, paragraphs, and sections of this Ordinance are severable, and if any phrase, clause, sentence, paragraph or section of this Ordinance should be declared unconstitutional by the valid judgment or decree of any court of competent jurisdiction, such unconstitutionality shall not affect any of the remaining phrases, clauses, sentences, paragraphs, and section of the Ordinance, since the same would have been enacted by the Town Council without incorporation in this ordinance of any such unconstitutional phrase, clause, sentence, paragraph, and section.

SECTION 5: That this Ordinance shall become effective from and after its date of passage.

PASSED AND APPROVED ON THIS 13TH DAY OF DECEMBER 2021.

ATTEST:

Mayor

Town Secretary

APPROVED AS TO FORM:

Town Attorney

EXHIBIT A
LEGAL DESCRIPTION

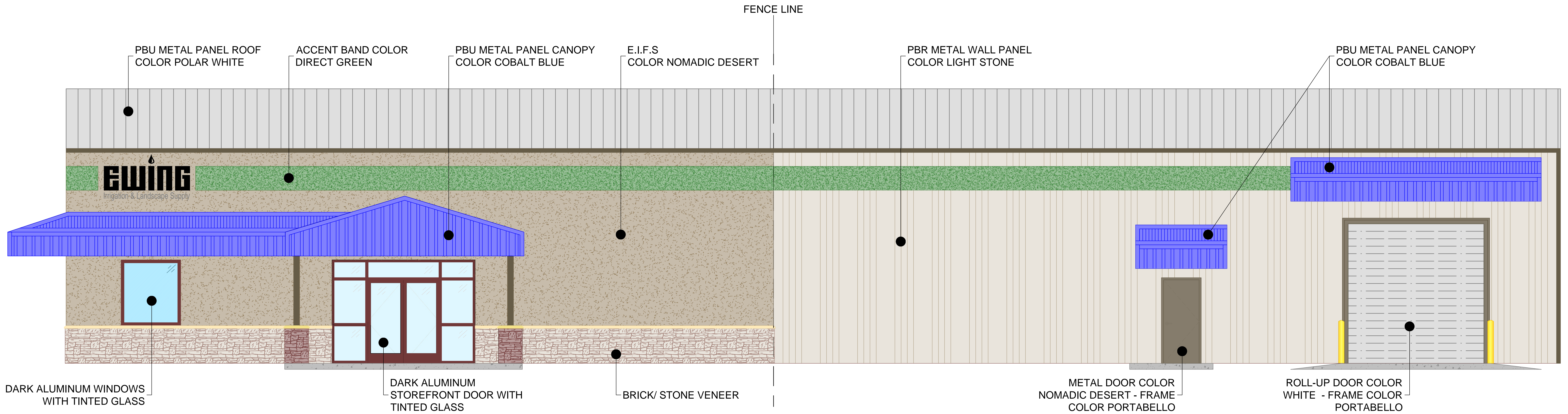
J.Bridges Abstract A0036, Tract 87B being 13.024 acres of land.

**EXHIBIT B
CONCEPT PLAN**

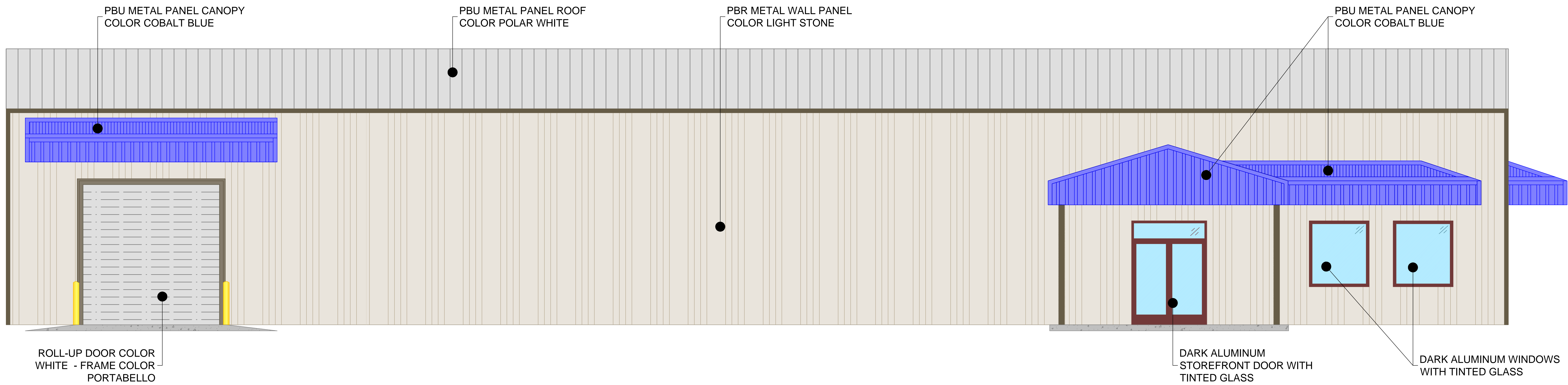




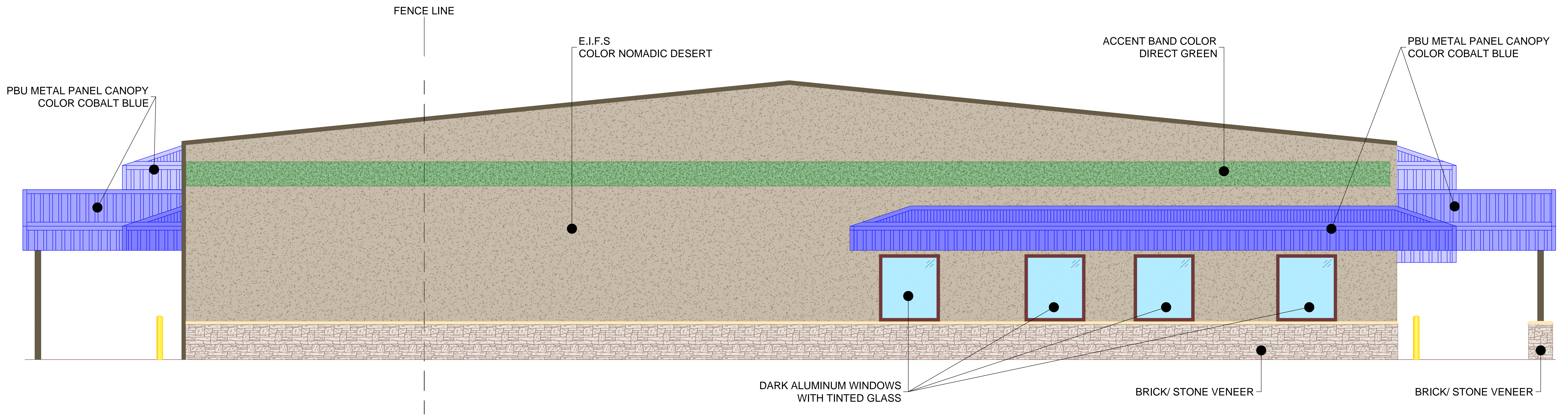




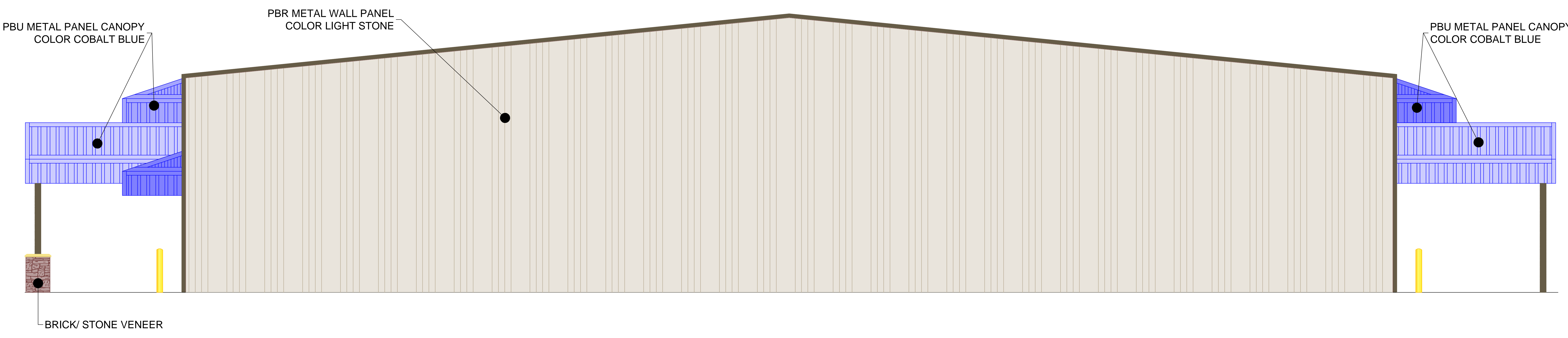
1 ELEVATION - FRONT OF THE BUILDING
SCALE: NTS



2 ELEVATION - BACK OF THE BUILDING
SCALE: NTS



3 ELEVATION - LEFT SIDE OF THE BUILDING
 - SCALE: NTS



4 ELEVATION - RIGHT SIDE OF THE BUILDING
 - SCALE: NTS



Revisions		
Number	Description	Date

THIS DRAWING IS PROVIDED AS AN INSTRUMENT OF SERVICE BY THE ARCHITECT AND IS INTENDED FOR USE ON THIS PROJECT ONLY. THE DRAWING REMAINS THE PROPERTY OF THE ARCHITECT AND SHALL BE RETURNED TO HIM/HER UPON COMPLETION OF THE CONSTRUCTION WORKS. PURSUANT TO THE ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990, ALL DRAWINGS, SPECIFICATIONS, IDEAS, AND DESIGN, INCLUDING THE OVERALL FORM, ARRANGEMENT, AND COMPOSITION OF THE SPACES, AND ELEMENTS APPEARING HEREIN, CONSTITUTE THE COPYRIGHT WORK OF THE ARCHITECT. ANY REPRODUCTION, USE, OR DISCLOSURE OF INFORMATION CONTAINED HEREIN WITHOUT PRIOR WRITTEN CONSENT OF THE ARCHITECT IS STRICTLY PROHIBITED.

EWING IRRIGATION PRODUCTS, INC.
5400 FM 424, CROSS ROADS, TX 76227



project #: XX.XXX

date: XX/XX/2021

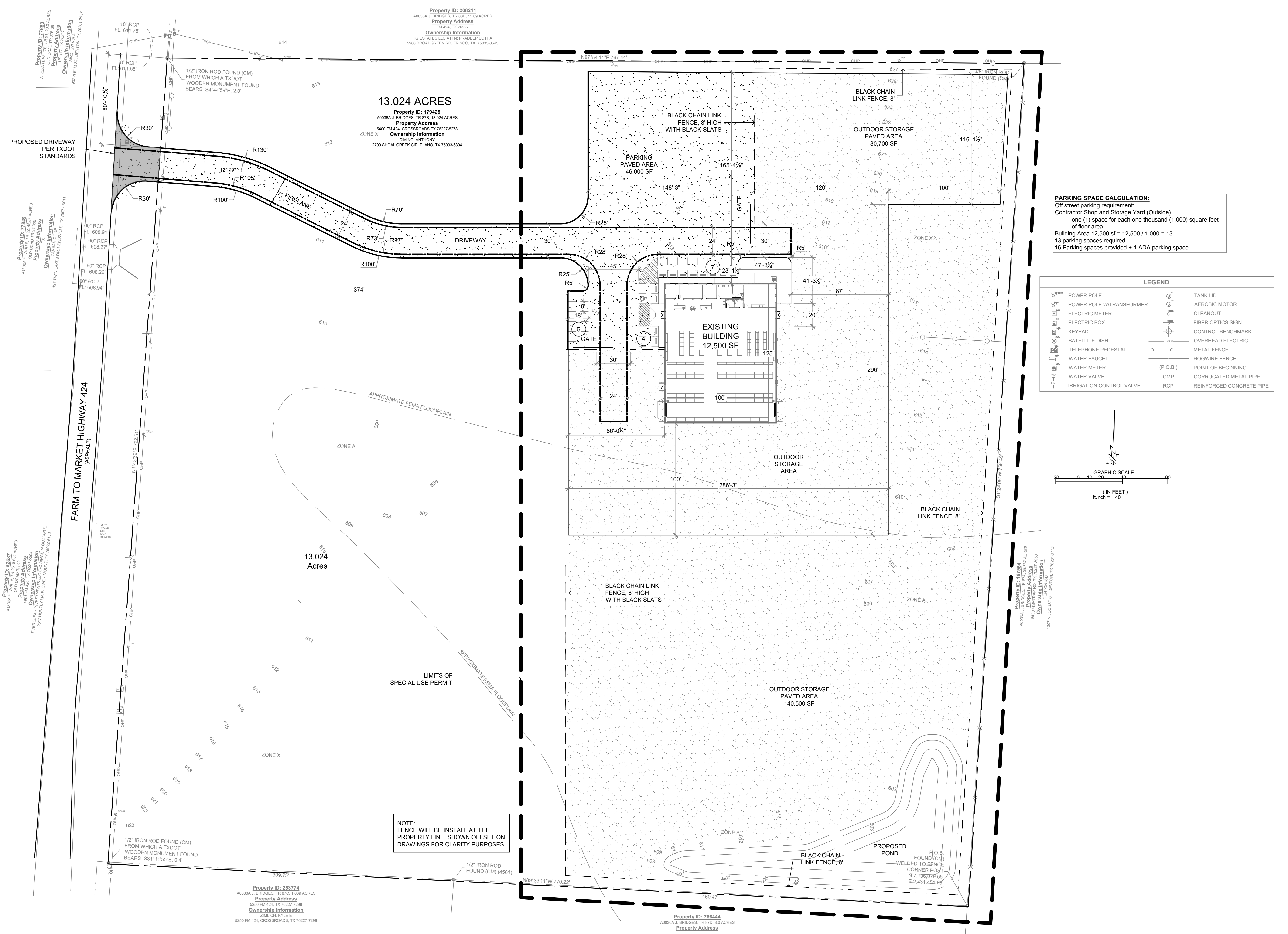
drawn by: AD

checked by: SU/TM

drawing title:
PROPOSED SITE PLAN

drawing number:

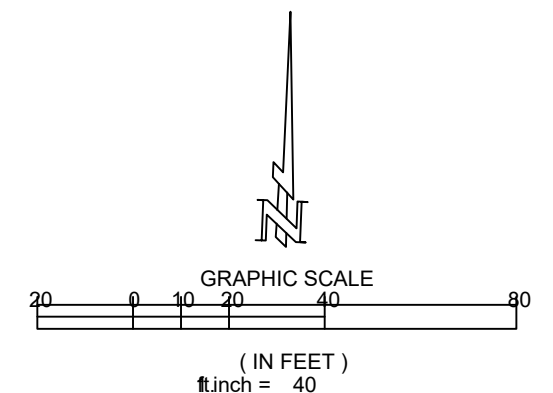
A0.1



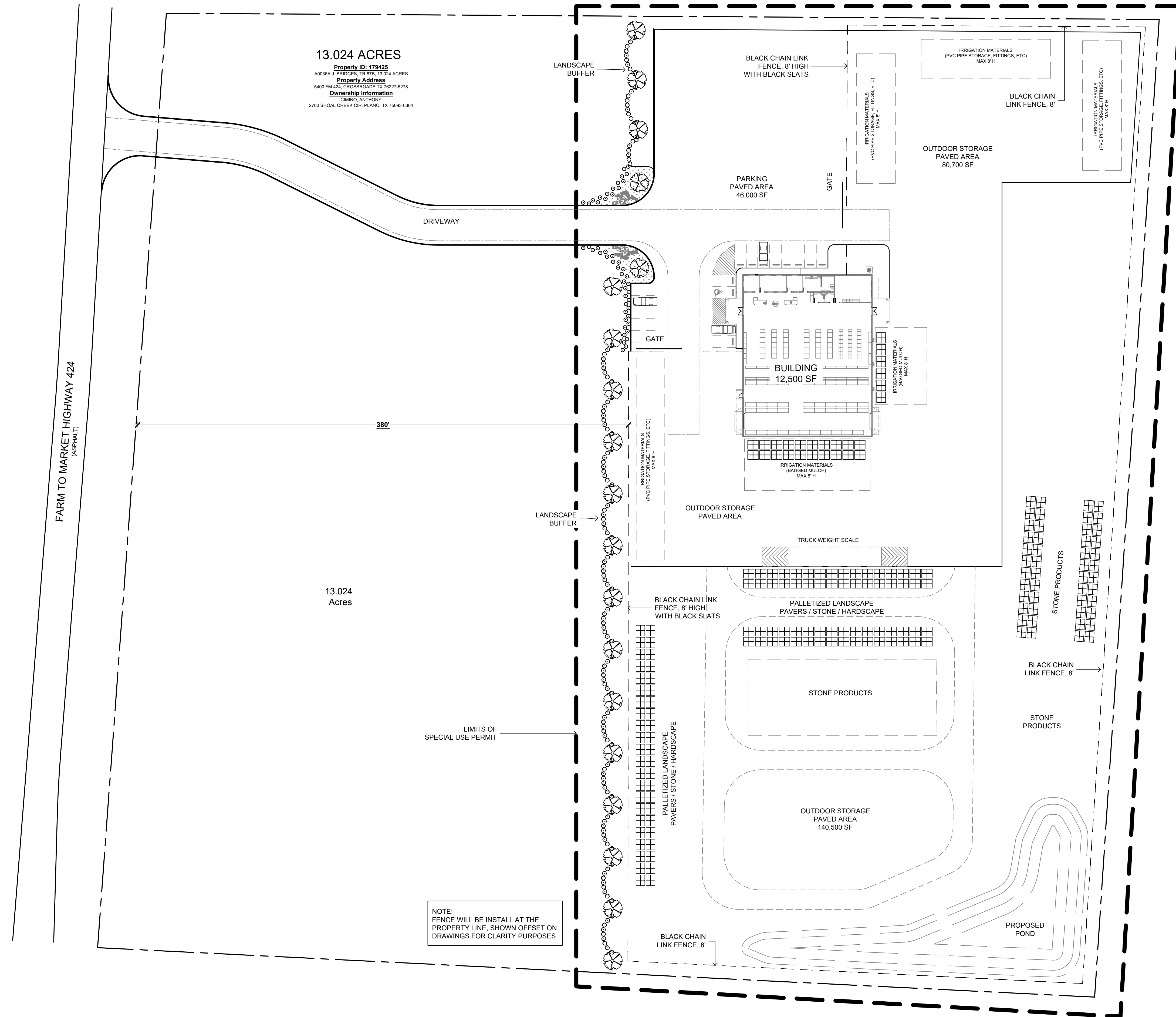
PARKING SPACE CALCULATION:
Off street parking requirement:
Contractor Shop and Storage Yard (Outside)
- one (1) space for each one thousand (1,000) square feet of floor area
Building Area 12,500 sf = 12,500 / 1,000 = 13
13 parking spaces required
16 Parking spaces provided + 1 ADA parking space

LEGEND

	POWER POLE		TANK LID
	POWER POLE WITH TRANSFORMER		AEROBIC MOTOR
	ELECTRIC METER		CLEANOUT
	ELECTRIC BOX		FIBER OPTICS SIGN
	KEYPAD		CONTROL BENCHMARK
	SATELLITE DISH		OVERHEAD ELECTRIC
	TELEPHONE PEDESTAL		METAL FENCE
	WATER FAUCET		HOGWIRE FENCE
	WATER METER		POINT OF BEGINNING
	WATER VALVE		CORRUGATED METAL PIPE
	IRRIGATION CONTROL VALVE		REINFORCED CONCRETE PIPE

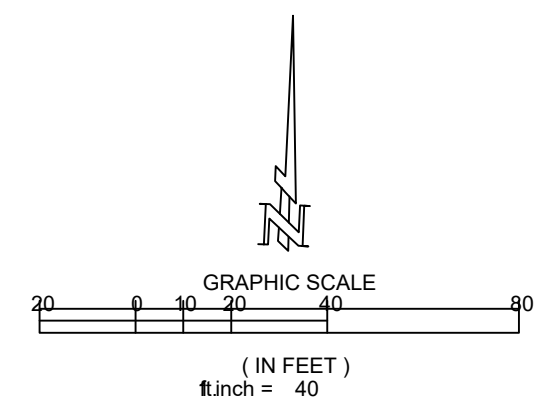


1 PROPOSED SITE PLAN
A0.1 SCALE: 1" = 40'



13.024 ACRES
 Property ID: 179425
 A0036A J. BRIDGES, TR 878, 13.024 ACRES
 Property Address
 5400 FM 424, CROSSROADS, TX 76227-6278
 Ownership Information
 CMINO, ANTHONY
 2700 SHOAL CREEK CIR, PLANO, TX 75093-6304

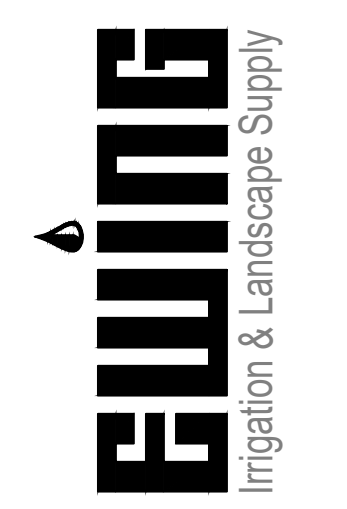
NOTE:
 FENCE WILL BE INSTALL AT THE
 PROPERTY LINE, SHOWN OFFSET ON
 DRAWINGS FOR CLARITY PURPOSES



Revisions		
Number	Description	Date

Open studio architecture, PLLC © 2021
 All Rights Reserved
 THIS DRAWING IS PROVIDED AS AN INSTRUMENT OF SERVICE BY THE ARCHITECT AND IS INTENDED FOR USE ON THIS PROJECT ONLY. THE DRAWING REMAINS THE PROPERTY OF THE ARCHITECT AND SHALL BE RETURNED TO HIM/HER UPON COMPLETION OF THE CONSTRUCTION WORKS. PURSUANT TO THE ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990, ALL DRAWINGS, SPECIFICATIONS, IDEAS, AND DESIGNS, INCLUDING THE OVERALL FORM, ARRANGEMENT, AND COMPOSITION OF THE SPACES, AND ELEMENTS APPEARING HEREIN, CONSTITUTE THE COPYRIGHT WORK OF THE ARCHITECT. ANY REPRODUCTION, USE, OR DISCLOSURE OF INFORMATION CONTAINED HEREIN WITHOUT PRIOR WRITTEN CONSENT OF THE ARCHITECT IS STRICTLY PROHIBITED.

EWING IRRIGATION PRODUCTS, INC.
 5400 FM 424, CROSS ROADS, TX 76227



project #: XX.XXX

date: XX/XX/2021

drawn by: AD
 checked by: SU/TM

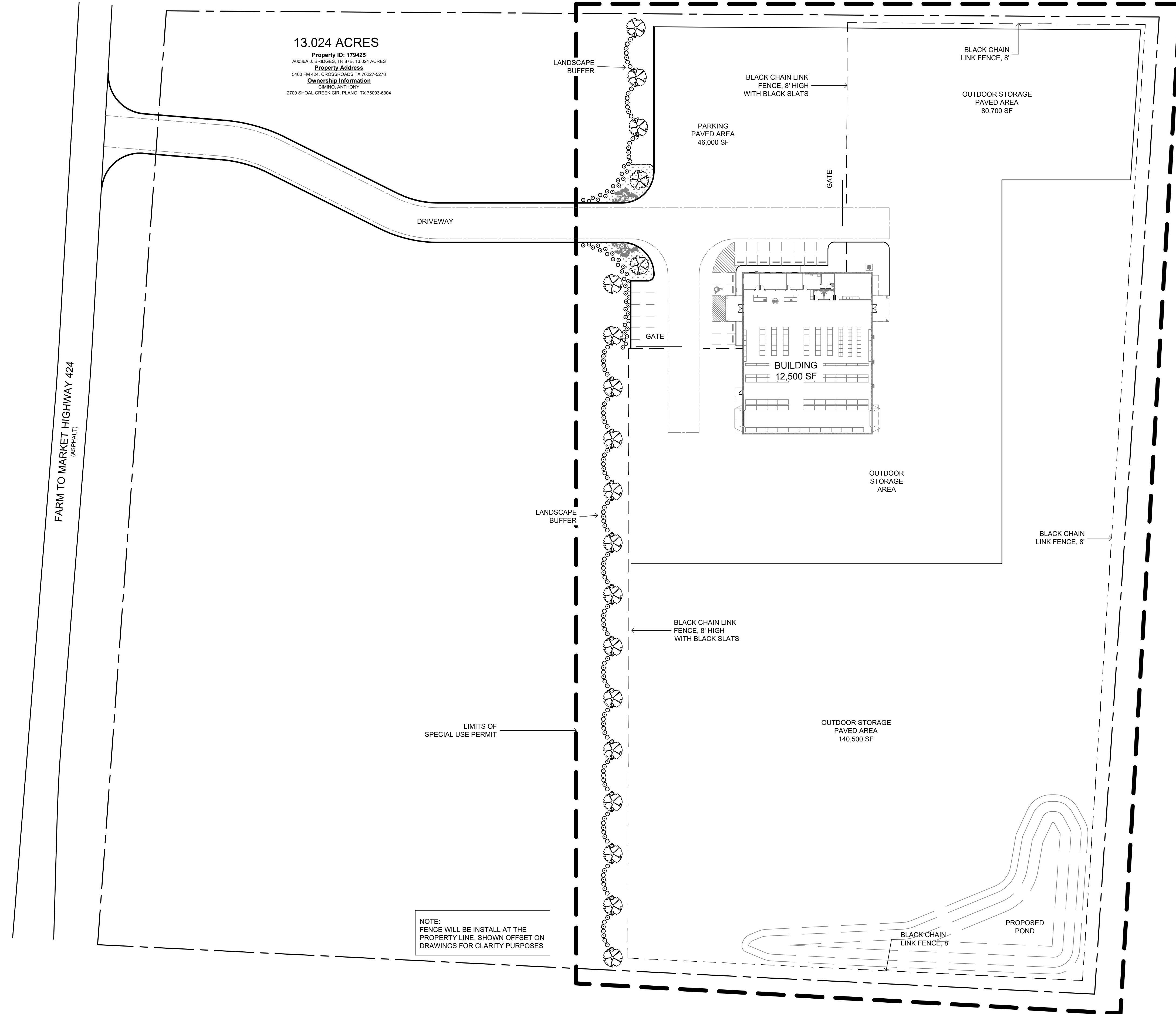
drawing title:
**PROPOSED
 FIXTURE
 SITE PLAN**

drawing number:

A0.2

Revisions		
Number	Description	Date

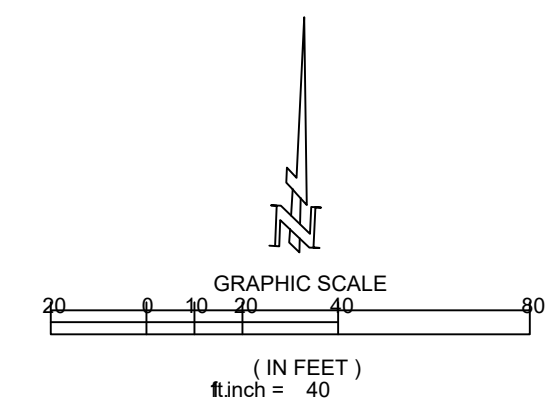
Open studio architecture, PLLC © 2021
All Rights Reserved
THIS DRAWING IS PROVIDED AS AN INSTRUMENT OF SERVICE BY THE ARCHITECT AND IS INTENDED FOR USE ON THIS PROJECT ONLY. THE DRAWING REMAINS THE PROPERTY OF THE ARCHITECT AND SHALL BE RETURNED TO HIM/HER UPON COMPLETION OF THE CONSTRUCTION WORKS. PURSUANT TO THE ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990, ALL DRAWINGS, SPECIFICATIONS, IDEAS, AND DESIGNS, INCLUDING THE OVERALL FORM, ARRANGEMENT, AND COMPOSITION OF THE SPACES, AND ELEMENTS APPEARING HEREIN, CONSTITUTE THE COPYRIGHT WORK OF THE ARCHITECT. ANY REPRODUCTION, USE, OR DISCLOSURE OF INFORMATION CONTAINED HEREIN WITHOUT PRIOR WRITTEN CONSENT OF THE ARCHITECT IS STRICTLY PROHIBITED.



13.024 ACRES
Property ID: 179425
A0036A, J. BRIDGES, TR 87B, 13.024 ACRES
Property Address
5400 FM 424, CROSSROADS, TX 76227-5278
Ownership Information
CARMICHAEL, ANTHONY
2700 SHOAL CREEK CIR, PLANO, TX 75093-6304

PLANT SCHEDULE:

TREES	QTY	COMMON NAME	CONT	CALIPER
1	19	SAVANNAH HOLLY TREE	30 GAL	3" CAL.
SHRUB	QTY	COMMON NAME	CONT	
2	170	BURFORD HOLLY SHRUB	3 GAL	
3	50	DWARF YAUPON HOLLY	3 GAL	
4	26	LIRIOPE BIG BLUE	1 GAL	
5	-	SEASONAL COLOR	-	-
GRASS	QTY	COMMON NAME	CONT	
6	1.30	BERMUDA GRASS	-	-
	0 SF			

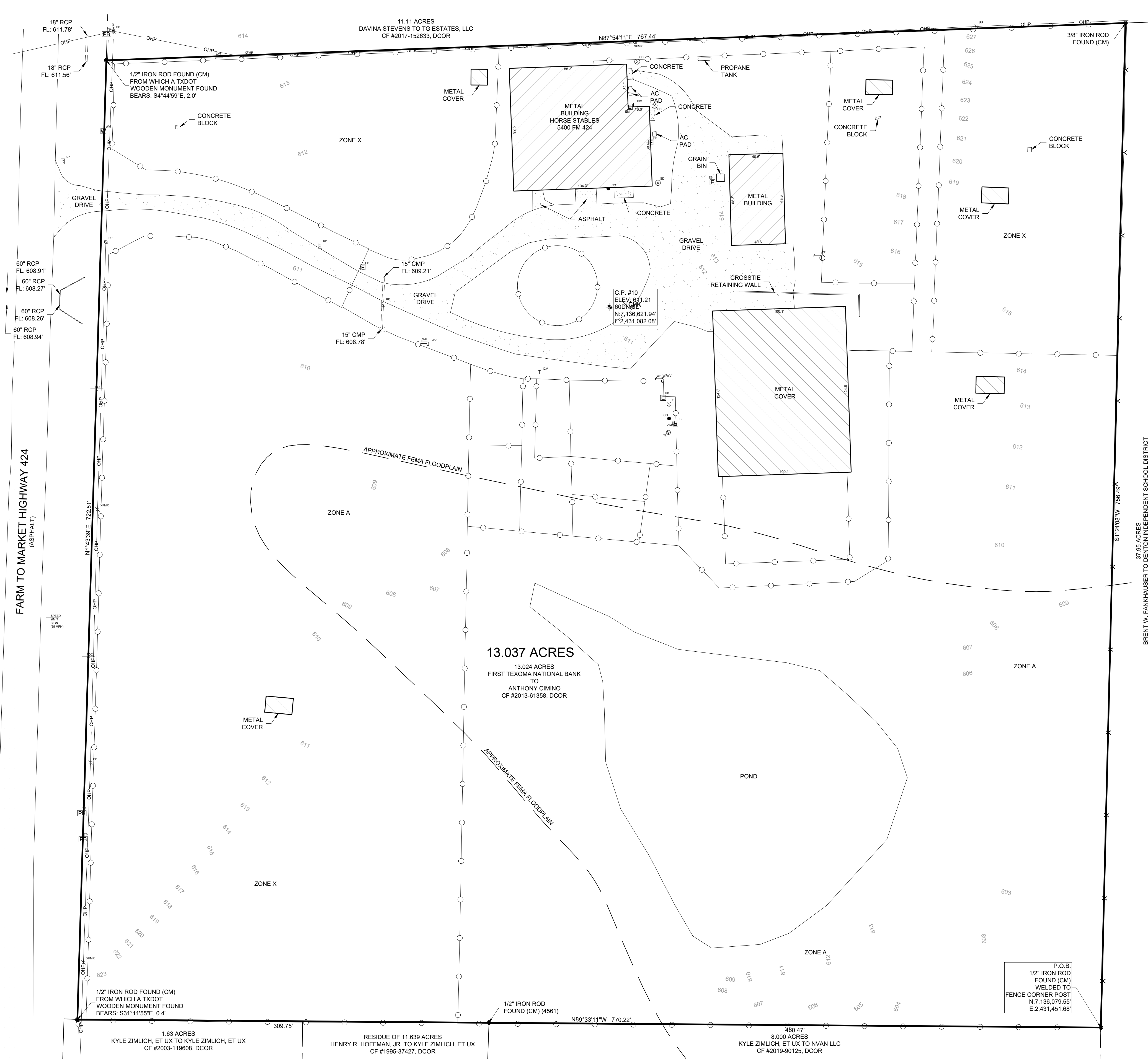
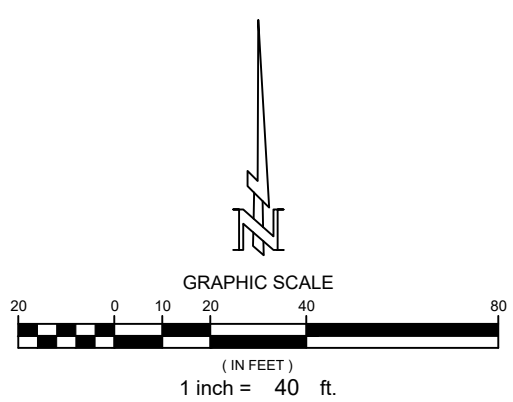


NOTE:
FENCE WILL BE INSTALL AT THE PROPERTY LINE, SHOWN OFFSET ON DRAWINGS FOR CLARITY PURPOSES

NOTES

- 1. BEARINGS ARE BASED UPON THE TEXAS COORDINATE SYSTEM OF 1983 (NAD83), NORTH CENTRAL ZONE.
2. ELEVATIONS ARE BASED UPON 'NAVD 88'.
3. THIS PROFESSIONAL SERVICE WAS PERFORMED WITH BENEFIT OF HAVING BEEN FURNISHED A TITLE COMMITMENT, EASEMENTS AND/OR OTHER MATTERS AND/OR ISSUES RELATING TO TITLE COULD AND MAY EXIST.
4. ACCORDING TO TEXAS LOCAL GOVERNMENT CODE, CHAPTER 212.004 AND 212.005, DIVIDING ANY TRACT OR LOT INTO TWO OR MORE PARTS WITHOUT BENEFIT OF A SUBDIVISION PLAN APPROVED BY THE CITY AND ALSO FILED AND RECORDED WITH THE COUNTY CLERK, IS A VIOLATION OF CITY ORDINANCE AND STATE LAW, SUBJECTING THE VIOLATOR TO FINES AND/OR THE WITHHOLDING OF UTILITIES AND BUILDING PERMITS.
5. ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAPS FOR DENTON COUNTY, TEXAS, COMMUNITY - PANEL NO. 4812103405G, DATED APRIL 18, 2011, THIS PROPERTY IS LOCATED IN FLOOD ZONE 'A' - 'NO BASE FLOOD ELEVATIONS DETERMINED' AND ZONE 'X' - 'AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN'.
6. THE NEAREST INTERSECTION TO THIS SITE IS FARM TO MARKET HIGHWAY 424 AND FISHTRAP ROAD LYING 740 FEET SOUTH.

LEGEND table with symbols for POWER POLE, TANK LID, AEROBIC MOTOR, CLEANOUT, FIBER OPTICS SIGN, CONTROL BENCHMARK, OVERHEAD ELECTRIC, METAL FENCE, HOGWIRE FENCE, (P.O.B.), POINT OF BEGINNING, CMP, CORRUGATED METAL PIPE, RCP, REINFORCED CONCRETE PIPE.



TITLE COMMITMENT

WE HAVE BEEN FURNISHED A COPY OF 'COMMITMENT FOR TITLE INSURANCE', ISSUED BY CHICAGO TITLE INSURANCE COMPANY, ISSUED DATE, AUGUST 9, 2021, EFFECTIVE DATE, JUNE 17, 2021, POLICY NO. 8000372100157. THE FOLLOWING EXCEPTIONS FROM COVERAGE AS LISTED ON SCHEDULE B.
10. THE FOLLOWING MATTERS AND ALL TERMS OF THE DOCUMENTS CREATING OR OFFERING EVIDENCE OF THE MATTERS (IF WE MUST INSERT MATTERS OR DELETE THIS EXCEPTION):
a. RIGHTS OF PARTIES IN POSSESSION, NOT A SURVEY ITEM
UPON RECEIPT, FROM SELLER, AN AFFIDAVIT OF DEBTS LIENS AND POSSESSION, THIS EXCEPTION WILL BE AMENDED OR DELETED.
b. THE FOLLOWING EXCEPTION WILL APPEAR IN ANY POLICY ISSUED (OTHER THAN THE T-1R RESIDENTIAL OWNER POLICY OF TITLE INSURANCE AND THE T-2R SHORT-FORM RESIDENTIAL MORTGAGE POLICY) IF THE COMPANY IS NOT PROVIDED A SURVEY OF THE LAND, ACCEPTABLE TO THE COMPANY, FOR REVIEW AT OR PRIOR TO CLOSING.
ANY ENCROACHMENT, ENCUMBRANCE, VIOLATION, VARIATION, OR ADVERSE CIRCUMSTANCE AFFECTING THE TITLE THAT WOULD BE DISCLOSED BY AN ACCURATE AND COMPLETE LAND SURVEY OF THE LAND, IF OBSERVED, VISIBLE AND APPARENT.
NOTE: UPON RECEIPT OF A SURVEY ACCEPTABLE TO THE TITLE COMPANY, THIS EXCEPTION WILL BE DELETED. THE COMPANY RESERVES THE RIGHT TO EXCEPT ADDITIONAL ITEMS AND/OR MAKE ADDITIONAL REQUIREMENTS AFTER REVIEWING SAID SURVEY.
c. IF ANY PORTION OF THE PROPOSED LOAN AND/OR THE OWNER'S TITLE POLICY COVERAGE AMOUNT INCLUDES FUNDS FOR IMMEDIATELY CONTEMPLATED IMPROVEMENTS, THE FOLLOWING EXCEPTIONS WILL APPEAR IN SCHEDULE B OF ANY POLICY ISSUED AS INDICATED.
OWNER AND LOAN POLICY(IES): ANY AND ALL LIENS ARISING BY REASON OF UNPAID BILLS OR CLAIMS FOR WORK PERFORMED OR MATERIALS FURNISHED IN CONNECTION WITH IMPROVEMENTS PLACED, OR TO BE PLACED, UPON THE SUBJECT LAND, HOWEVER, THE COMPANY DOES INSURE THE INSURED AGAINST LOSS, IF ANY, SUSTAINED BY THE INSURED UNDER THIS POLICY IF SUCH LIENS HAVE BEEN FILED WITH THE COUNTY CLERK OF COUNTY, TEXAS, PRIOR TO THE DATE HEREOF.
OWNER POLICY(IES) ONLY: LIABILITY HEREUNDER AT THE DATE HEREOF IS LIMITED TO \$9.00. LIABILITY SHALL INCREASE AS CONTEMPLATED IMPROVEMENTS ARE MADE, SO THAT ANY LOSS PAYABLE HEREUNDER SHALL BE LIMITED TO SAID SUM PLUS THE AMOUNT ACTUALLY EXPENDED BY THE INSURED IN IMPROVEMENTS AT THE TIME THE LOSS OCCURS, ANY EXPENDITURES MADE FOR IMPROVEMENTS, SUBSEQUENT TO THE DATE OF THIS POLICY, WILL BE DEEMED MADE AS OF THE DATE OF THIS POLICY. IN NO EVENT SHALL THE LIABILITY OF THE COMPANY HEREUNDER EXCEED THE FACE AMOUNT OF THIS POLICY. NOTHING CONTAINED IN THIS PARAGRAPH SHALL BE CONSTRUED AS LIMITING ANY EXCEPTION OR ANY PRINTED PROVISION OF THIS POLICY.
LOAN POLICY(IES) ONLY: PENDING DISBURSEMENT OF THE FULL PROCEEDS OF THE LOAN SECURED BY THE LIEN INSTRUMENT SET FORTH UNDER SCHEDULE A HEREOF, THIS POLICY INSURES ONLY TO THE EXTENT OF THE AMOUNT ACTUALLY DISBURSED, BUT INCREASE AS EACH DISBURSEMENT IS MADE IN GOOD FAITH AND WITHOUT KNOWLEDGE OF ANY DEFECT IN, OR OBJECTIONS TO, THE TITLE UP TO THE FACE AMOUNT OF THE POLICY. NOTHING CONTAINED IN THIS PARAGRAPH SHALL BE CONSTRUED AS LIMITING ANY EXCEPTION UNDER SCHEDULE B, OR ANY PRINTED PROVISION OF THIS POLICY. NOT A SURVEY ITEM
d. ALL LEASES, GRANTS, EXCEPTIONS OR RESERVATIONS OF COAL, LIGNITE, OIL, GAS AND OTHER MINERALS, TOGETHER WITH ALL RIGHTS, PRIVILEGES, AND IMMUNITIES RELATING THERETO, APPEARING IN THE PUBLIC RECORDS WHETHER LISTED IN SCHEDULE B OR NOT, THERE MAY BE LEASES, GRANTS, EXCEPTIONS OR RESERVATIONS OF MINERAL INTEREST THAT ARE NOT LISTED. NOT A SURVEY ITEM
e. RIGHTS OF TENANTS IN POSSESSION, AS TENANTS ONLY, UNDER UNRECORDED LEASE AGREEMENTS.
UPON RECEIPT, FROM SELLER, AN AFFIDAVIT OF DEBTS LIENS AND POSSESSION, THIS EXCEPTION WILL BE AMENDED OR DELETED. NOT A SURVEY ITEM
f. EASEMENT(S) AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:
GRANTED TO: DENTON COUNTY ELECTRIC COOPERATIVE, INC.
PURPOSE: AS PROVIDED IN SAID DOCUMENT
RECORDING DATE: OCTOBER 10, 1953
RECORDING NO.: VOLUME 402, PAGE 187, DEED RECORDS, DENTON COUNTY, TEXAS, AS AFFECTED BY INSTRUMENT RECORDED IN VOLUME 700, PAGE 773, DEED RECORDS, DENTON COUNTY, TEXAS. MAY OR MAY NOT AFFECT, BY DESCRIPTION CANNOT BE PLOTTED
g. EASEMENT(S) AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:
GRANTED TO: DENTON COUNTY ELECTRIC COOPERATIVE, INC.
PURPOSE: AS PROVIDED IN SAID DOCUMENT
RECORDING DATE: OCTOBER 28, 1953
RECORDING NO.: VOLUME 402, PAGE 248, DEED RECORDS, DENTON COUNTY, TEXAS, AS AFFECTED BY INSTRUMENT RECORDED IN VOLUME 700, PAGE 773, DEED RECORDS, DENTON COUNTY, TEXAS. MAY OR MAY NOT AFFECT, BY DESCRIPTION CANNOT BE PLOTTED
h. EASEMENT(S) AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:
GRANTED TO: MUSTANG SPECIAL UTILITY DISTRICT
PURPOSE: AS PROVIDED IN SAID DOCUMENT
RECORDING DATE: MARCH 29, 2006
RECORDING NO.: UNDER CLERK'S FILE NO. 2006-36386, REAL PROPERTY RECORDS, DENTON COUNTY, TEXAS
MAY OR MAY NOT AFFECT, BY DESCRIPTION CANNOT BE PLOTTED
i. INTEREST IN AND TO ALL COAL, LIGNITE, OIL, GAS AND OTHER MINERALS, AND ALL RIGHTS INCIDENT THERETO, CONTAINED IN INSTRUMENT DATED JUNE 25, 1984, RECORDED JULY 29, 1984 AT VOLUME 511, PAGE 379 OF THE OFFICIAL RECORDS OF DENTON COUNTY, TEXAS, WHICH DOCUMENT CONTAINS THE FOLLOWING LANGUAGE AS STATED THEREOF: REFERENCE TO WHICH INSTRUMENT IS HERE MADE FOR PARTICULARS. NO FURTHER SEARCH OF TITLE HAS BEEN MADE AS TO THE INTEREST(S) EVIDENCED BY THIS INSTRUMENT, AND THE COMPANY MAKES NO REPRESENTATION AS TO THE OWNERSHIP OR HOLDER OF SUCH INTEREST(S). NOT A SURVEY ITEM
j. ANY RIGHTS, LIENS, CLAIMS OR EQUITIES IN TAXES AND/OR ASSESSMENTS, IF ANY, IN FAVOR OF MUSTANG SPECIAL UTILITY DISTRICT. NOT A SURVEY ITEM

METES AND BOUNDS DESCRIPTION

ALL THAT CERTAIN TRACT OR PARCEL CONTAINING 13.037 ACRES OF LAND IN THE JAMES BRIDGES SURVEY, A-36, DENTON COUNTY, TEXAS, BEING ALL OF A TRACT WHICH WAS CALLED 13.024 ACRES CONVEYED FROM FIRST TEXOMA NATIONAL BANK TO ANTHONY CIMINO, BY AN INSTRUMENT OF RECORD IN CLERK'S FILE #2013-61358, DENTON COUNTY OFFICIAL RECORD (DCOR), SAID 13.037 ACRES BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS, BASING BEARINGS ON THE TEXAS COORDINATE SYSTEM OF 1983, NORTH CENTRAL ZONE, TO WIT:
BEGINNING AT A 1/2" IRON ROD FOUND WELDED TO FENCE CORNER POST FOR SOUTHEAST CORNER, BEING THE SOUTHEAST CORNER OF SAID 13.024 ACRE TRACT AND NORTHEAST CORNER OF A TRACT WHICH WAS CALLED 8.000 ACRES CONVEYED FROM KYLE ZIMLICH, ET UX TO NVAN, LLC, BY AN INSTRUMENT OF RECORD IN CLERK FILE #2019-90125, DCOR, LYING IN WEST LINE A TRACT WHICH WAS CALLED 37.95 ACRES CONVEYED FROM BRENT W. FANKHAUSER TO DENTON INDEPENDENT SCHOOL DISTRICT, CLERKS FILE #2020-36532, DCOR;
THENCE N89°33'11"W, ALONG THE COMMON LINE OF SAID 13.024 ACRE TRACT AND SAID 8.000 ACRE TRACT, AT 460.47 FEET PASS A 1/2" IRON ROD FOUND FOR NORTHWEST CORNER OF SAID 8.000 ACRE TRACT AND NORTHEAST CORNER OF THE RESIDUE OF A TRACT WHICH WAS CALLED 11.639 ACRES CONVEYED FROM HENRY R. HOFFMAN, JR. TO KYLE ZIMLICH, ET UX, BY AN INSTRUMENT OF RECORD IN CLERKS FILE # 1995-37427, DCOR AND CONTINUING ALONG THE COMMON LINE OF SAID 13.024 ACRE TRACT, SAID RESIDUE TRACT AND A TRACT WHICH WAS CALLED 1.63 ACRES CONVEYED FROM KYLE ZIMLICH, ET UX TO KYLE ZIMLICH, ET UX, BY AN INSTRUMENT OF RECORD IN CLERKS FILE #2003-119698, DCOR FOR A DISTANCE IN ALL OF 770.22 FEET TO A 1/2" IRON ROD FOUND FOR SOUTHWEST CORNER, BEING THE SOUTHWEST CORNER OF SAID 13.024 ACRE TRACT, LYING IN THE EAST RIGHT OF WAY (R-O-W) LINE OF FARM TO MARKET HIGHWAY 424 (FM 424), FROM WHICH A TXDOT WOODEN MONUMENT FOUND BEARS: S31°11'55"E, 0.4 FEET;
THENCE N01°43'39"E, 722.51 FEET ALONG THE COMMON LINE OF SAID 13.024 ACRE TRACT AND FM 424 TO A 1/2" IRON ROD FOUND FOR NORTHWEST CORNER, BEING THE NORTHWEST CORNER OF SAID 13.024 ACRE TRACT AND SOUTHWEST CORNER OF A TRACT WHICH WAS CALLED 11.111 ACRES CONVEYED FROM DAVINA STEVENS TO TG ESTATES, LLC, BY AN INSTRUMENT OF RECORD IN CLERKS FILE #2017-152633, DCOR, FROM WHICH A TXDOT WOODEN MONUMENT FOUND BEARS: S4°44'59"E, 2.0 FEET;
THENCE DEPARTING FM 424, N87°54'11"E, 767.44 FEET ALONG THE COMMON LINE OF SAID 13.024 ACRE TRACT AND SAID 11.111 ACRES TRACT TO A 3/8" IRON ROD FOUND FOR NORTHEAST CORNER, BEING THE NORTHEAST CORNER OF SAID 13.024 ACRE TRACT AND NORTHWEST CORNER OF SAID 37.95 ACRE TRACT;
THENCE S01°24'08"W, 756.49 FEET ALONG THE COMMON LINE OF SAID 13.024 ACRE TRACT AND SAID 37.95 ACRE TRACT TO THE PLACE OF BEGINNING, CONTAINING 13.037 ACRES OF LAND, MORE OR LESS.

SURVEYORS CERTIFICATION

TO EWING IRRIGATION PRODUCTS, INC. AND ITS SUCCESSORS AND ASSIGNS, AND CHICAGO TITLE INSURANCE COMPANY, ITS SUCCESSORS AND ASSIGNS. THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED, WERE MADE IN ACCORDANCE WITH 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS 2016, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 7(a), 8, 11, 13, 14 AND 16 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON AUGUST 23, 2021.



BRET READ
PROFESSIONAL LAND SURVEYOR
TEXAS REGISTRATION NO. 6610

AUGUST 23, 2021
DATE

WESTFALL ENGINEERING logo and address: 1719 ANGEL PARKWAY, STE 400-206 ALLEN, TX 75002

36 SURVEYING logo and address: 310 H.G. MOSLEY PKWY LONGVIEW TX, 75604

DEVELOPER:
EWING IRRIGATION PRODUCTS, INC.

13.037 ACRE
JAMES BRIDGES SURVEY, A-36
DENTON COUNTY
CROSSROADS, TX
LAND TITLE SURVEY
CATEGORY 1A, CONDITION II

Table with columns: DATE NO., REVISION, APPD. (Empty rows for revisions)

DRAWN BY: JBR
APPROVED BY: MTW
DATE: 2021-08-23
DWG NAME: 1107-080 BOUNDARY
JOB NO: 1107-080



COUNCIL AGENDA BRIEFING SHEET

Meeting Date:

December 13, 2021

Agenda Item:

Discuss and consider approval of an application for a tree removal permit submitted by Century Custom Homes, for property located at 5601 Foothills Dr. to remove trees greater than eighteen (18) inches in diameter at breast height.

Prepared by:

Rodney Patterson, Building Official

Description:

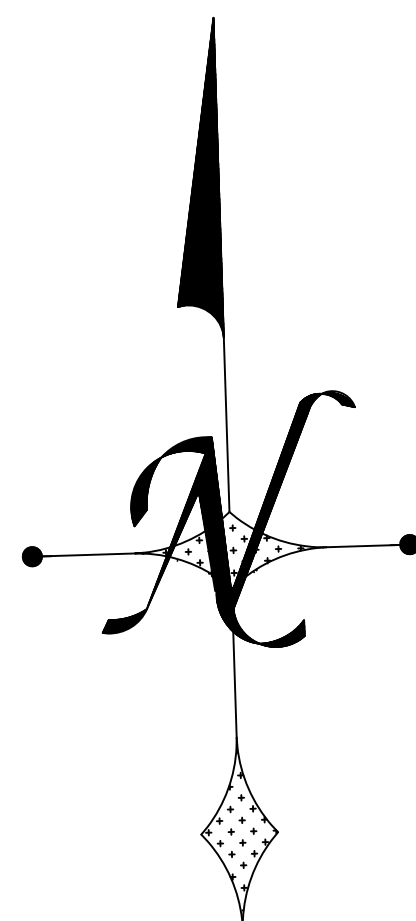
Applicant submitted the attached Tree Removal Permit Application to remove numerous trees greater than six (6) inches at diameter breast height (DBH) from a residential lot in order to construct a residence. The applicant will be removing 2-4 18" diameter breast height trees as a part of the construction process as well.

Recommended Action:

Staff recommends the approval of the tree removal permit to allow for the removal of the trees.

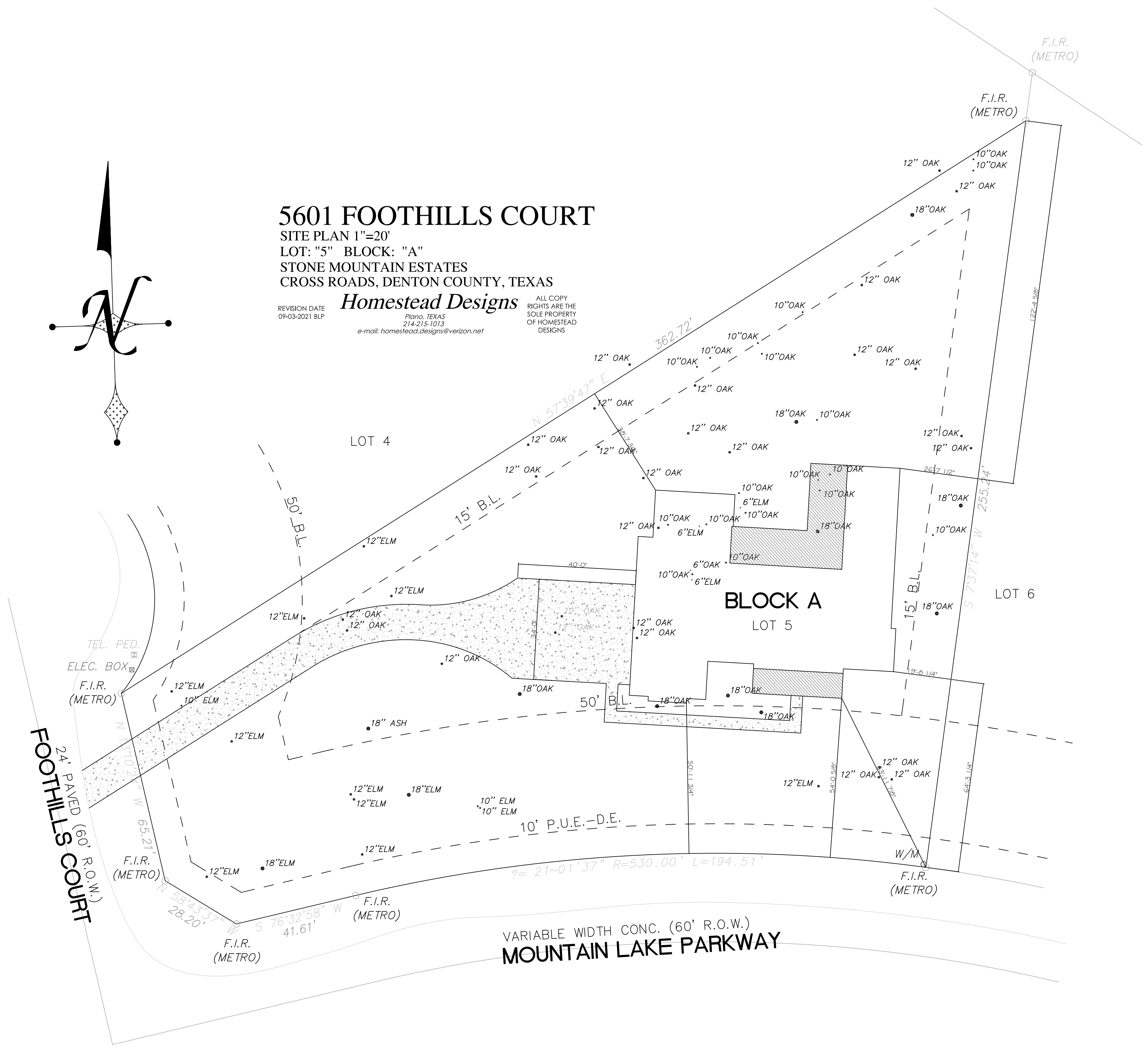
Attachments:

Tree Removal Permit Application
Tree Survey



5601 FOOTHILLS COURT
SITE PLAN 1"=20'
LOT: "5" BLOCK: "A"
STONE MOUNTAIN ESTATES
CROSS ROADS, DENTON COUNTY, TEXAS

REVISION DATE 09-09-2021 BLP
Plano, TEXAS 214-215-1013
e-mail: homestead.designs@verizon.net
Homestead Designs
ALL COPY RIGHTS ARE THE SOLE PROPERTY OF HOMESTEAD DESIGNS



VARIABLE WIDTH CONC. (60' R.O.W.)
MOUNTAIN LAKE PARKWAY



COUNCIL AGENDA BRIEFING SHEET

Meeting Date:

December 13, 2021

Agenda Item:

Discuss and consider action on a commercial building permit application for property generally located at the southeast corner of FM 424 and US 380 for CVS Covid Testing Building. (2021-1108-04C)

Prepared by:

Rodney Patterson, Building Official

Description:

Applicant Paul Landa, on behalf of CVS Pharmacy, submitted a commercial building permit application November 8, 2021, for a 78 square foot testing kiosk generally located at the southeast corner of FM 424 and US 380. Staff has principally approved the permit based upon compliance with the building code. Attached is the initial application and submitted documents. Also attached is a review letter from the Building Official. The proposed building will be located in a parking space at the current location; however, this will not impact the required on site parking.

Recommended Action:

Staff recommends approval of the permit.

Attachments:

Building Official Initial Review Letter – 11/16/2021

Application

Plans



Town of Cross Roads

3201 US Hwy 380, Suite 105

Cross Roads, Texas 76227

940-365-9693 office | 469-375-5905 fax

permits@crossroadstx.gov / crossroadstx.gov

Building Code Comments for CVS Covid Testing Kiosk at 11001 US
Hwy 380
78 sq. ft.
11-16-21

Comments to be Addressed During Construction

1. Comments cover an in-depth look at plans as submitted. However, omission of specific plan comments does not absolve the contractor of the responsibility for insuring that all construction complies with the 2012 International Codes as adopted by the Town of Cross Roads including the 2015 International Energy Conservation Code. Requirements for residential construction can be found in the 2012 International Building Code (Electrical to comply with the 2008 NEC as well as the 2015 IECC)
2. All refrigerant lines to be insulated with min. 1" pipe insulation.
3. **All mechanical equipment shall be screened from view.**
4. **Exit and emergency lighting per 2012 IBC & IFC.**
5. **Sign plans require a separate permit and plan review and are a deferred submittal.**

If you have any questions or comments, please feel free to contact me at (940)368-4519 or contact the Town of Cross Roads at (940)365-9693.

Thank You,

Rodney Patterson
Building Official
Town of Cross Roads



COMMERCIAL BUILDING PACKET INDEX

1. COMMERCIAL BUILDING APPLICATION
2. COMMERCIAL BUILDING PERMIT APPLICATION PROCEDURES
3. LIST OF REQUIRED COMMERCIAL BUILDING INSPECTIONS
4. REQUIRED INFORMATION FOR COMMERCIAL PLAN REVIEW
5. BUILDER/GENERAL CONTRACTORS' REGISTRATION FORMS
6. CULVERT PERMIT APPLICATION AND INSTALLATION GUIDELINES (if required)
7. APPLICATION FOR ON-SITE SEWERAGE FACILITIES (if property not serviced by sewer)
8. TREE REMOVAL APPLICATION
9. SIGN PERMIT APPLICATION AND COPY OF SIGN ORDINANCE
10. TEMPORARY CONSTRUCTION/SALES TRAILER PERMIT APPLICATION
11. APPLICATION FOR CERTIFICATE OF OCCUPANCY (submit after final inspections)

The Town of Cross Roads will start processing your commercial building application as soon as the complete application is received. The application must be filed a minimum of 30 calendar days prior to the Planning & Zoning meeting at which the application will be considered. All corrected re-submittals must be filed 10 calendar days prior to the Planning & Zoning meeting at which the application will be considered.

TOWN OF CROSS ROADS COMMERCIAL PERMIT APPLICATION

Date: 10/20/21	Application # _____		
Permit Address 11101 US 380 Cross Roads, TX 76227			
Business Name CVS	Finished Sq Ft 15000	Unheated Sq Ft	
Property Description (Acreage or Sq Ft of Lot)	Lot	Block	Legal Description
Description of Work/Intended Use: (Materials exterior & roof, New, Remodel, Expansion, etc.) Temporary placement of Covid testing and vaccine administration kiosk on exterior of building. Electrical permit to be obtained by licensed electrical contractor separate from this permit.			
General Contractor GLR 3795 Wyse Rd Email Address: Dayton, OH 45414 Olivia@glrinc.net		Phone 937-890-0510 Fax:	
Owner/Tenant Cvs Pharmacy Inc. Mailing Address One Cvs Dr. Woonsocket , RI 02895		Phone 608-844-7303	
Electrical Contractor		Phone	
Plumbing Contractor		Phone	
HVAC Contractor		Phone	
Other Contractor		Phone	
<p>I agree to allow no work on which separate Permits are required (signs, gasoline tanks, plumbing installations, electrical work, awnings, etc.) to be done until such Permits are obtained. I have carefully examined and read the completed and know the same to be true and correct, and hereby agree that if a Permit is issued, all provisions of the Town Ordinances and State laws will be complied with, whether herein specified or not. This permit becomes null and void if work or construction is not commenced within 180 days, or if construction or work is suspended or abandoned for a period of 180 days at any time after work has commenced. I also agree that this Permit is not transferable to any other party (ies) I have filed a MSDS for all hazardous materials with the Aubrey Fire Department.</p> <p>*If construction is not completed within 1 year, applicant must apply to Planning and Zoning for an extension of the original Building Permit. I verify that this building site does not lie within the 100 YEAR FLOOD PLAIN.</p> <p>Property Owner's Signature _____ Date _____</p> <p>Applicant Signature <u>Paul Landa</u> Date 10/20/21</p> <p>Applicant Name (Please Print) Paul Landa Tel #: 608-844-7303</p>			
For Office Use Only			
Date rec'd Application _____		Rec'd by _____	
Site Plan _____ (4) Sets of Building Plans _____		Culvert Application _____	
Code Info _____		Septic Plans _____	
Sub Contractor Info _____		Engineered Foundation Plans _____	
Architectural Review _____		Energy _____	
Plan Review Amt. _____	CK # _____	Date Rec'd _____	Receipt # _____
Septic Review Amt. _____	CK # _____	Date Rec'd _____	Receipt # _____
Bldg Permit Amt. _____	CK # _____	Date Rec'd _____	Receipt # _____
Inspections/C of O/			
Culvert Amt. _____	CK # _____	Date Rec'd _____	Receipt # _____
Permit Issued by _____		Date _____	



COMMERCIAL BUILDING PERMIT APPLICATION PROCEDURES

STEP I. Information required by Building Inspector and Architectural Review Committee in order to review permit applications. Please read and initial each item when complete.

- A. Six complete sets of blueprints/plans on 11" x 17" paper, in appropriate 1/8 in scale, identifying all proposed exterior building materials. A CD containing plans is also required. PL (Initial) Emailed per request
IF WHITE BOX FINISH: FINISH OUT PLANS, FIXTURE PLAN SHOWING FURNITURE, COUNTERS ETC. FOR EXITING INFORMATION AND LIGHTING PLANS.
- B. Culvert Permit Application and Installation Guidelines. Final Inspection will not be done until culvert(s) is/are installed and inspection passed. NA (Initial)
- C. Site Plan _____ (Initial) Temporary site plan, Using existing parking spaces.
1) Scaled plan with all property boundaries delineated. State Law states that you may only build on a plated piece of property. The exception to this is if the property was subdivided by metes and bounds prior to 7/7/77. Documentation of the legality of the subdivision will be required if not on file with the Town. ____ (Initial)
2) Copy of final plat for building location must be turned in with permit application. This is to confirm building site is out of the 100 year flood plain. _____ (Initial)
3) Proposed building locations with total square foot and setback dimensions, easements, other existing structures, distance proposed structure will be located from all property lines, proposed structure and/or existing septic systems and lateral fields. (Initial)

4) Tree survey site plan _____ (Initial)
5) Total site acreage. (Minimum 1 acre required) _____ (Initial)
6) Copy of the legal description. _____ (Initial)
7) Structural Engineer's Foundation Plan _____ (Initial)
- D. Completed Septic Application if property will not be serviced by a sewer system. If sewer system is available for location, submit a letter from the company providing the sewer service. Type of proposed septic system, engineered design, affidavit to the public with county clerk's stamp, original copy of maintenance agreement with owner and provider signatures, and copy of installer's license, current address, telephone number, and application fee. The town's Engineer, Jason Pool, will review. Questions concerning septic application call our office (940) 365-9693. NA (Initial)



- E. Com Check reports required detailing compliance with currently adopted version of the International Energy Conservation Code. NA (Initial)
- F. Inspections includes Culvert, Plumbing rough, Foundation, Sheer Wall, Group 1 (plumbing stack out, electrical rough, mechanical rough/duct and framing), Insulation, Conditional Permanent Power, Final Energy Code, Final / Group 2 (plumbing, electrical, mechanical,), Final Building, Final landscaping, Refuse container screening, Parking lot, and Fencing. Commercial permanent utilities meter released after septic final and filing of Certificate of Occupancy form with the town clerk. NA (Initial) Call 940-365-9693 with inspection requests.
- G. Builder and Sub-Contractor Information - Copy of State Registration, drivers' license, and the Town's registration form for builder. Copy of license (registration), driver's license, and Town's registration form for septic, plumbing, HVAC and electrical contractors. All contractors must register yearly. PL (Initial) Contractor working on
- H. Landscape Plan per Code, must include sprinkler system. NA(Initial)
- I. Signs depicted on building application drawings must be approved separately – see sign permit application. NA(Initial)

STEP II. Submit Completed & Signed application documents with information above to the Building Clerk a minimum of thirty (30) calendar days prior to Planning & Zoning meeting (held on the 1st Tuesday of each month). All corrected submittals must be filed 10 calendar days prior to the Planning & Zoning meeting at which the application will be considered. The Building Clerk will start processing your commercial building application as soon as the completed application is received. Any materials submitted after that time will not be considered until the following month. Incomplete and/or unsigned applications will be returned without action. MNA(Initial)

STEP III. The Town Council, which meets on the 3rd Monday of the month, will review application documents, and approve or deny building permits forwarded to them from the Building Inspector, Architectural Review Committee, and Planning & Zoning Commission. If approved, the Building Clerk will issue the building permit, subject to payment of all applicable permit fees. If application is denied, any building permit fees paid up to that point would be refunded, with a written explanation for denial. This does not include septic, culvert, or plan review fees. In addition, the applicant has the right to appeal. NA (Initial)



STEP IV. Responsibilities and Duties of Applicant

- A. Post permit on site during construction process. PL (Initial)
- B. Provide Capped 2" X 36" PVC tube on temporary electrical post for on-site set of plans and inspection reports. PL (Initial)
If there is a construction trailer on site, plans and inspection reports can be stored there.
- C. Notify builder/general contractor of designated truck routes approved by the Town Council within the town limits for delivery of construction materials. (Town will provide map of designated routes.) PL (Initial)
- D. Construction Debris Removal - Contact Waste Connections at (877) 288-9269
PL (Initial)
- E. A portable sanitary restroom for your workers MUST BE on your property until the final inspection is passed. NA (Initial)
- F. Project name, parcel number, and address must be posted on building site and be visible from public access to building site. Letters must be a minimum of 6" high. NA (Initial)
- G. Set a pre-construction meeting with town staff to discuss: inspections, fire lanes, utility connections, fencing, dumpsters, portable sanitary restrooms, tree protection.

Please initial & date all above locations and sign below that you understand and agree to the above stated conditions.

_____ Date _____
Property Owner's Signature

Paul Landa Date 10/20/21
Applicant's Signature

INCOMPLETE AND/OR UNSIGNED APPLICATIONS WILL BE RETURNED WITHOUT ACTION.

IF A BUILDING PERMIT IS NOT OBTAINED PRIOR TO START OF CONSTRUCTION, BUILDING FEES WILL BE DOUBLED AND A FINE OF UP TO \$200.00 PER DAY MAY BE ASSESSED.



Business Description

Office (describe) _____
Warehouse (describe) _____
Manufacturing (describe) _____
Retail (describe) CVS Pharmacy Retail sales/ Covid Testing specific to request
Other (describe) _____

In square feet where applicable

Area 100 Height (feet) _____ New Construction _____
Remodel _____ Expansion _____

Maximum Occupancy _____ Number of Exits _____
Number of Employees _____ Number of Parking Spaces _____
Number of Restrooms _____

Septic permit required before building permit can be issued for projects not serviced by sewer.
Please answer all statements.

Fire Sprinklers Yes _____ No _____
High-piled combustible storage (see definition below) Yes _____ No x
Hazardous Materials ** (see definition below) Yes _____ No _____
Do you plan to use or process compounds with the potential
for generating odor Yes _____ No _____
Do you plan to utilize machinery or processes with the potential
for generating noise? Yes _____ No _____
Do you plan to use compounds or processes that require the
acquisition of a permit from the Texas Commission on
Environmental Quality Yes _____ No _____ XX
Do you plan to introduce any materials or manufacturing
by-products into the septic systems other than ordinary water? Yes _____ No _____ XX

*** Please provide MSDS for all Hazardous Materials.***



High-Piled Combustible Storage is combustible materials or packaging in closely packed piles more than 12 feet in height or combustible materials on pallets or in racks more than 12 feet in height for certain special- hazard commodities such as rubber tires, plastic, etc. The critical pile height may be low as 6 feet. Hazardous Materials are those chemicals or substances, whether in usable or waste conditions, in the following categories:

Hazardous Materials	Container Size & Type	Proposed Quantities
Compressed Grease		
Corrosive		
Cryogenics		
Explosives & Blasting Agents		
Flammable & Combustible Liquids		
Flammable Solids		
Toxic Materials		
Organic Peroxides		
Oxidizers		
Pyrophoric Materials		
Unstable Material		
Water Reactive Material		
Other Health Hazards		

Property Owner Signature _____

Date _____

Applicant Signature Paul Landa

Date 10/20/21



July 19, 2021

Attn: AHJ

RE: CVS Covid Kiosk

Dear Building official:

As you know, the nation continues to suffer from the ongoing COVID-19 pandemic. According to the Department of Homeland Security's "Guidance On The Essential Critical Infrastructure Workforce", dated March 19, 2020, healthcare and public health are critical infrastructure that must be maintained during the COVID-19 crisis. In addition, state and local stay-in-place orders have similarly recognized healthcare as an essential service. CVS Health Corporation and its subsidiaries (collectively, "CVS Health") comprise a diverse health care enterprise serving the needs of customers and patients in every state through pharmacies, clinics, health plan services, pharmacy benefits management, and senior pharmacy care. As such, CVS Health entities are providers of a range of vital services essential to the Department of Homeland Security's Healthcare and Public Health Critical Infrastructure Sector in response to the COVID-19 crisis and declared national emergency.

Accordingly, CVS Health has become a leader in COVID-19 testing. In order to meet the growing need for access to COVID-19 testing across the nation and as part of an overall strategy to help contain the spread of COVID-19, CVS Health and its affiliates are now offering rapid-result point-of-care (POC) testing at select CVS retail locations. Rapid-result POC tests are critical to communities and populations, including those that cannot readily access laboratory testing or need to quickly address emerging outbreaks.

Tenant will be temporarily offering POC testing at the Premises to assist in addressing the spread of COVID-19 in this community. Testing will be operated from an outdoor kiosk which will be located in the parking lot and adjacent to the Premises. Testing will be operated in line with appropriate social distancing and other protocols and guidelines that have been implemented in the operation of CVS testing sites throughout the country in order to maintain a safe environment for our employees, customers, and neighbors. Testing will be offered daily between the hours of 8AM to 7:30PM by online appointment only and will be limited to a maximum of four appointments per hour. Customers will be directed to wait in their vehicles until their designated appointment time. In order to further ensure that testing is provided in a safe and orderly manner, Tenant will be temporarily posting limited informational and directional signage at the Premises and adjacent to and affixed on the kiosk, as shown on Exhibit B attached hereto.

We are respectfully asking for support with our continued efforts to help slow the spread of COVID-19 in the community by signing the applicable permit applications accordingly, and returning to the city as soon as possible.

For verification or inquiries regarding CVS Health's response to the pandemic, including its COVID-19 testing offerings, please contact CVS Health's COVID-19 24/7 Command Center at 401-772-7540. Please direct all inquiries regarding the Lease and the Premises to the CVS Property Administration Department.



Very truly yours,

Rebecca McBryde

Name: Rebecca McBryde

Title: Senior Project Manager,
CVS Health Architecture and Engineering



One CVS Drive
Woonsocket, RI 02895

TO: State & Local Building Officials
DATE: December 10, 2020
SUBJECT: Reasonable Accommodations for COVID-19 Point-of-Care Testing Kiosks

Dear State or Local Building Official,

Regarding our COVID-19 Point-of-Care Testing Kiosks in your jurisdiction, I would like to note the reasonable accommodations our team is taking in order to provide our patients and your citizens a comfortable, safe and convenient COVID-19 testing environment.

The kiosk does not have self-contained toilets. The existing CVS retail store, which is open during the hours of the kiosk, does have accessible toilets. In most locations, toilets are within 500 ft (IBC 2902.3) and are along accessible routes.

A step-up may be required to enter the kiosk. Testing can be performed at the patient vehicle or in the kiosk. Entering the kiosk is not required in order to be tested. The kiosk is primarily a central point of operation for employees. The kiosk happens to have a patient testing area for their convenience. Patients arrive by appointment by vehicle and the practitioner will contact the patient and determine the best location for testing. CVS personnel will be on hand to assist patients as required and/or requested.

Testing parking may not have accessible aisles. Patients are not required to leave their vehicle to be tested. The practitioner will test any patient from their car, at the patient's request.

Please let me know if you have any additional questions or concerns.

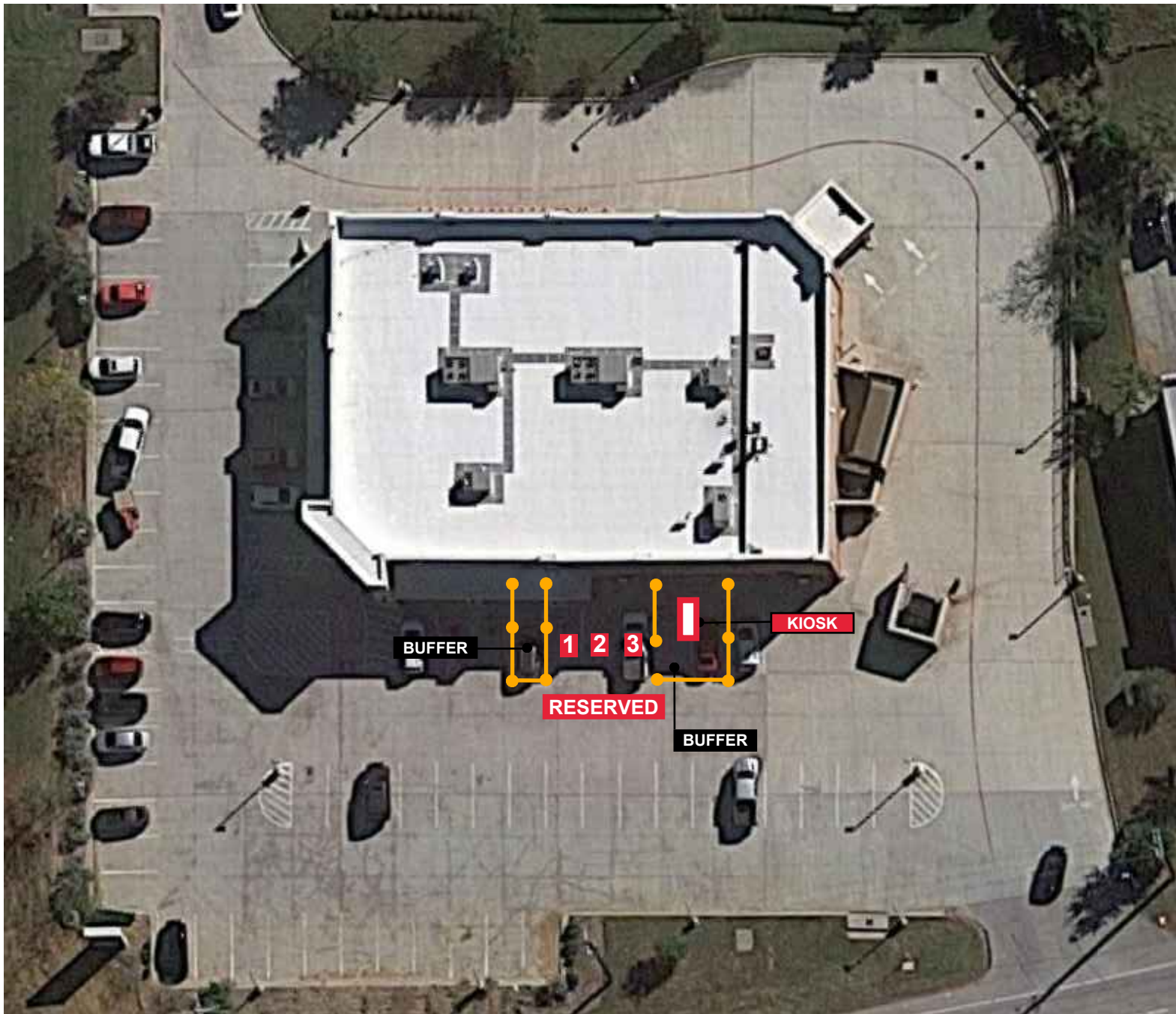
Thank you for your support in this critical public health initiative.

Sincerely,

Josh Roth, MBA, LEED AP | Senior Project Manager, Architecture & Engineering
m 401-954-5451



1 CVS Drive, Mail Code 6010, Woonsocket, RI 02895



STORE NUMBER:
10138TX

STORE ADDRESS:
11101 US-380
CROSS ROADS, TX

TYPE: TEMPORARY KIOSK
SCALE: N.T.S.
DRAWN: NPR
DATE: 10/20/2021

PROVIDE AS-BUILT FOR PLAN
DEVIATIONS OR MODIFICATIONS

SD1
SITE DIAGRAM
SHEET 1 OF 1

CVS CLINICIAN KIOSK



STORE No. 4932
5920 W. PARK BLVD.
PLANO, TX 75093

TOTAL SQUARE FOOTAGE: 78 SQ. FT.
BUILDING TYPE: TEMPORARY TESTING FACILITY

STRUCTURAL NOTES

GENERAL STRUCTURAL NOTES

PROJECT DATES AND LOCATION

1. PROJECT LOCATION: 5920 W. PARK BLVD, PLANO, TX 75093
2. PROJECT Dates: 11/21/2020 - 11/20/2021
3. ENGINEER STAMP IS VALID ONLY FOR DURATION SHOWN ABOVE AND APPLIES TO BUILDING STRUCTURE ONLY.

CODES AND REFERENCE

1. 2018 INTERNATIONAL BUILDING CODE
2. ASCE 7-16 MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES
3. ASCE 37-14 DESIGN LOADS ON STRUCTURES UNDER CONSTRUCTION
4. AWC MANUAL FOR ENGINEERED WOOD CONSTRUCTION 2015 EDITION
5. AISC STEEL MANUAL, 13TH EDITION

DESIGN LOADS

RISK CATEGORY: II

ROOF MEAN HEIGHT: 8' - 3/16" A

GRAVITY LOADS:

1. FLOOR LIVE LOAD: 50 PSF
2. ROOF LIVE LOAD: 20 PSF
 - 2.1. PONDING AND DRIFT EFFECTS HAVE BEEN INCLUDED IN THE DESIGN.
3. SNOW LOADS:
 - 3.1. GROUND SNOW LOAD, Pg= 5 PSF
 - 3.2. FLAT-ROOF SNOW LOAD, Pf= 4 PSF
 - 3.3. SNOW EXPOSURE FACTOR, Ce=1.0 (ASSUMED)
 - 3.4. SNOW LOAD IMPORTANCE FACTOR, Is=1.0
 - 3.5. THERMAL FACTOR, Ct=1.0

4. WIND LOAD:

- 4.1. ULTIMATE DESIGN WIND SPEED, 92 MPH*
- 4.2. NOMINAL DESIGN WIND SPEED, 71 MPH*
- 4.3. RISK CATEGORY: II
- 4.4. INTERNAL PRESSURE COEFFICIENT: +/- 0.18
*Ultimate design wind speed has been reduced per ASCE 37-14 Sec 6.2.1 for a temporary structure in place between 6 week to one year.

5. SEISMIC LOADS:

- 5.1. IMPORTANCE FACTOR: 1.0
- 5.2. MAPPED MAXIMUM SPECTRAL RESPONSE ACCELERATIONS
 - 5.2.1. SHORT PERIOD, Ss=0.109
 - 5.2.2. 1-SECOND PERIOD, S1= 0.056
- 5.3. SOIL SITE CLASS: D (ASSUMED)
- 5.4. DESIGN SPECTRAL RESPONSE ACCELERATION PARAMETERS
 - 5.4.1. Sds: 0.116
 - 5.4.2. Sd1: 0.090
- 5.5. SEISMIC DESIGN CATEGORY: B
- 5.6. SEISMIC FORCE RESISTING SYSTEM: LIGHT-FRAMED WOOD WALLS SHEATHED WITH WOOD STRUCTURAL PANELS RATED FOR SHEAR RESISTANCE
- 5.7. DESIGN BASE SHEAR: 45LBS
- 5.8. SEISMIC RESPONSE COEFFICIENT, Cs= 0.018
- 5.9. RESPONSE MODIFICATION COEFFICIENT, R=6.5
- 5.10. ANALYSIS PROCEDURE: SIMPLIFIED METHOD

6. NO GEOTECHNICAL REPORT HAS BEEN ISSUED FOR THIS PROJECT

CONSTRUCTION AND SAFETY

1. ENGINEER SHALL NOT BE RESPONSIBLE FOR MEANS, METHODS OR SEQUENCE OF CONSTRUCTION UNLESS SPECIFICALLY NOTED ON THE DRAWINGS.
2. ENGINEER HAS DESIGNED THE STRUCTURE FOR ITS AS-BUILT CONDITION. ENGINEER IS NOT RESPONSIBLE FOR TEMPORARY STABILITY OF STRUCTURE DURING ERECTION UNLESS SPECIFICALLY NOTED ON THE DRAWINGS.
3. THE STRUCTURE HAS BEEN DESIGNED AS A TEMPORARY STRUCTURE THAT SHALL BE IN PLACE FOR LESS THAN ONE YEAR.

FOUNDATIONS

1. THE FOUNDATION DESIGN AND GENERAL FOUNDATION NOTES ARE BASED ON THE ASSUMPTION OF FAVORABLE SOIL/PAVEMENT/CONCRETE CONDITIONS. STRUCTURE SHALL BEAR ON GROUND WITH NO MORE THAN 4" DIFFERENTIAL HEIGHT AND BE INSTALLED LEVEL ON PRESSURE TREATED SHIMS AS SHOWN ON DRAWINGS.
2. STRUCTURE SHALL BE ANCHORED TO THE GROUND VIA THE (4) PROVIDED ANGLES. ANCHOR SHALL BE DESIGNED FOR 800# UPLIFT AND 400# HORIZONTAL SERVICE WIND LOAD.

STRUCTURAL STEEL

1. ALL DETAILING, FABRICATION AND ERECTION SHALL CONFORM TO AISC SPECIFICATION FOR "DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL BUILDINGS", AND THE AISC "CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES", CURRENT EDITION.
2. WELDING SHALL BE IN ACCORDANCE WITH THE AMERICAN WELDING SOCIETY (AWS D1.1, CURRENT EDITION)
3. MATERIALS:
 - a. HSS SHAPES: ASTM A500 GRADE B
 - b. ANCHOR BOLTS: ASTM A36 OR ASTM F1554 GRADE 36
 - c. BOLTS: SAE J429 GRADE 5 GALVANIZED

WOOD

1. INTERIOR LOAD BEARING WALLS
 - a. SOUTHERN PINE, NO. 2 GRADE
 - b. SPRUCE PINE FIR, NO. 2 GRADE
2. WOOD EXPOSED TO WEATHER OR IN CONTACT WITH CONCRETE, MASONRY, OR ASPHALT SHALL BE PRESSURE-TREATED. WOOD NOTED IN THE CONTRACT DOCUMENTS AS "TREATED" SHALL BE PRESSURE-TREATED.
3. STRUCTURAL PANELS
 - a. WALL PANELS ARE CONSTRUCTED WITH APA RATED SHEATHING.
 - b. ROOF SHEATHING IS CONSTRUCTED WITH APA RATED SHEATHING WITH EXTERIOR GRADE GLUE.
4. ROOF JOISTS
 - a. ROOF JOISTS ARE CONSTRUCTED OF APA RATED SHEATHING THAT HAS BEEN MODIFIED TO USE AS VERTICAL LOAD BEARING MEMBER.
5. CONNECTIONS
 - a. METAL CONNECTORS FOR ROOF MEMBERS SHALL BE STRONG-TIE CONNECTORS BY THE SIMPSON COMPANY.

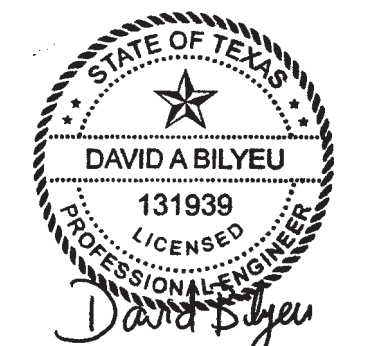
SHEET INDEX

6672-02	COVER SHEET
6672-02A	PLAN, ELEVATIONS, & ISOMETRIC
6672-02B	SECTIONS & DETAILS
6672-02C	SECTIONS & DETAILS
6672-02D	INTERIOR WALL ELEVATIONS
6672-02E	FRAMING SCHEDULE
6672-02F	FABRICATIONS
6672-02G	ELECTRICAL PLAN
6672-02H	SPECS
6672-02J	OSB LAYOUTS
6672-02K	PANELS
6672-02L	CEILING REVISIONS SECTIONS & DETAILS
6672-02M	CEILING REVISIONS SECTIONS & DETAILS
6672-02N	SNOW LOAD ROOF SECTIONS & DETAILS
6672-02P	SNOW LOAD CEILING SECTIONS & DETAILS
6672-02R	SNOW LOAD SECTIONS & DETAILS
6672-02S	SECTIONS, DETAILS, & FABR ALTERNATES
6672-INS-A	TESTING KIOSK - LEVELING BLOCK PLACEMENT
6672-INS-B	TESTING KIOSK - FORK LIFT LOCATION
6672-INS-C	UNIT ANCHORING
6672-INS-D	ELECTRICAL CONNECTION

APPLICABLE BUILDING DESIGN FACTORS:

OCCUPANCY CLASSIFICATION: GROUP B-BUSINESS
CONSTRUCTION TYPE: VB
AREA PER OCCUPANT: 15 SF GROSS PER PERSON
GROSS SQUARE FOOTAGE: 78
OCCUPANT LOAD = 5

KEYNOTING SCHEDULES



04 AUG 2021

A	REVISED FLOOR LIVE LOAD	TS	04/26/21
MARK	ISSUED FOR / REVISION	BY	DATE
REVISED			
CLIENT CODE	STENCILING	TOTAL UNITS REQ'D	
884024		1	
DO NOT SCALE DRAWINGS			

GENERAL NOTE
This drawing is the property of, and contains design data which is proprietary to George P. Johnson. Reproduction, use, or transfer of this drawing, or any information contained herein, to others, except as specifically authorized in connection with this project only, is NOT permitted without written approval of George P. Johnson.
COPYRIGHT 2020 GEORGE P. JOHNSON



CLIENT	CVS HEALTH
PROJECT	TESTING BOOTH BUILD TN FA
ELEMENT	KIOSK 3X4 FRAME - ALT DOOR
DRAWING	COVER SHEET
SHEET NO.	

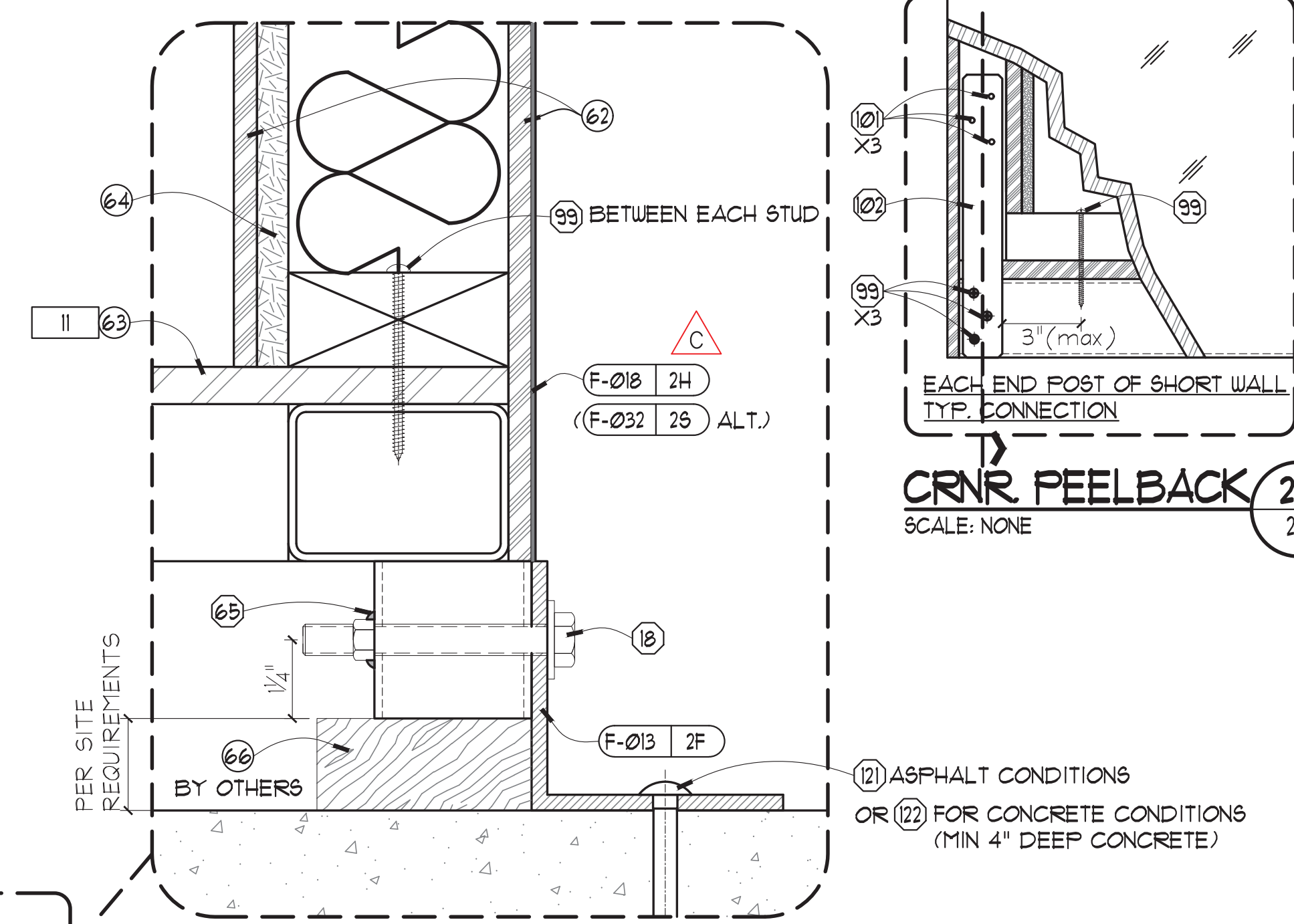
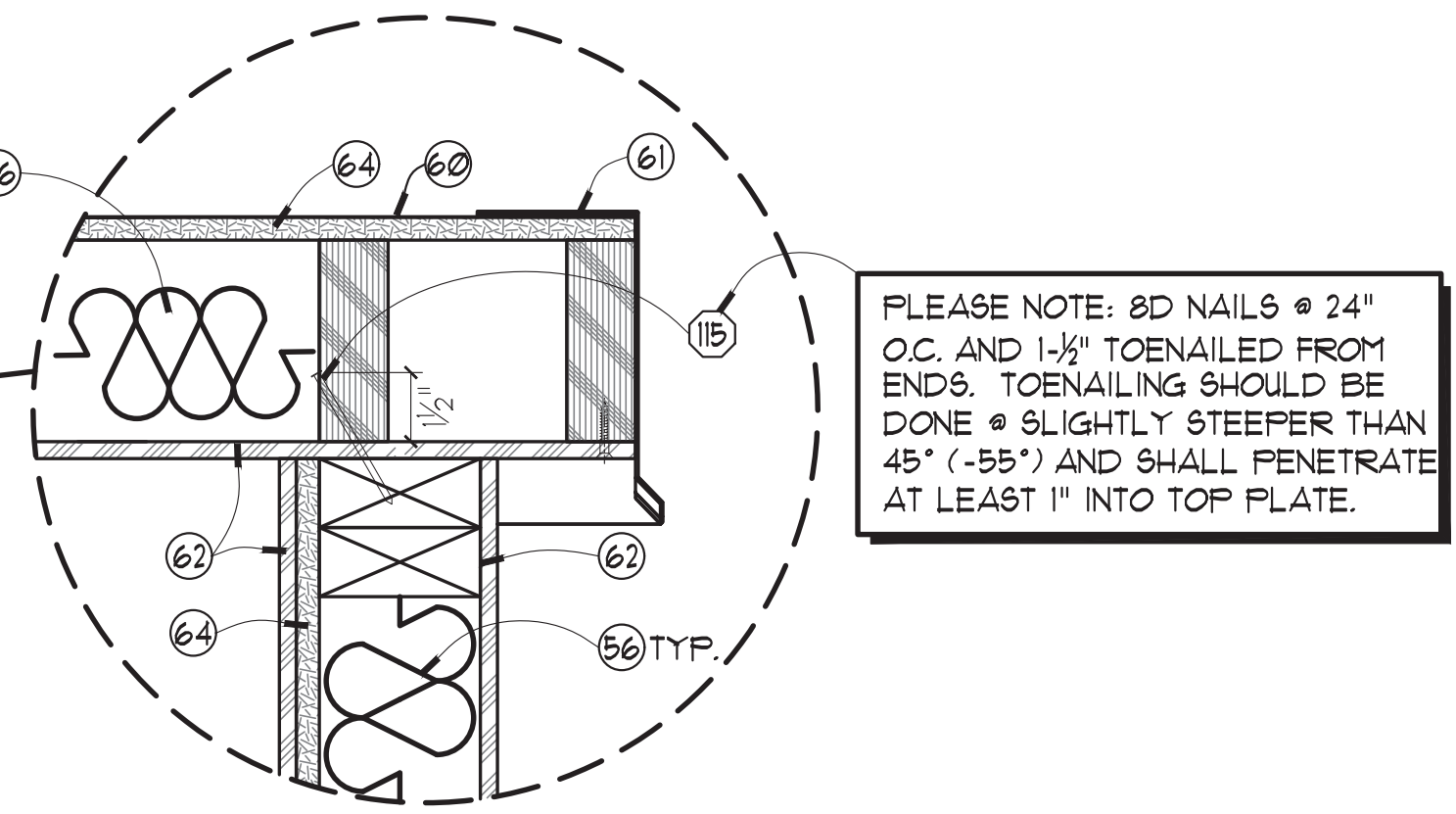
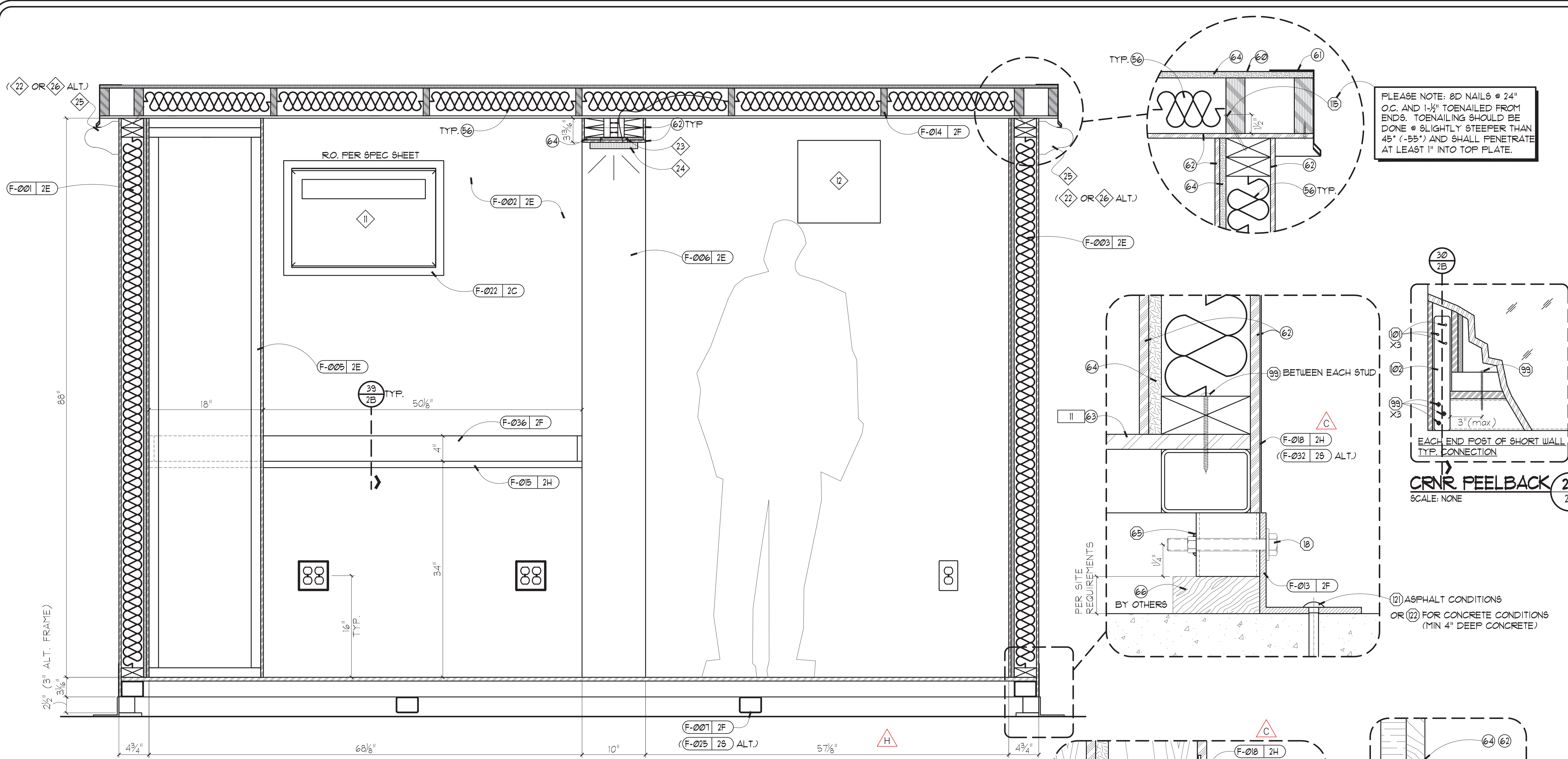
APPROVALS				
EST.	DESIGN	SALES	PRODUCTION	STRUCTURAL

FABRICATION LOCATION	CONTAINER		
NASHVILLE	LOOSE		
USAGE TO BE SHIPPED OVERSEAS?:	NO		
CAN ELEMENT BE USED IN CA:	NO		
DRAWING NO.	DRAWN	APPR	APPR DATE
6672-08N	JP		

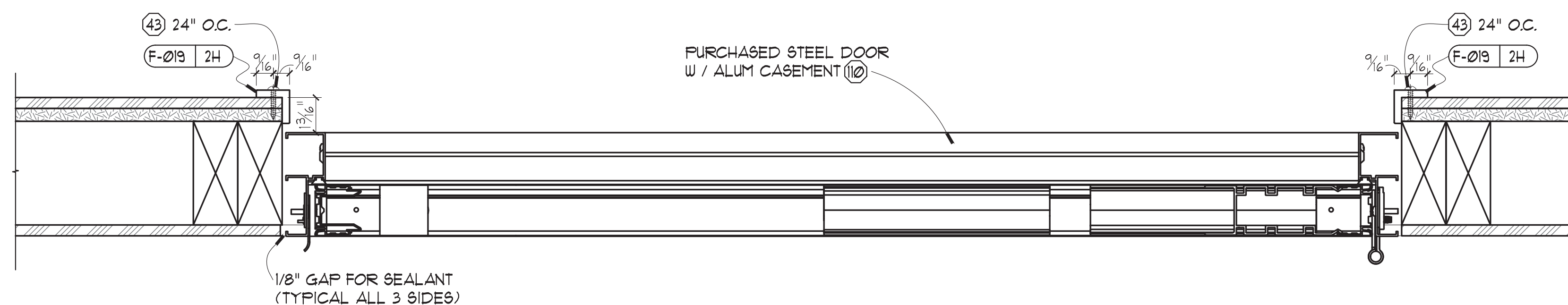
SHOP ORDER NO. **10006338**

RELEASED

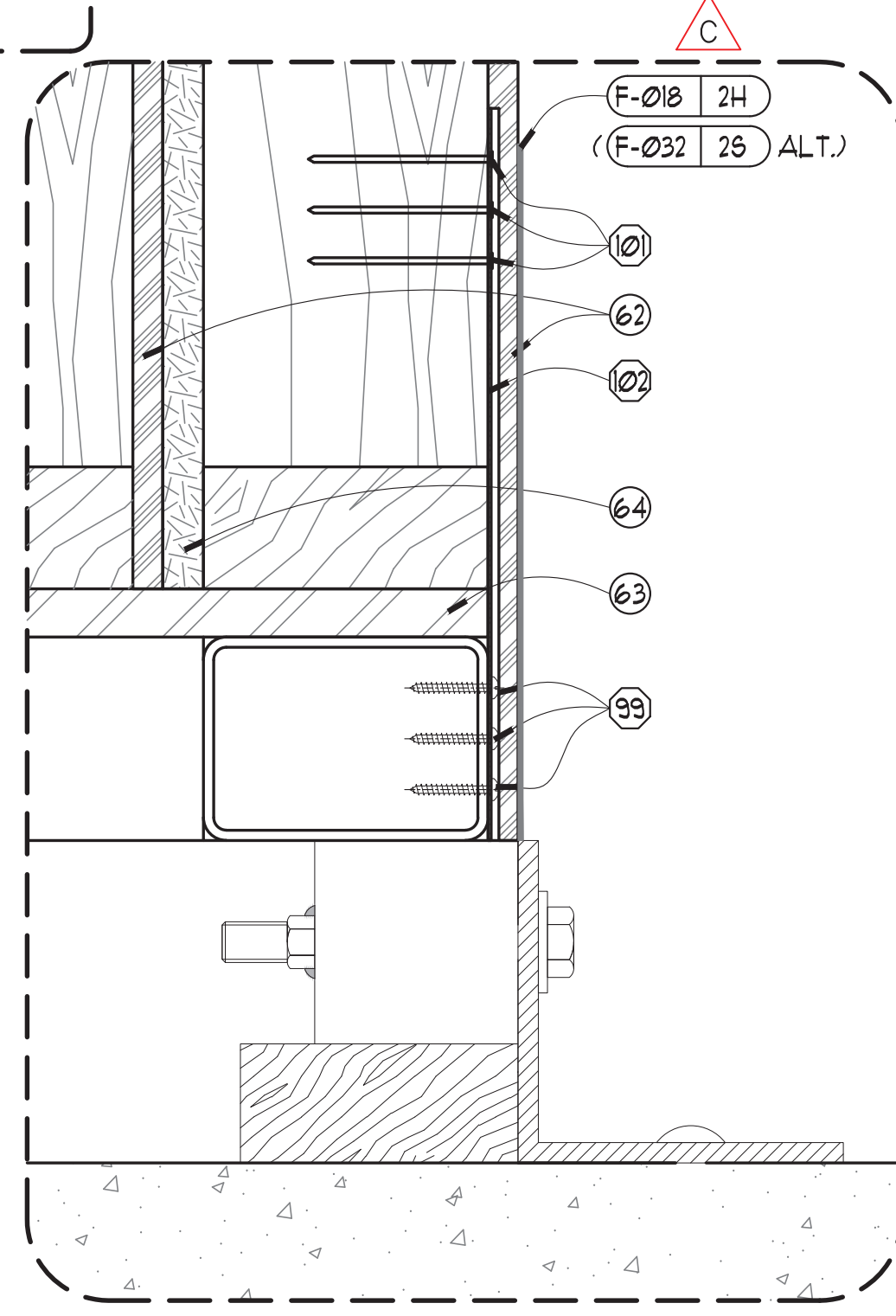
ISSUE DATE



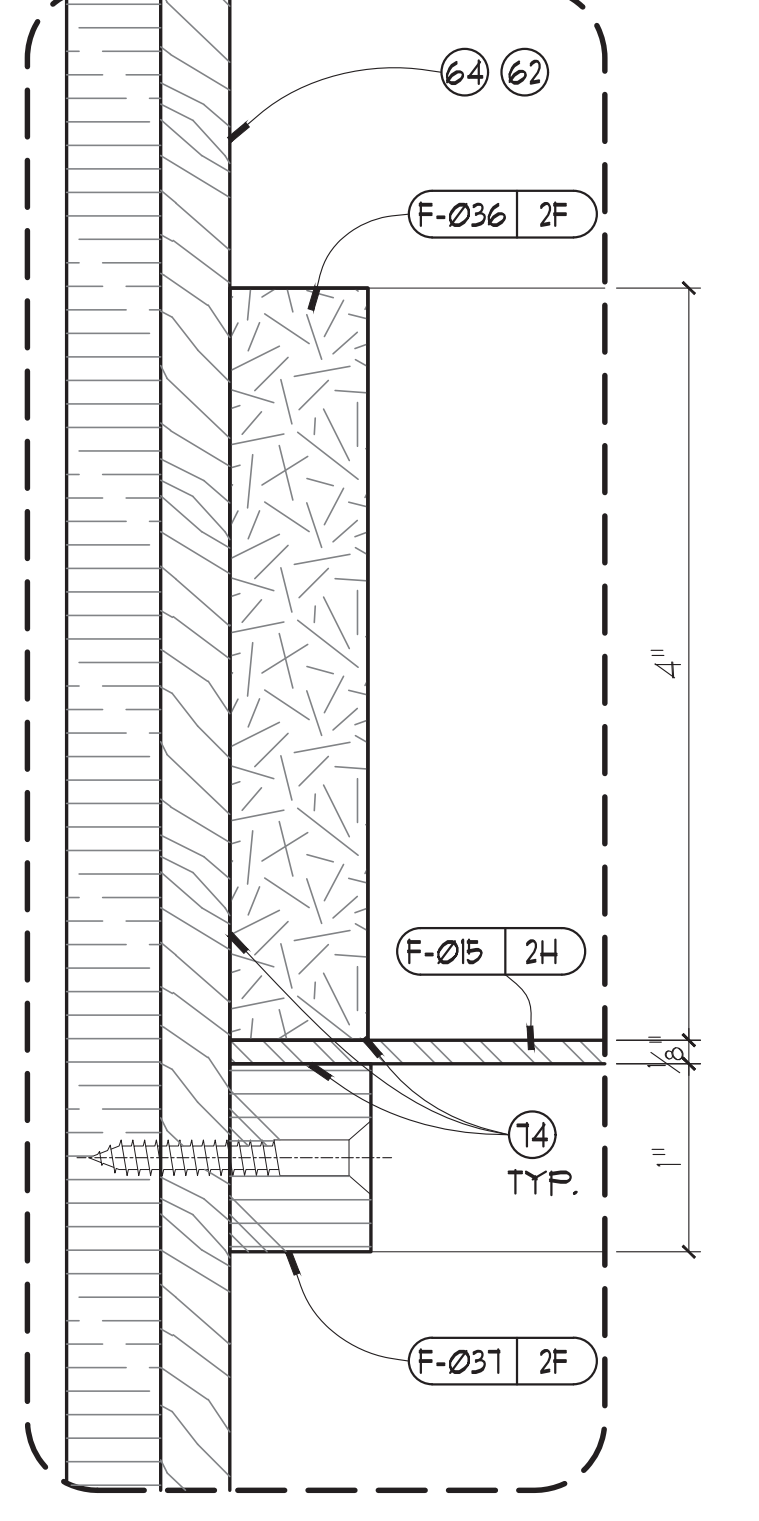
FULL SECTION- A 1
SCALE: 1-1/2" = 1'-0" 2A



DOOR SECTION 15
SCALE: 4" = 1'-0" 2A



STRAP SECTION 30
SCALE: NONE 2A



SECTION @ COUNTER 39
SCALE: 12" = 1'-0" (Full) 2B

KEYNOTING SCHEDULES		
PAINT SCHEDULE		
MARK	COLOR NUMBER	DESCRIPTION
11	SW4027	SHERWIN WILLIAMS MACROPOXY66
MATERIAL SCHEDULE		
MARK	MFG. CAT. NO.	DESCRIPTION
56		R13 BATT INSUL
60		EDPM ROOFING
61		CUSTOM DRIP EDGE
62	1109SL	RISE CORP .368" TRANSORE WALL BOARD
63	1915SL	RISE CORP .592" TRANSORE SUBFLOOR
64		7/16 OSB
66		TREATED LUMBER
74		CONSTRUCTION ADHESIVE
HARDWARE SCHEDULE		
MARK	MFG. CAT. NO.	DESCRIPTION
18		1/2"-13 Hex Head Machine screw
43		Round Head wood screw
65		Weld-nut
99		# 8 SELF TAPPING SCREW
101		10 d NAIL
102	LSTA9	SIMPSON STRONG TIE METAL STRAP
110		AJ MANUFACTURING ORIGINAL DOOR
115		8D X 3-1/2" Nail
121	PE18	AM. EARTH ANCHORS 18" PENETRATOR W HX 10
122		STRONG BOLT 2 WEDGE ANCHOR
ELECTRICAL SCHEDULE		
MARK	MFG. CAT. NO.	DESCRIPTION
11	FFRH022R1	Frigidaire HVAC VENT
12	FV-0810RSL1	Panasonic VENT FAN
22	AAWL525BZ	Tornlite EXTERIOR LIGHT
23	77705	LegendPassSeymour Shallow Direct Mount Ceiling Light
24		Sanco 5/8" FLUSH MOUNT LED DOWNLIGHT
25	LW360-25W-50K	Westgate EXTERIOR LIGHT
26	LW360-25W-30K	Westgate EXTERIOR LIGHT
FABRICATED PARTS SCHEDULE		
(QUANTITIES LISTED ARE FOR ONE ELEMENT)		
MARK	QTY	DESCRIPTION
F-001	1	GPJ KIOSK WALL - A
F-002	1	GPJ KIOSK WALL - B
F-003	1	GPJ KIOSK WALL - C
F-005	1	GPJ KIOSK WALL - E
F-006	1	GPJ KIOSK WALL - F
F-007	1	GPJ KIOSK STEEL FRAME
F-013	4	GPJ HOLD DOWN BRACKET
F-014	1	GPJ KIOSK CEILING FRAME
F-015	1	GPJ SS COUNTER - A
F-018	1	GPJ Metal Flashing
F-019	1	GPJ Corner Trim
F-022	1	GPJ AC UNIT BEZEL
F-025	1	GPJ KIOSK STEEL FRAME - LA
F-032	1	GPJ METAL FLASHING - ALT DOOR
F-036	1	GPJ KIOSK BACKSPLASH
F-037	1	GPJ STEEL SHELF LEDGER

H	REVISED SET	TS	10/10/20
C	FLASHING IN SECTION	JG	10/06/20
MARK	ISSUED FOR / REVISION	BY	DATE
REVISED			
STENCILING		TOTAL UNITS REQD	
CLIENT CODE	884024	1	
DO NOT SCALE DRAWINGS			

GENERAL NOTE
This drawing is the property of, and contains design data which is proprietary to George P. Johnson. Reproduction, use, or transfer of this drawing, or any information contained herein, to others, except as specifically authorized in connection with this project only, is NOT permitted without written approval of George P. Johnson.
COPYRIGHT 2020 GEORGE P. JOHNSON



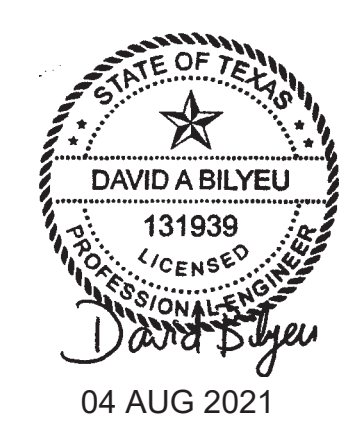
CLIENT	CVS HEALTH
PROJECT	TESTING BOOTH BUILD TN FA
ELEMENT	TESTING KIOSK
DRAWING	SECTIONS & DETAILS
SHEET NO.	

APPROVALS				
EST.	DESIGN	SALES	PRODUCTION	STRUCTURAL
DT	DT	DT	DA	DB

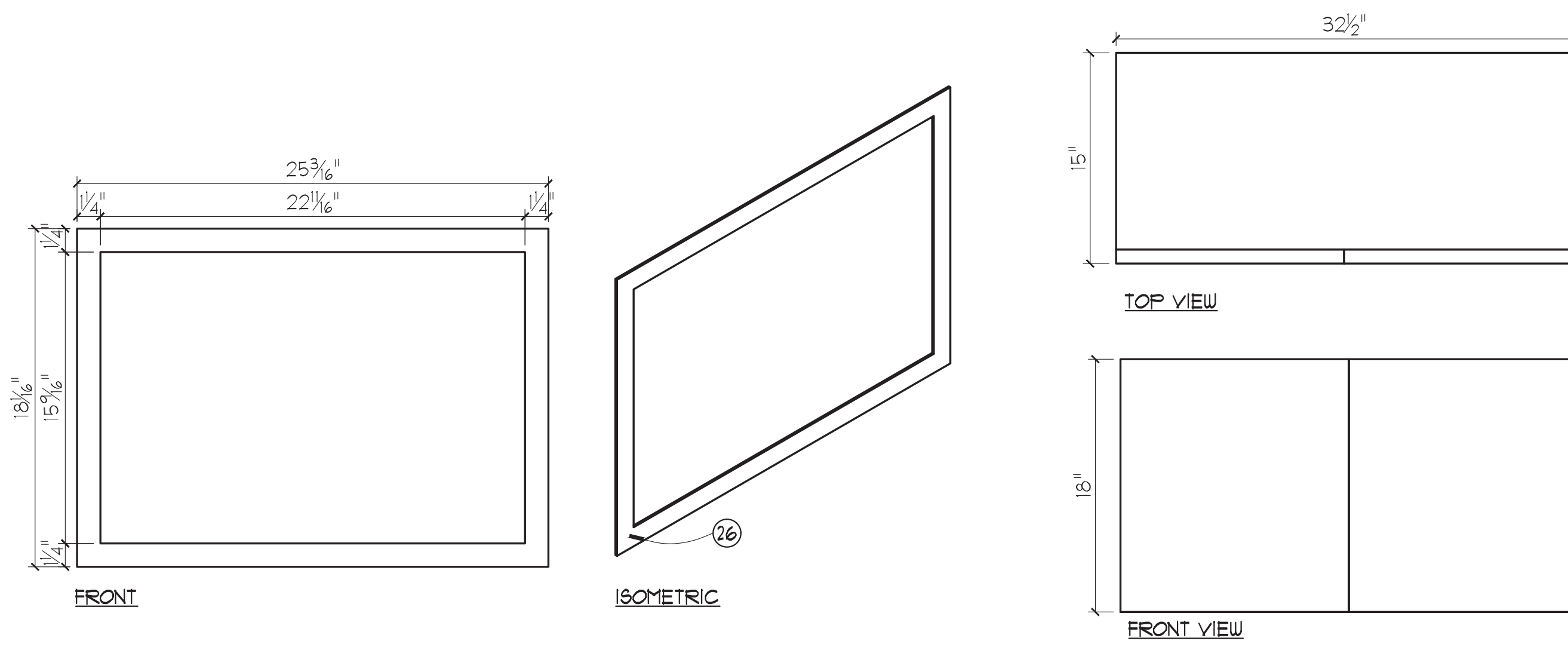
FABRICATION LOCATION	NASHVILLE	CONTAINER	LOOSE
USAGE	TO BE SHIPPED OVERSEAS?: NO	CAN ELEMENT BE USED IN CA?: YES	
DRAWING NO.	6672-02B	DRAWN	JG
		APPR	DB
		APPR DATE	10/2/20

SHIP ORDER NO. 10006338

RELEASED



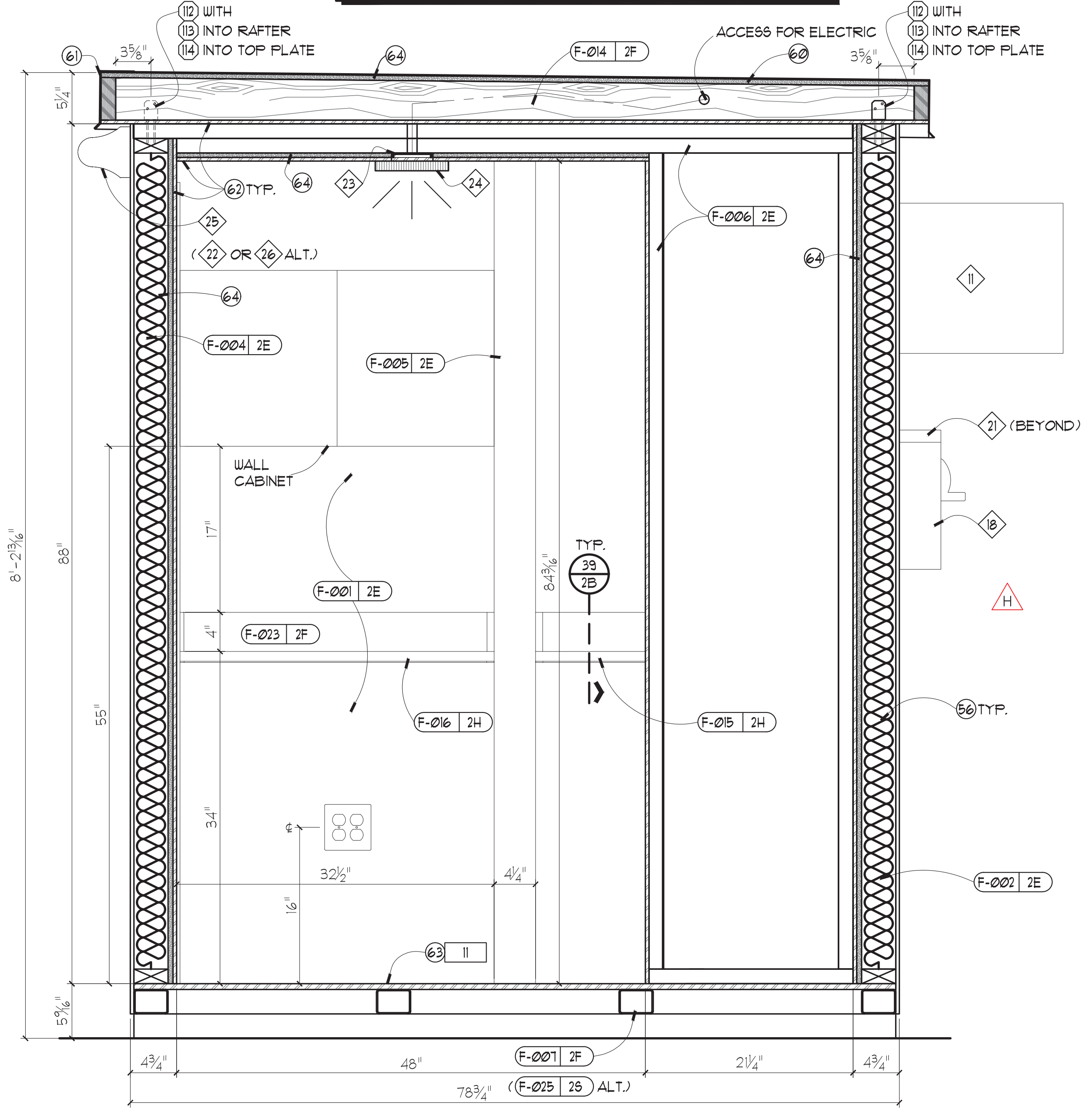
ISSUE DATE: 04.2.2020



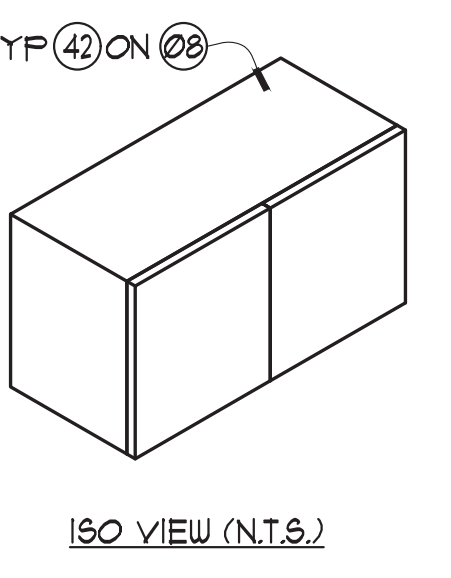
AC UNIT BEZEL
SCALE: 2" = 1'-0"
FAB-022 **F-022**

CABINET SPECS
SCALE: 1-1/2" = 1'-0"

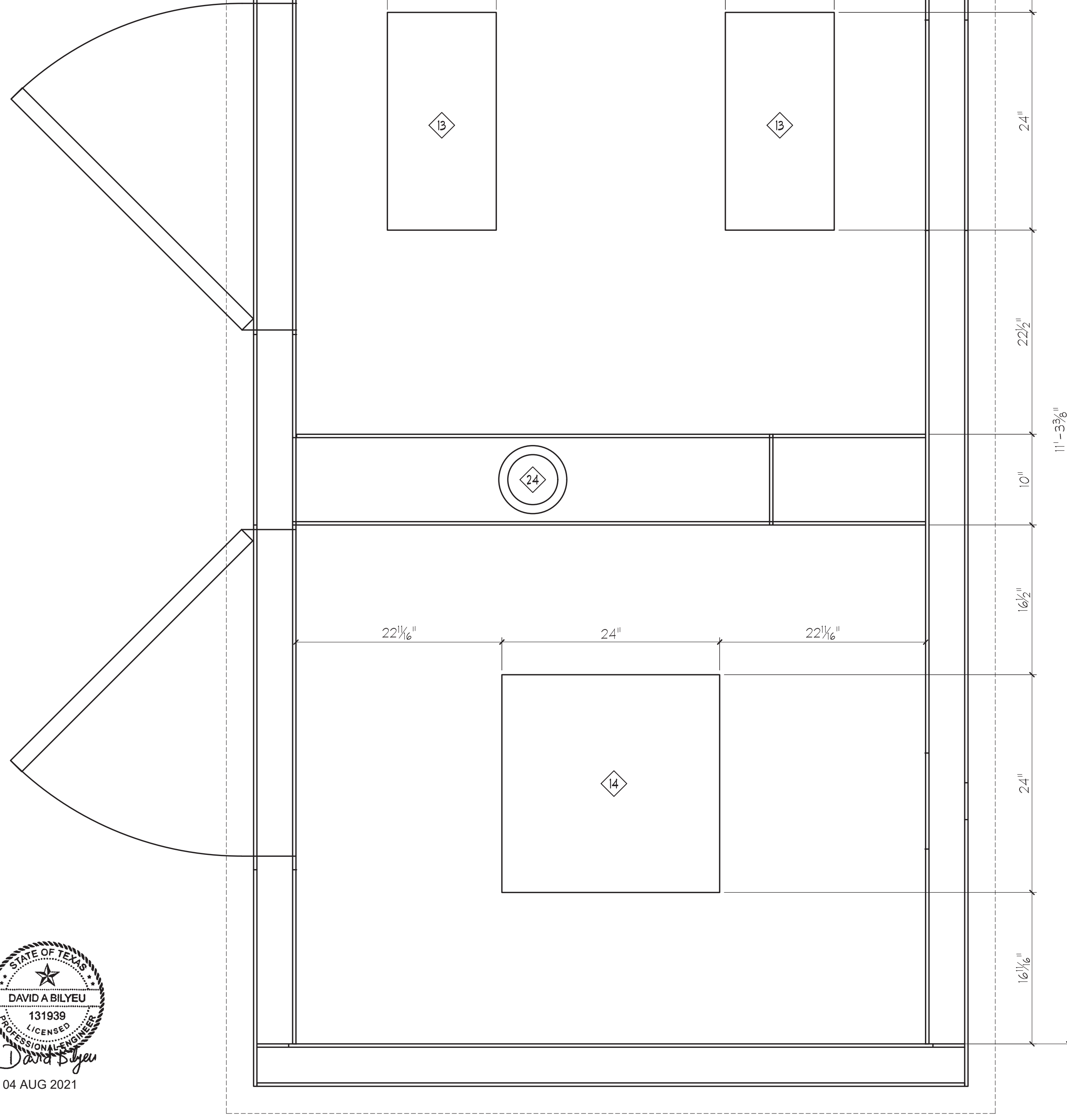
PLEASE NOTE: PLACE (12) ON OPPOSITE SIDE OF SAME RAFTER (TYP)



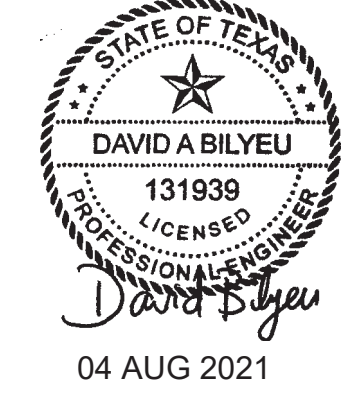
FULL SECTION - B **2**
SCALE: 1-1/2" = 1'-0"
2A



ISO VIEW (N.T.S.)



REFLECTED CEILING PLAN **3**
SCALE: 1-1/2" = 1'-0"



KEYNOTING SCHEDULES			
PAINT SCHEDULE			
MARK	COLOR NUMBER	DESCRIPTION	
11	SW4027	SHERWIN WILLIAMS MACROPOXY64	
MATERIAL SCHEDULE			
MARK	MFG. CAT. NO.	DESCRIPTION	
08		3/4" Plywood	
26		3mm Sintra - White	
42		Stock White Laminate	
56		R13 BATT INSUL	
60		EDPM ROOFING	
61		CUSTOM DRIP EDGE	
62	1109SL	RIDGE CORP .368" TRANSCORE WALL BOARD	
63	1915SL	RIDGE CORP .592" TRANSCORE SUBFLOOR	
64		7/16 OSB	
HARDWARE SCHEDULE			
MARK	MFG. CAT. NO.	DESCRIPTION	
112	A21	SIMPSON STRONG TIE Galvanized Angle	
113		10D X 1-1/2" Nail	
114		10D X 2-1/2" Nail	
ELECTRICAL SCHEDULE			
MARK	MFG. CAT. NO.	DESCRIPTION	
17	FFRH0822R1	Frigidaire HVAC UNIT	
13	FPX1-4WY-WH-HD	Commercial Electric 1 1/2" LED FLUSH MOUNT LIGHT	
14	FPX2-4WY-WH-HD	Commercial Electric 2 1/2" LED FLUSH MOUNT LIGHT	
18	WD408ML125	Siemens EXTERIOR SUB PANEL	
21	DG22URB	Eaton SUB PANEL DISCONNECT	
22	AAWL525BZ	Tam-lite EXTERIOR LIGHT	
23	77705	LegendPass&Seymour Shallow Direct Mount Ceiling Box	
24		Sanco 5/8in FLUSH MOUNT LED DOWNLIGHT	
25	LW360-25W-50K	Westgate EXTERIOR LIGHT	
26	LW360-25W-30K	Westgate EXTERIOR LIGHT	
FABRICATED PARTS SCHEDULE			
(QUANTITIES LISTED ARE FOR ONE ELEMENT)			
MARK	QTY. REQD	SOURCE	DESCRIPTION
F-001	1	GPJ	KIOSK WALL - A
F-002	1	GPJ	KIOSK WALL - B
F-004	1	GPJ	KIOSK WALL - D
F-005	1	GPJ	KIOSK WALL - E
F-006	1	GPJ	KIOSK WALL - F
F-007	1	GPJ	KIOSK STEEL FRAME
F-014	1	GPJ	KIOSK CEILING FRAME
F-015	1	GPJ	SS COUNTER - A
F-016	1	GPJ	SS COUNTER - B
F-022	1	GPJ	AC UNIT BEZEL
F-023	1	GPJ	KIOSK BACKSPLASH
F-025	1	GPJ	KIOSK STEEL FRAME - LA

H	REVISED SET	TS	10/10/20
MARK	ISSUED FOR / REVISION	BY	DATE
REVISED			
STENCILING			TOTAL UNITS REQD
CLIENT CODE	884024		1
DO NOT SCALE DRAWINGS			

GENERAL NOTE
This drawing is the property of, and contains design data which is proprietary to George P. Johnson. Reproduction, use, or transfer of this drawing, or any information contained herein, to others, except as specifically authorized in connection with this project only, is NOT permitted without written approval of George P. Johnson.
COPYRIGHT 2020 GEORGE P. JOHNSON

GEORGE P. JOHNSON
experience marketing
A PROJECT WORLDWIDE AGENCY

CLIENT	CVS HEALTH
PROJECT	TESTING BOOTH BUILD TN FA
ELEMENT	TESTING KIOSK
DRAWING	SECTIONS & DETAILS
SHEET NO.	

APPROVALS					
EST.	DESIGN	SALES	PRODUCTION	STRUCTURAL	
DT	DT	DT	DA	DB	

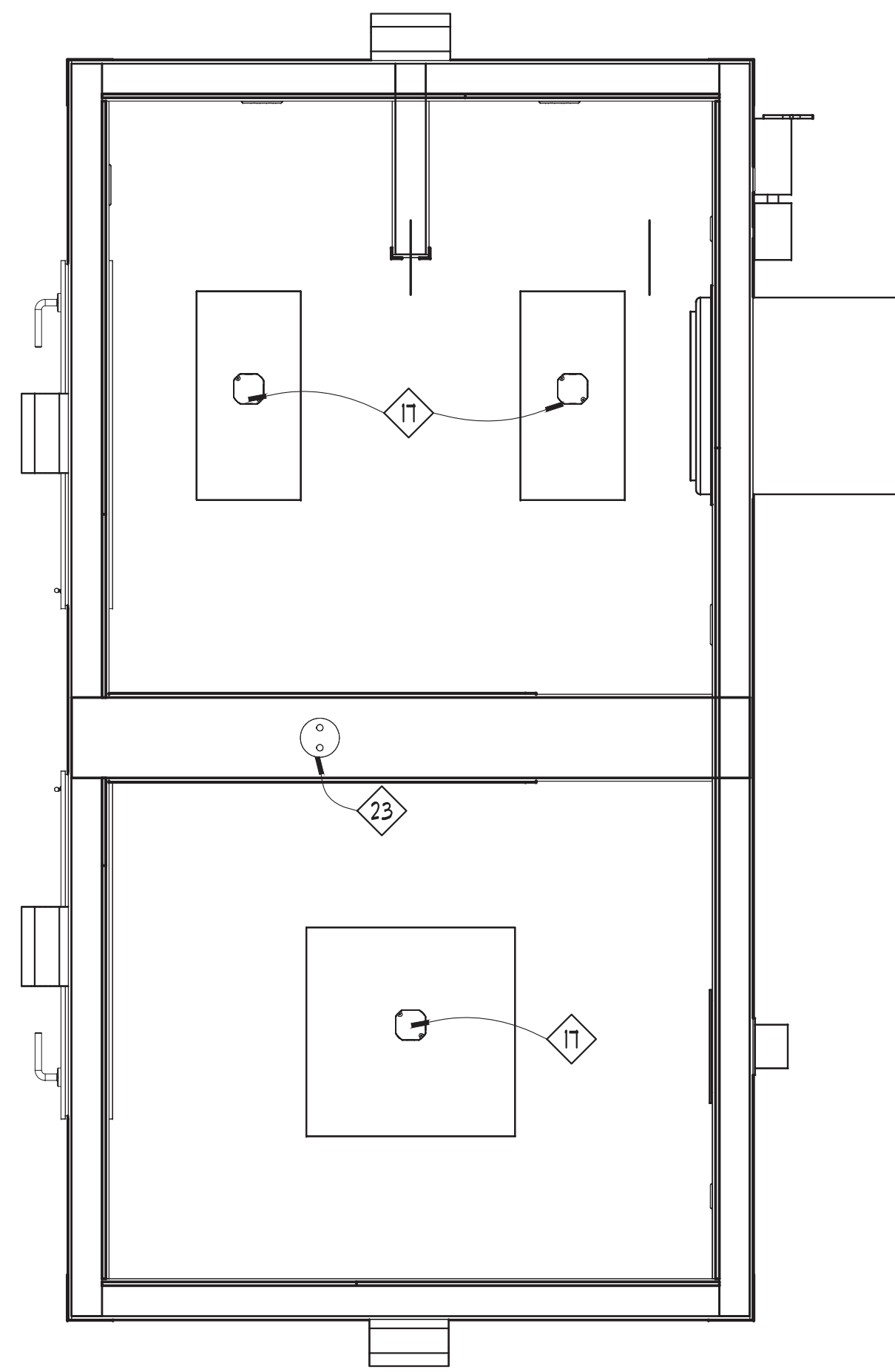
FABRICATION LOCATION	CONTAINER
NASHVILLE	LOOSE
USAGE TO BE SHIPPED OVERSEAS? NO	
CAN ELEMENT BE USED IN CAYES	
DRAWING NO.	DATE
6672-02C	10/2/20

SHOP ORDER NO. **10006338**

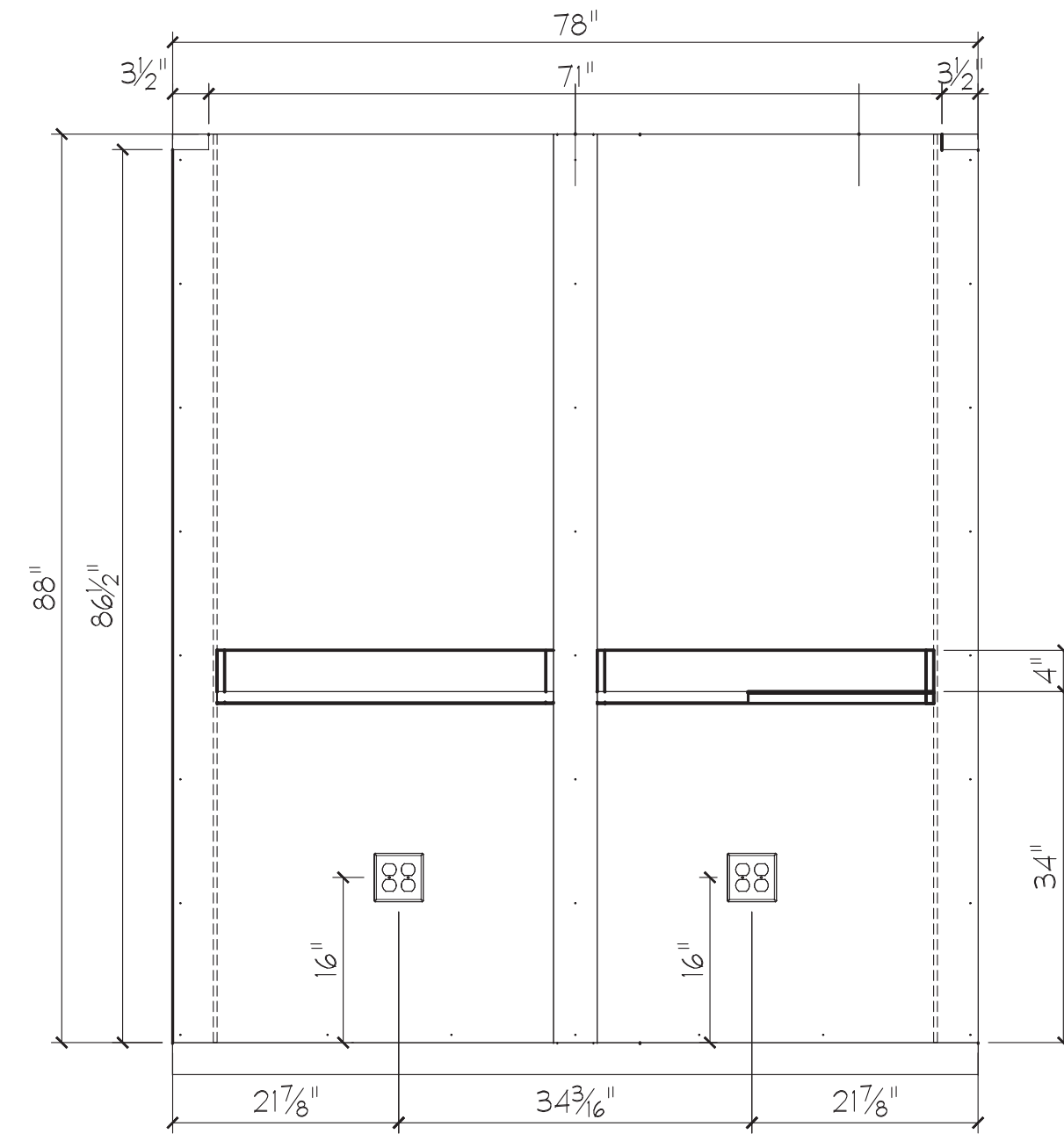
RELEASED

P:\884024\0201_6672\6672-02C.dwg, 6/2/2021 10:37:49 AM, TJSher, Auburnville Eng.

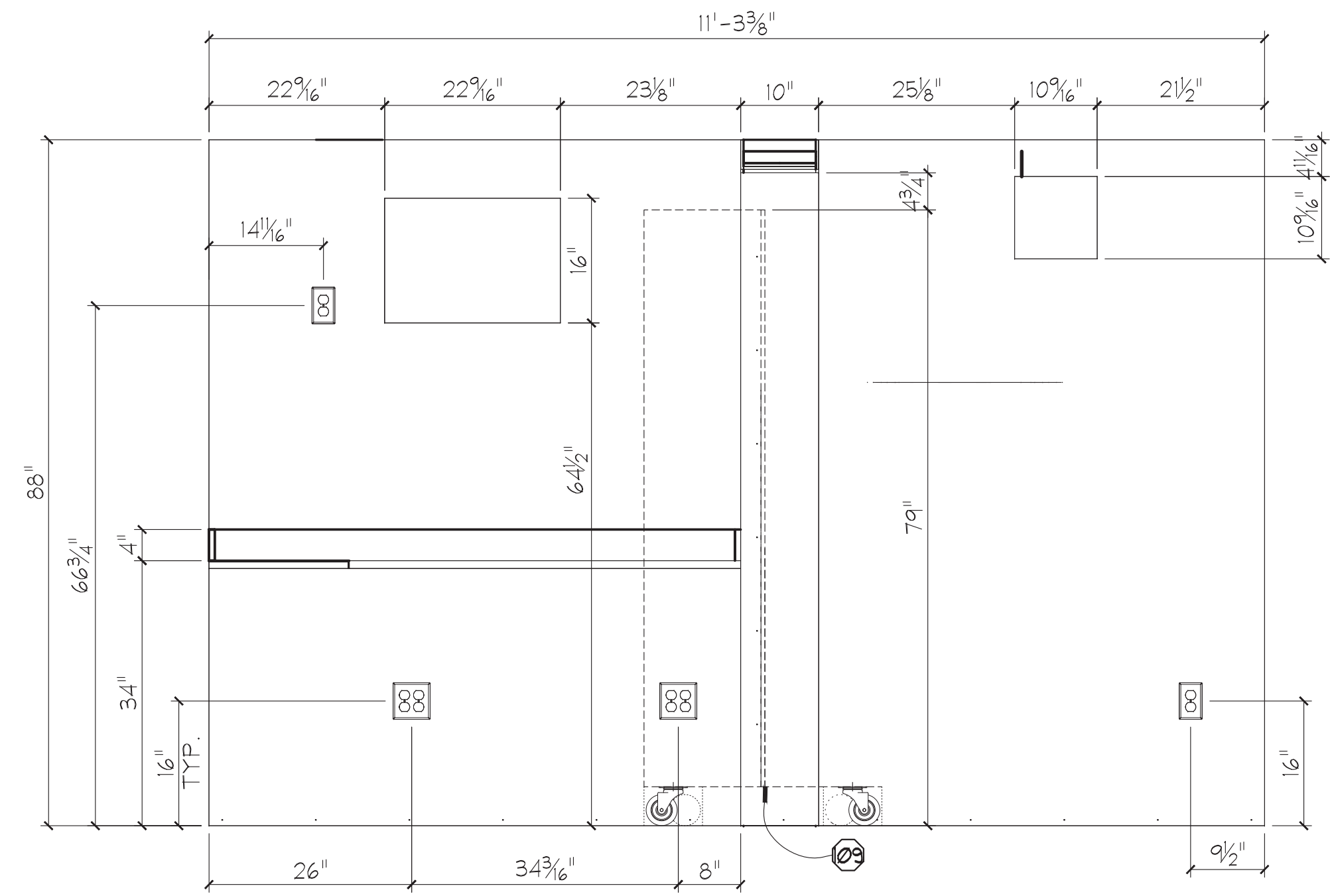
ISSUE DATE: 06.1.2020



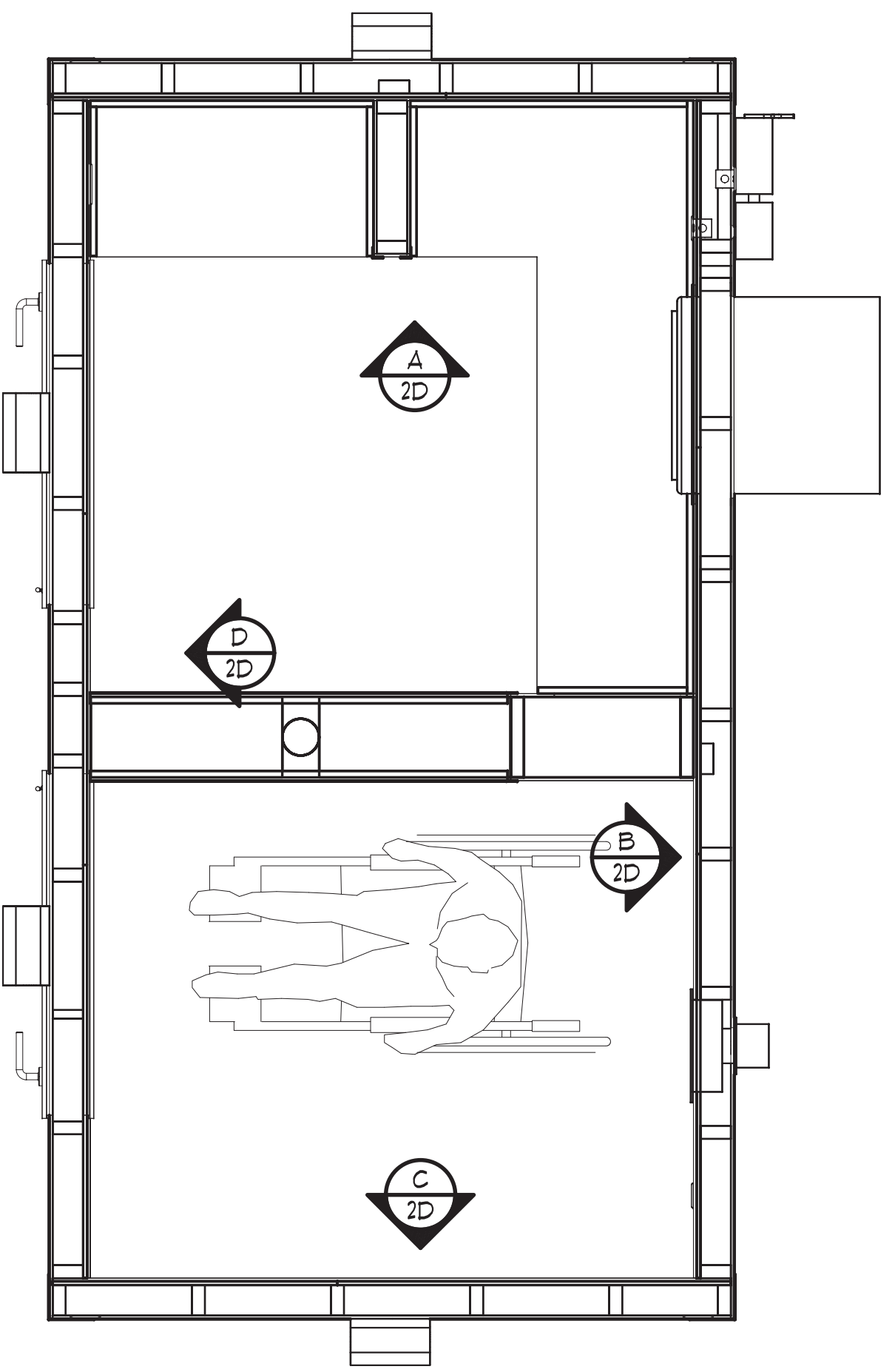
REFLECTED CEILING
SCALE: 3/4" = 1'-0"



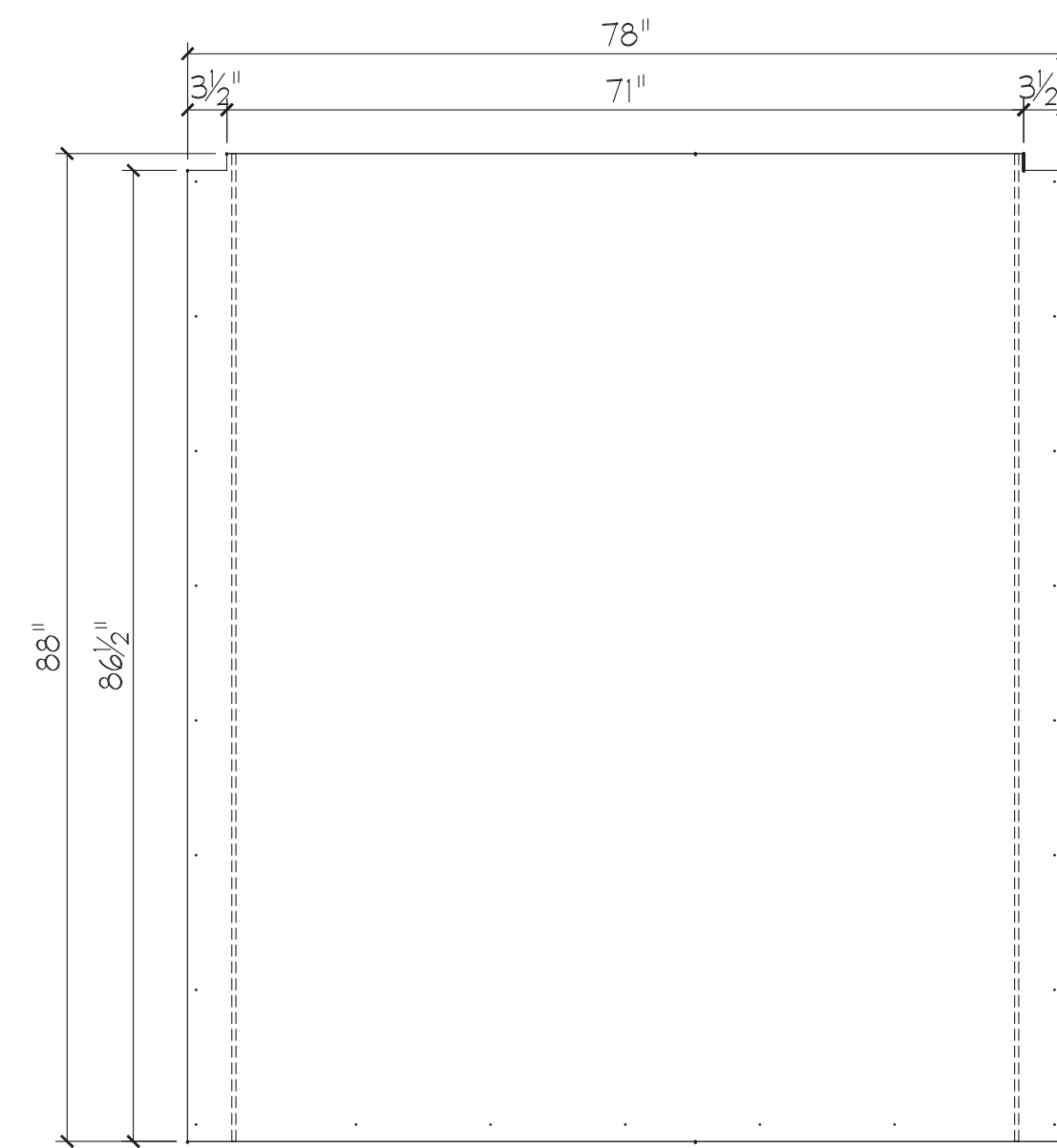
ELEV - A
SCALE: 3/4" = 1'-0"



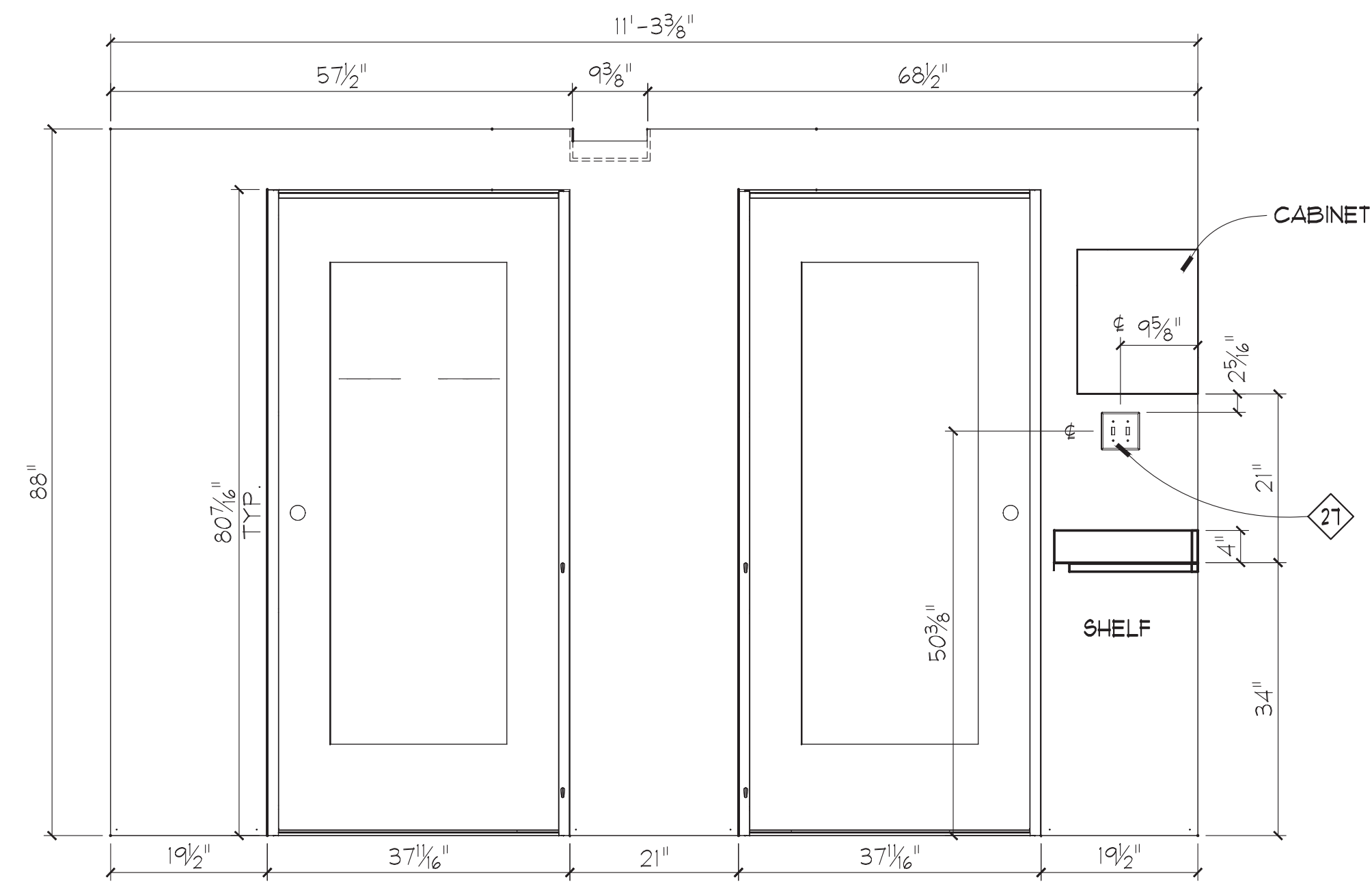
ELEV - B
SCALE: 3/4" = 1'-0"



PLAN VIEW
SCALE: 3/4" = 1'-0"

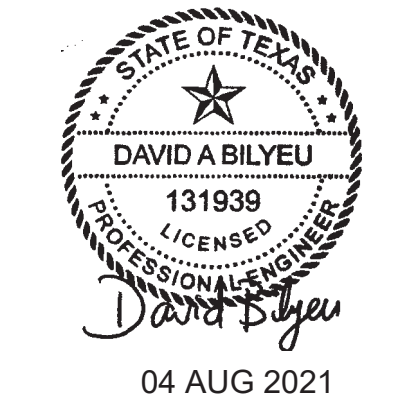


ELEV - C
SCALE: 3/4" = 1'-0"



ELEV - D
SCALE: 3/4" = 1'-0"

KEYNOTING SCHEDULES		
HARDWARE SCHEDULE		
MARK	MFG. CAT. NO.	DESCRIPTION
(109)	CVS1009871	ROOM DIVIDER
ELECTRICAL SCHEDULE		
MARK	MFG. CAT. NO.	DESCRIPTION
(17)		OCTO BOX
(23)	77705	LegendPass&Seymour Shallow Direct Mount Ceiling Box
(27)	TSDCL303PW	LEGRAND TOG SLIDE DIM SWITCH



04 AUG 2021

H	REVISED SET	TS	10/10/20
MARK	ISSUED FOR / REVISION	BY	DATE
REVISED			
CLIENT CODE	884024	TOTAL UNITS REQ'D	1
DO NOT SCALE DRAWINGS			

GENERAL NOTE
This drawing is the property of, and contains design data which is proprietary to George P. Johnson. Reproduction, use, or transfer of this drawing, or any information contained herein, to others, except as specifically authorized in connection with this project only, is NOT permitted without written approval of George P. Johnson.
COPYRIGHT 2021 GEORGE P. JOHNSON



CLIENT	CVS HEALTH
PROJECT	TESTING BOOTH BUILD TN FA
ELEMENT	TESTING KIOSK
DRAWING	INTERIOR WALL ELEVATIONS
SHEET NO.	

APPROVALS					
EST.	DESIGN	SALES	PRODUCTION	STRUCTURAL	
DT	DT	DT	DA	DB	

FABRICATION LOCATION	NASHVILLE	CONTAINER	LOOSE
USAGE	TO BE SHIPPED OVERSEAS?: NO	CAN ELEMENT BE USED IN CA:	YES
DRAWING NO.	6672-02D	DRAWN	JG
		APPR	DB
		APPR DATE	10/2/20

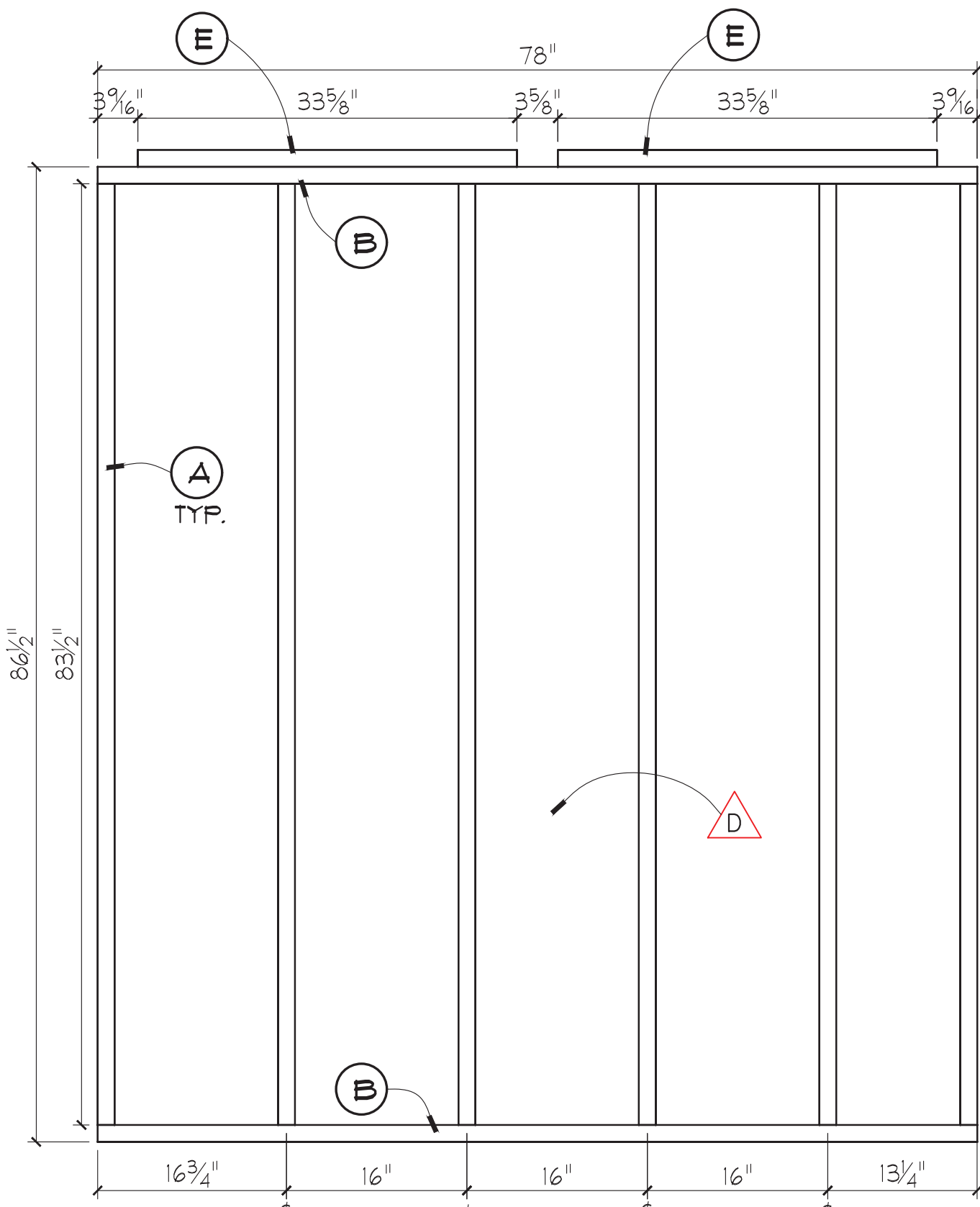
SHOP ORDER NO. **10006338**

APPROVED FOR FINAL ENGINEERING								DATE:
Sales	Design	Estim.	Prod.	Struct.	Engin.	E.S.	Shop	

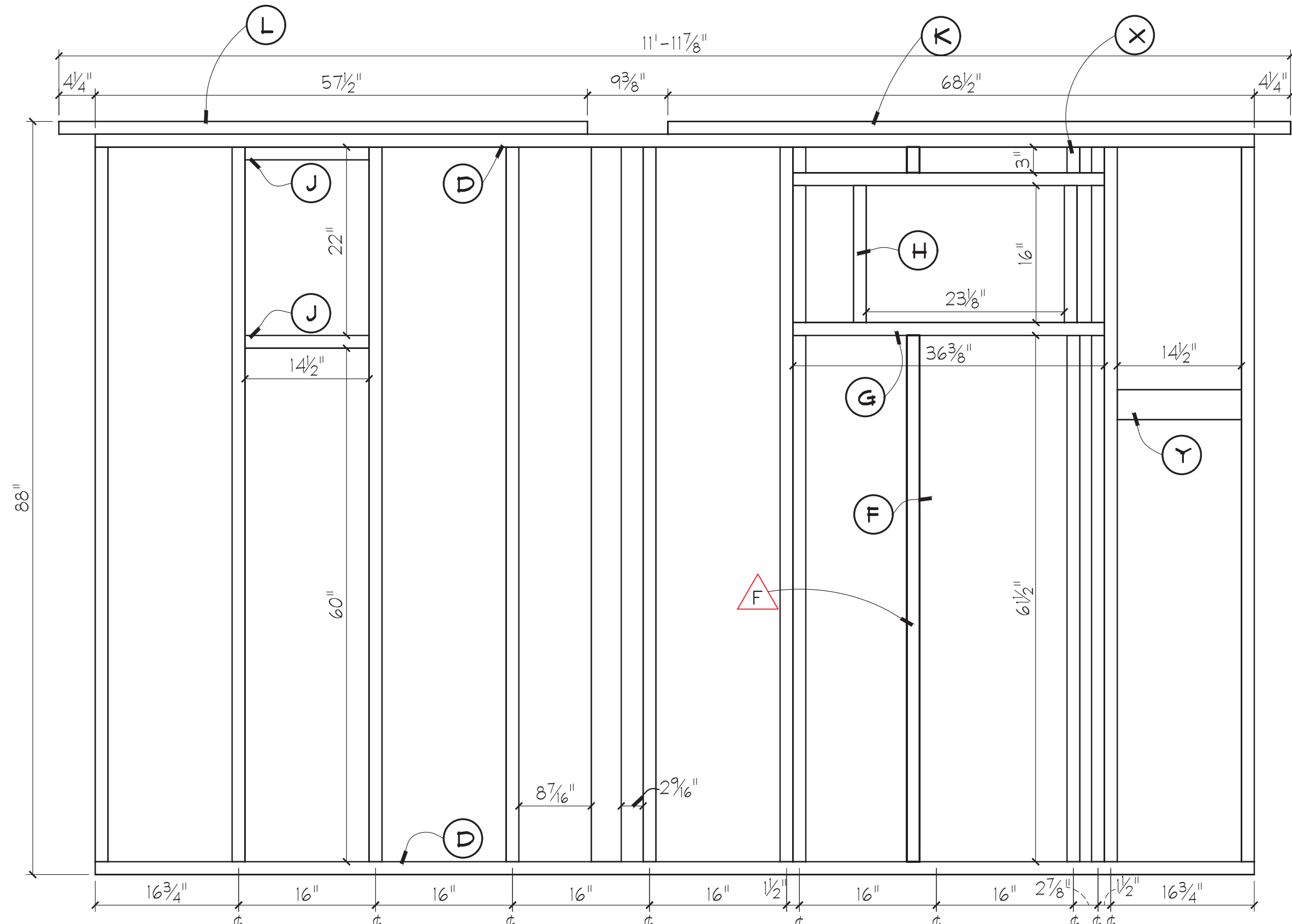
RELEASED

P:\884024\02D\6672\6672-02D.dwg, 6/2/2021 10:31:55 AM, TSKW, Auburn Hill, Png

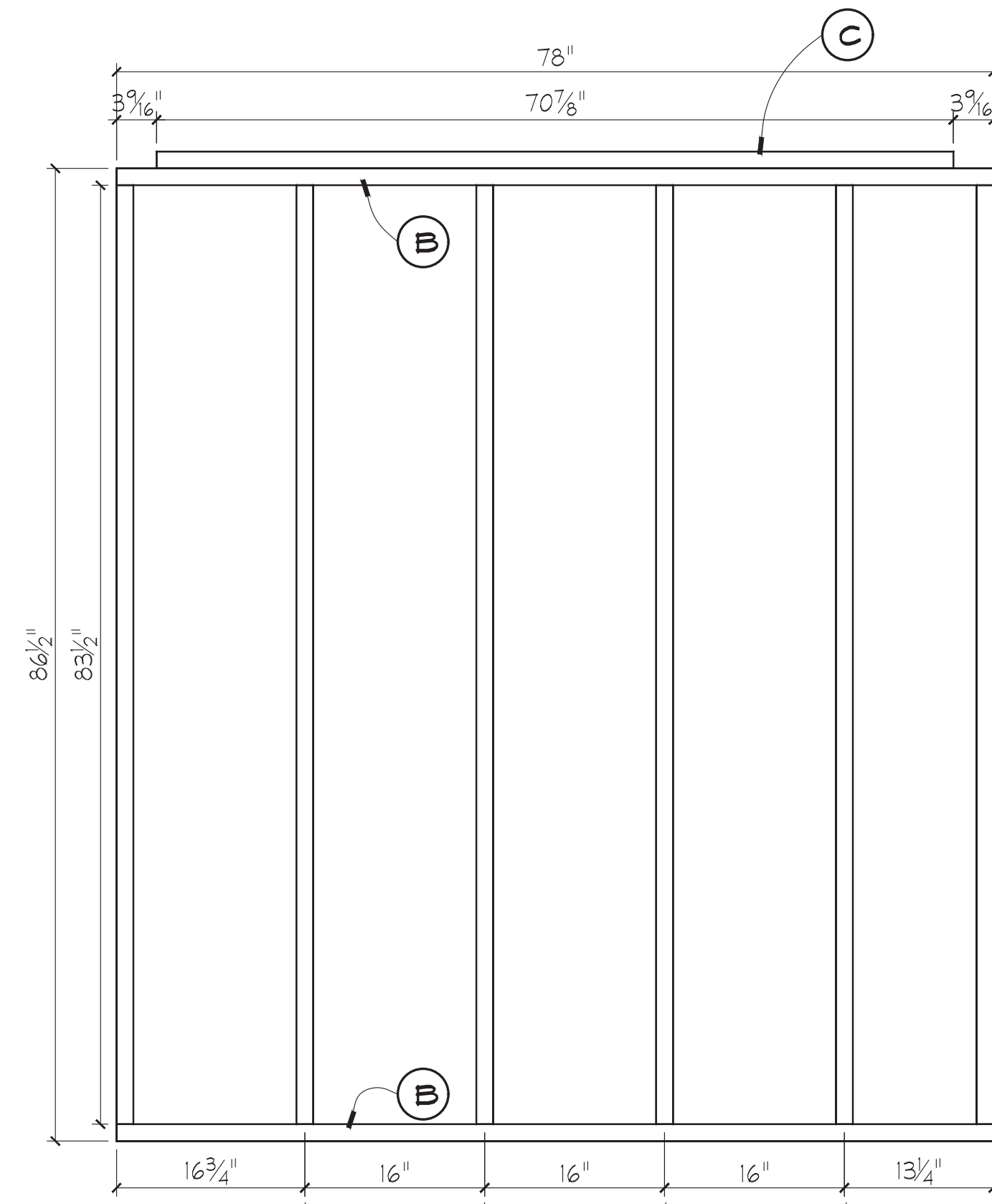
ISSUE DATE: 04.1.2021



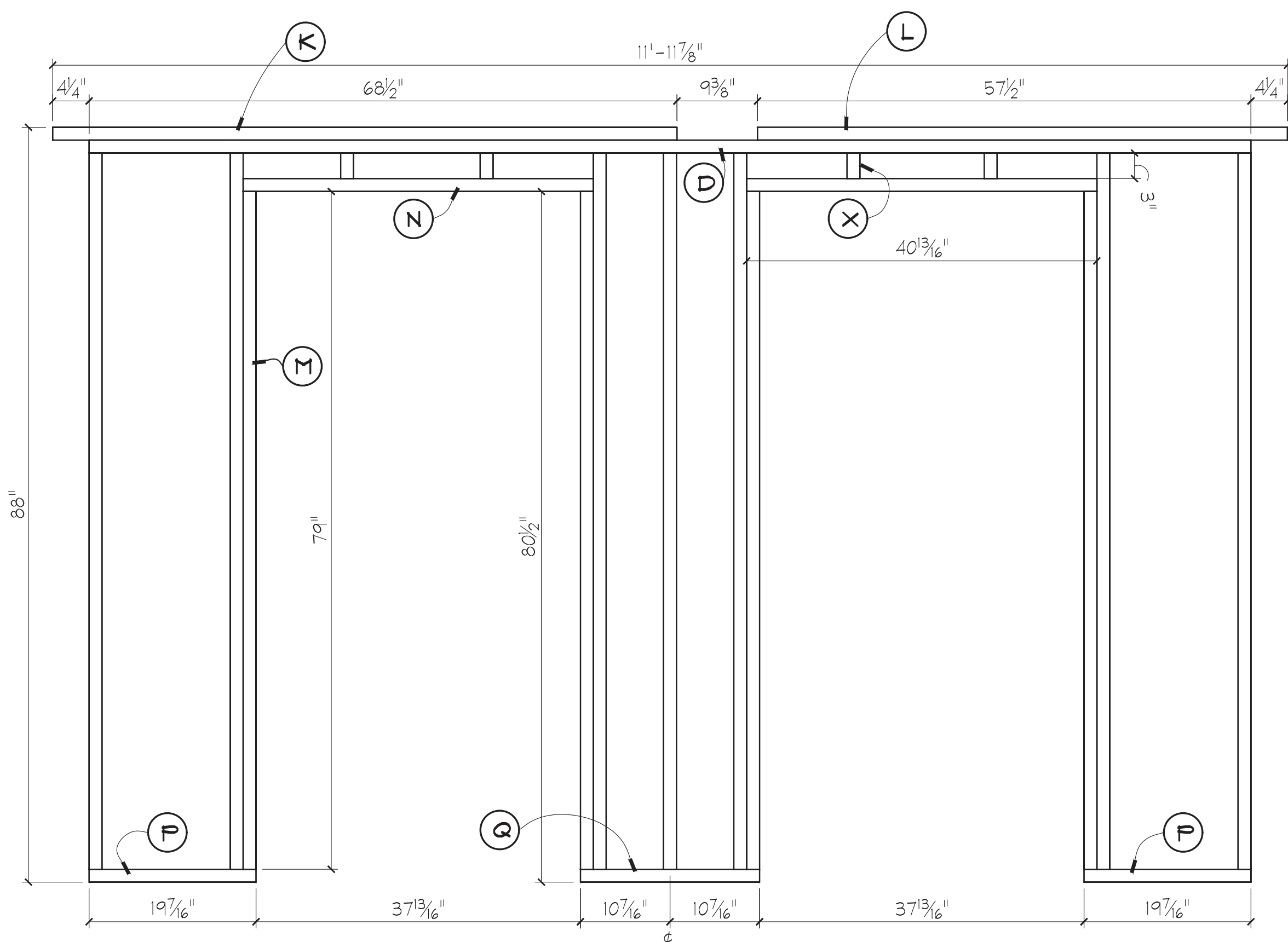
KIOSK WALL - A
SCALE: 1" = 1'-0"
F-001



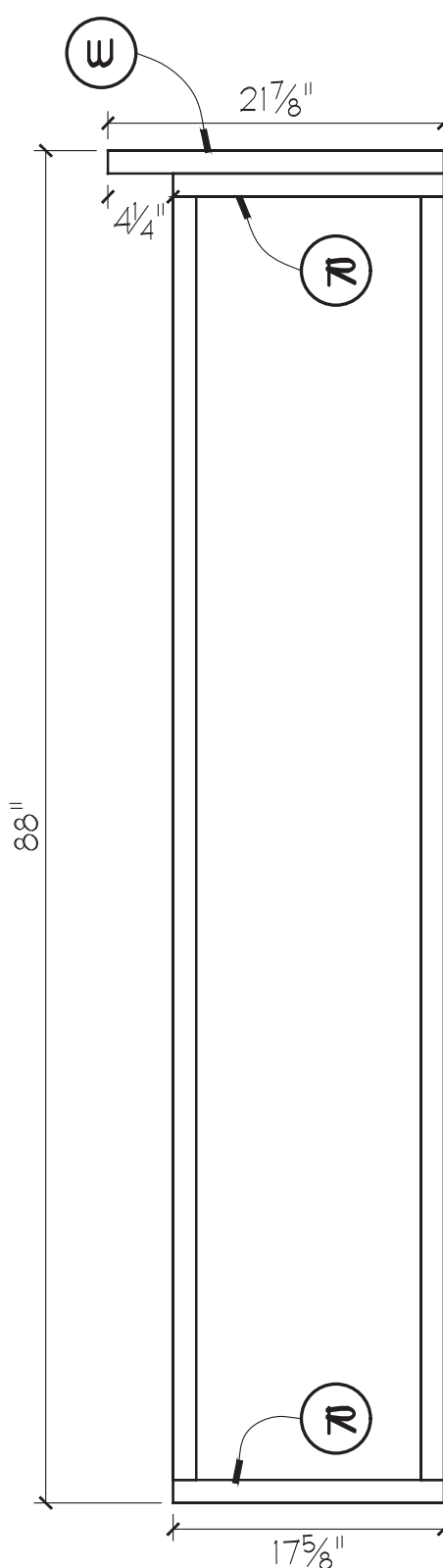
KIOSK WALL - B
SCALE: 1" = 1'-0"
F-002



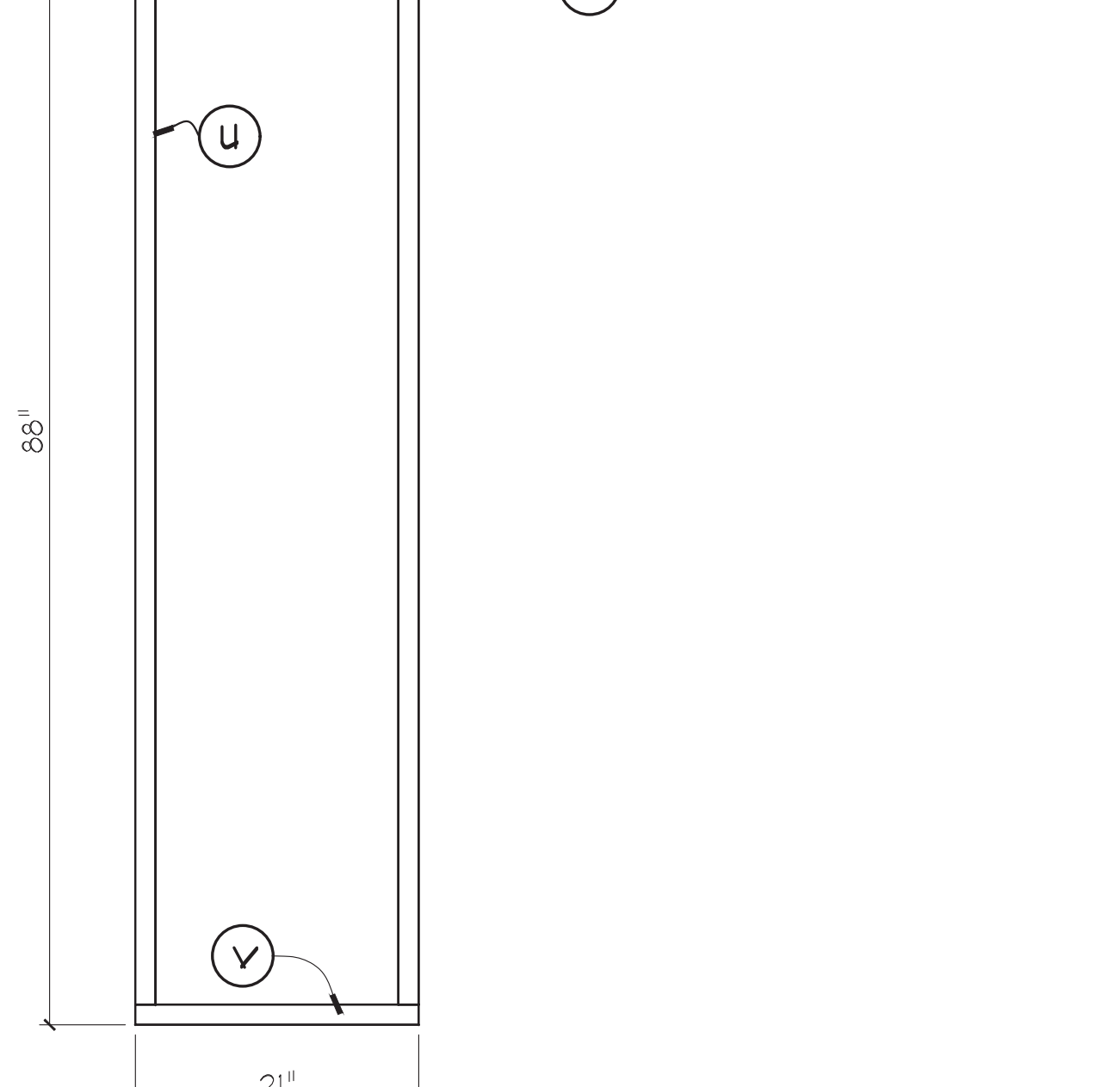
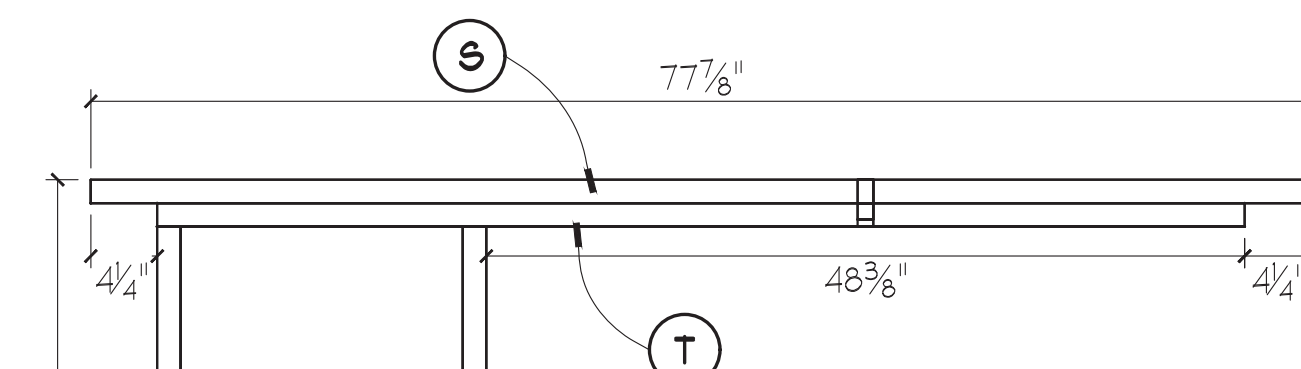
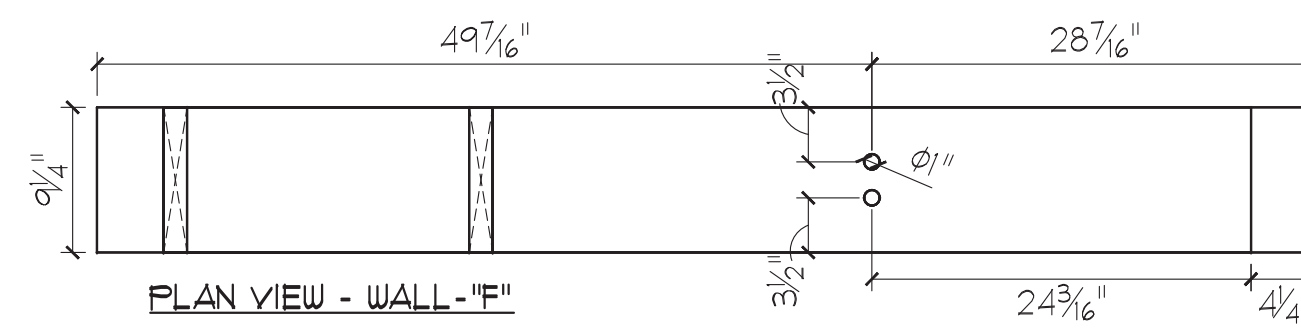
KIOSK WALL - C
SCALE: 1" = 1'-0"
F-003



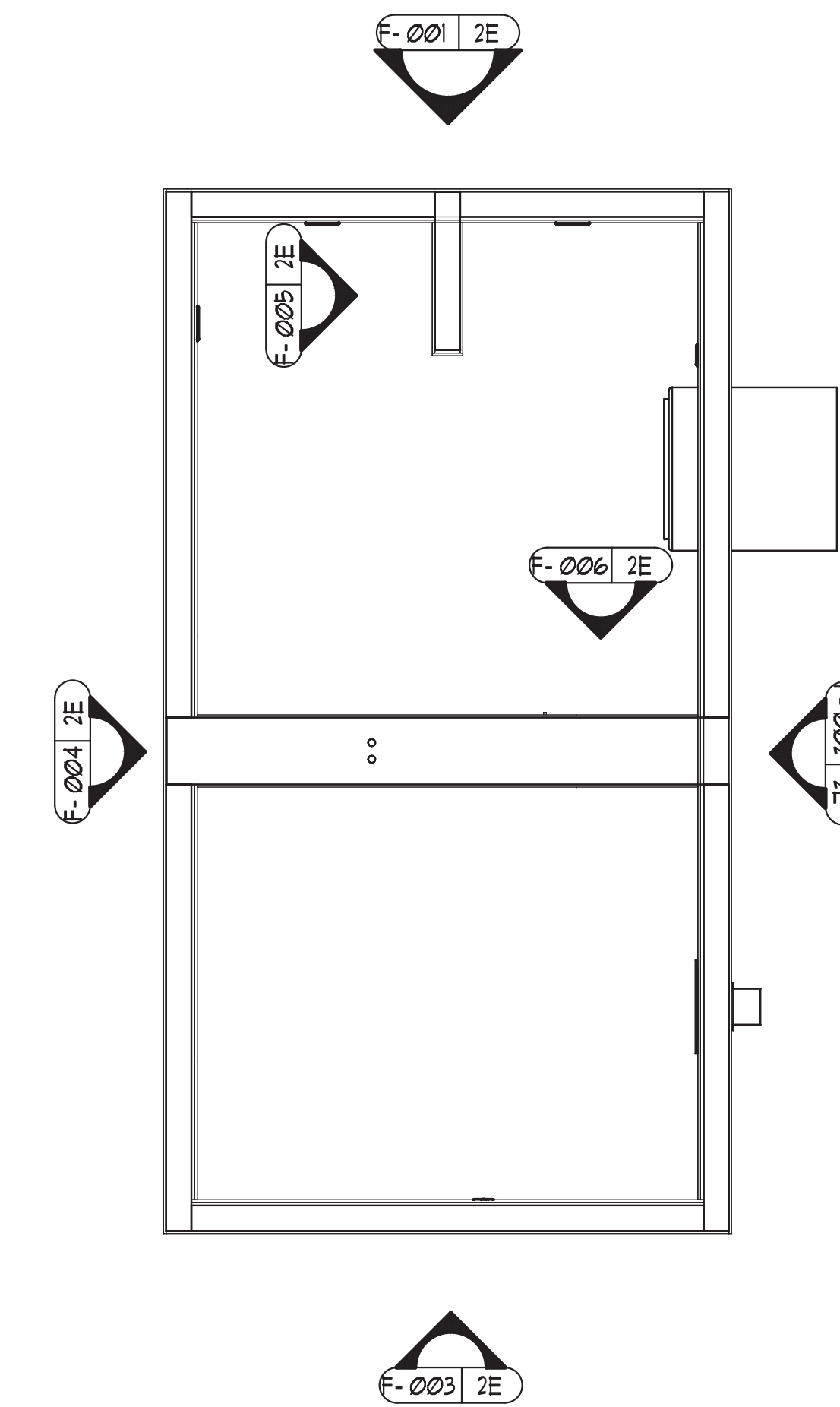
KIOSK WALL - D
SCALE: 1" = 1'-0"
F-004



KIOSK WALL - E
SCALE: 1" = 1'-0"
F-005



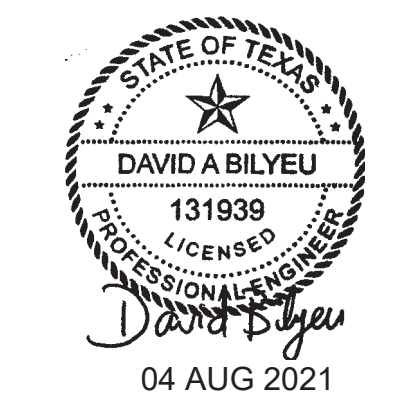
KIOSK WALL - F
SCALE: 1" = 1'-0"
F-006



KEYNOTING SCHEDULES
FABRICATED PARTS SCHEDULE
(QUANTITIES LISTED ARE FOR ONE ELEMENT)

MARK	QTY. REQD.	SOURCE	DESCRIPTION
F-001	1	GPJ	KIOSK WALL - A
F-002	1	GPJ	KIOSK WALL - B
F-003	1	GPJ	KIOSK WALL - C
F-004	1	GPJ	KIOSK WALL - D
F-005	1	GPJ	KIOSK WALL - E
F-006	1	GPJ	KIOSK WALL - F

SEE CUT LIST
ON SHEET 02K



F	STUD SHIFT	JG	10/07/20
D	STUD REMOVED	JG	10/07/20
MARK	ISSUED FOR / REVISION	BY	DATE
REVISED		TOTAL UNITS REQD	
STENCILING		1	
CLIENT CODE		884024	
DO NOT SCALE DRAWINGS			

GENERAL NOTE
This drawing is the property of, and contains design data which is proprietary to George P. Johnson. Reproduction, use, or transfer of this drawing, or any information contained herein, to others, except as specifically authorized in connection with this project only, is NOT permitted without written approval of George P. Johnson.
COPYRIGHT 2020 GEORGE P. JOHNSON



CLIENT		CVS HEALTH	
PROJECT		TESTING BOOTH BUILD TN FA	
ELEMENT		TESTING KIOSK	
DRAWING		FRAMING SCHEDULE	
SHEET NO.			

APPROVALS			
EST.	DESIGN	SALES	PRODUCTION
DT	DT	DT	DA
			DB

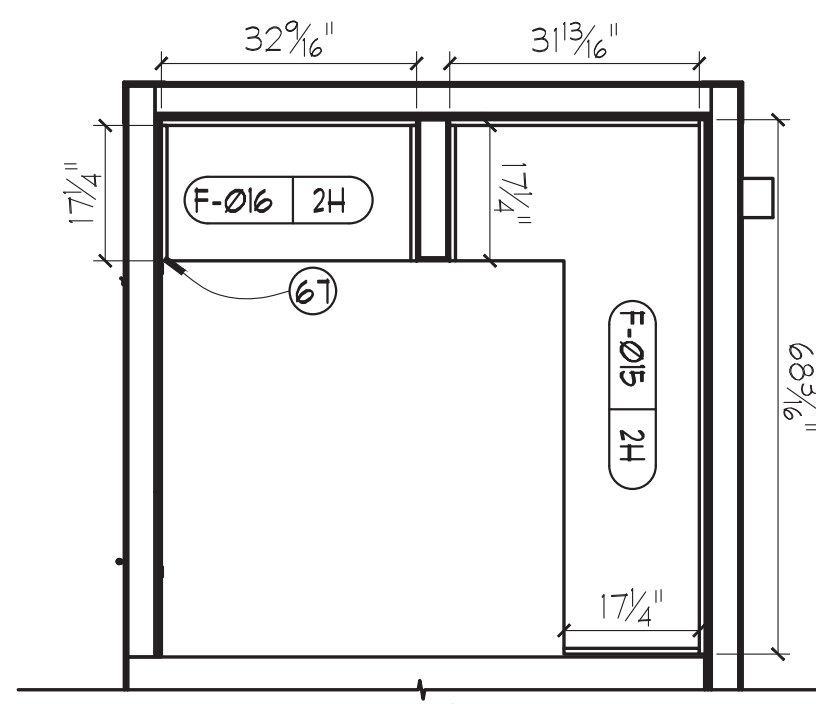
FABRICATION LOCATION		CONTAINER	
NASHVILLE		LOOSE	
USAGE		TO BE SHIPPED OVERSEAS?: NO	
		CAN ELEMENT BE USED IN CA: YES	
DRAWING NO.	DRAWN	APPR	APPRO DATE
6672-02E	JG	DB	10/2/20

SHIP ORDER NO. **10006338**

RELEASED

P:\884024\0201_6672\6672-02E.dwg, 6/2/2021 10:38:03 AM, TShaw, Auburn Hill Eng.

ISSUE DATE: 04.2.2020

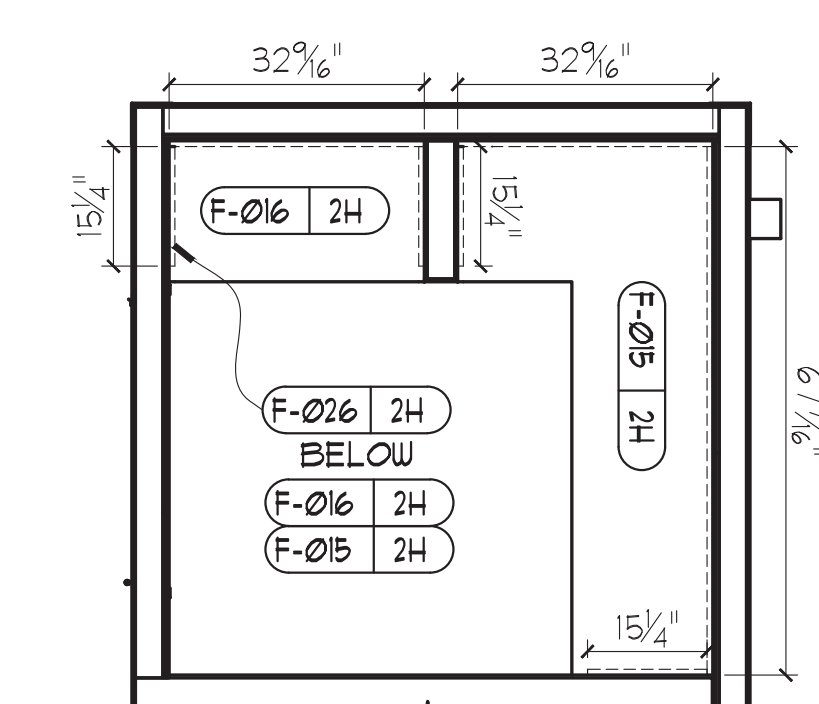


PLAN VIEW



PER PLAN VIEW

KIOSK BACKSPASH
SCALE: 1/2" = 1'-0" FAB-023 **F-023**

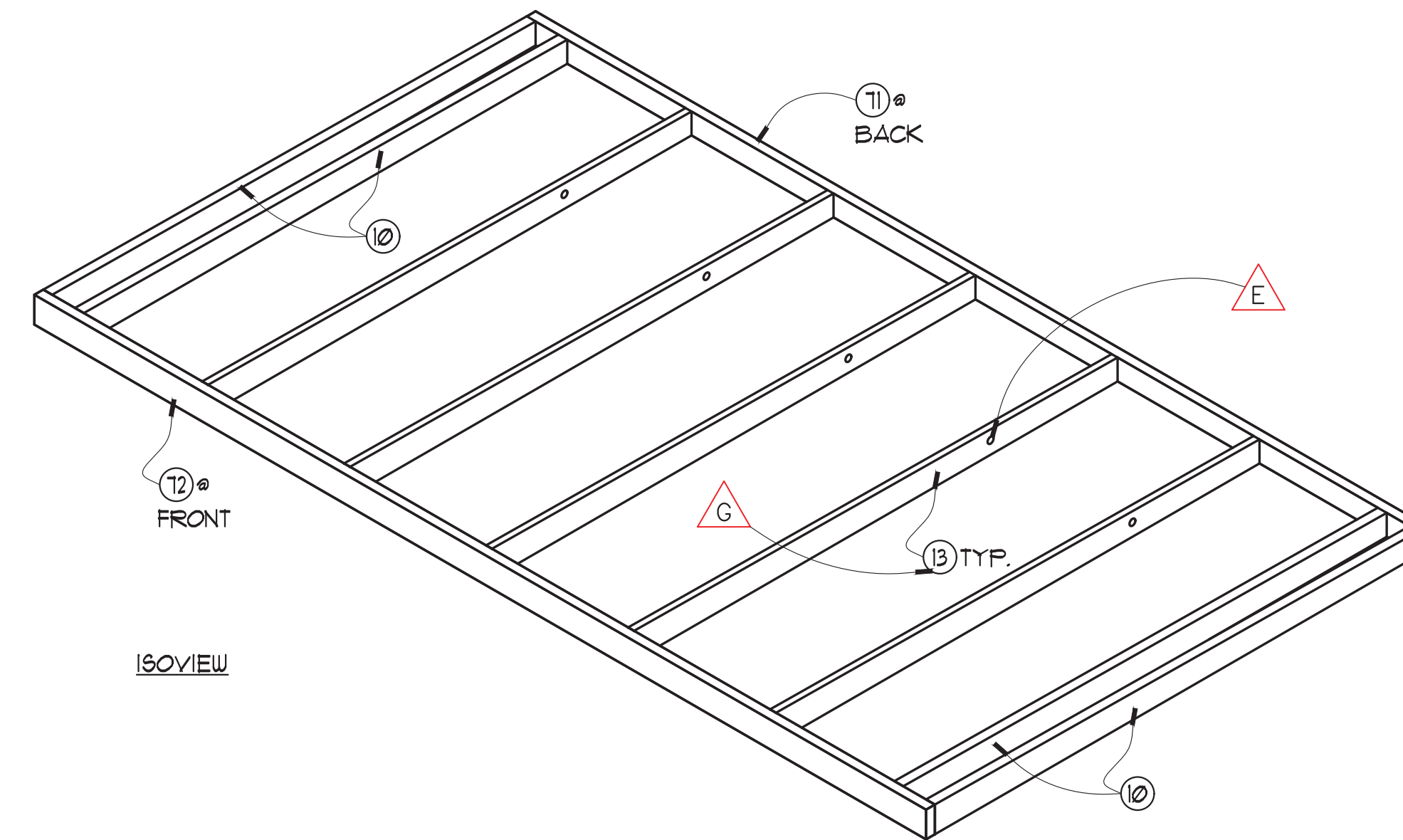


PLAN VIEW

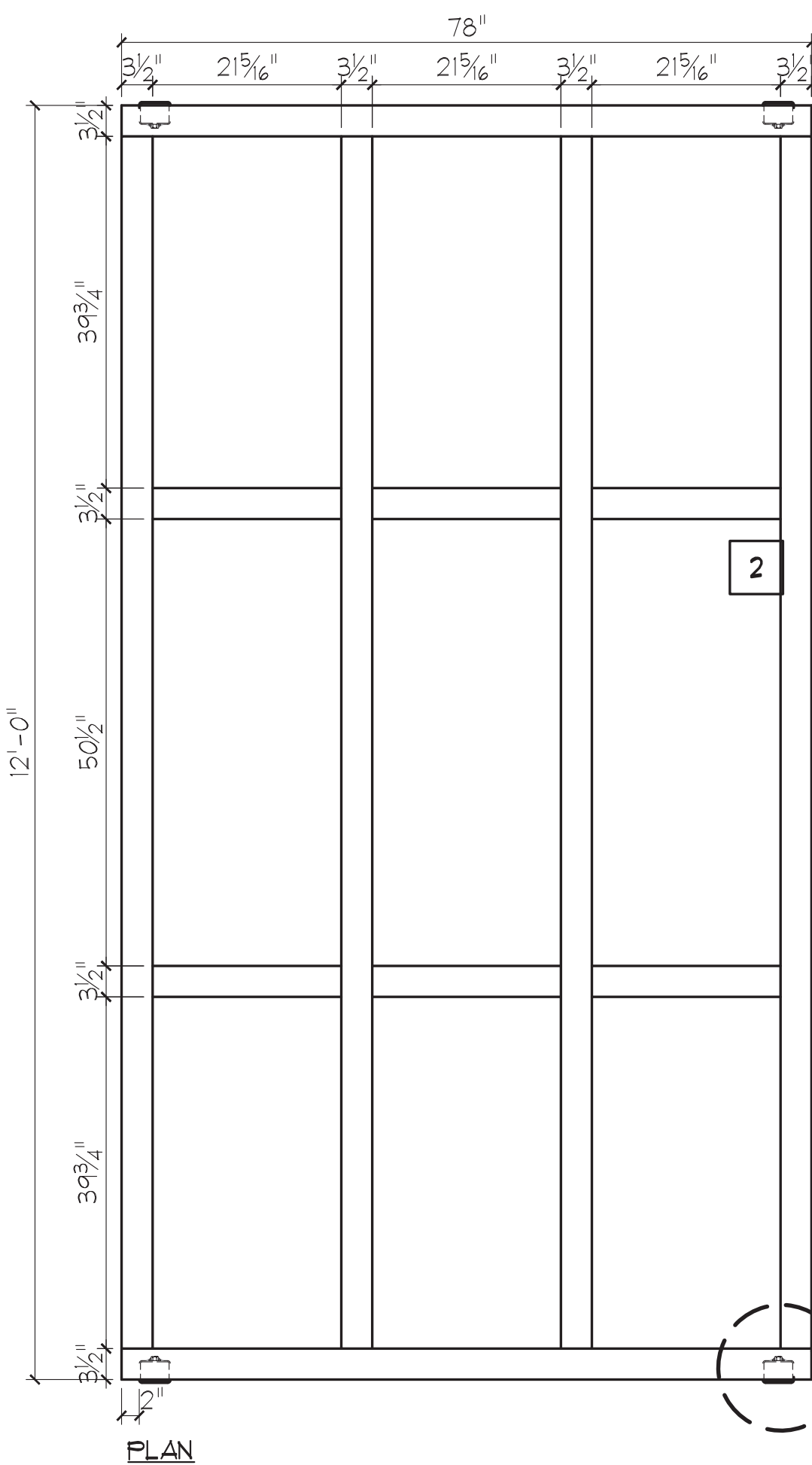


PER PLAN VIEW

STEEL SHELF LEDGER
SCALE: 1/2" = 1'-0" FAB-031 **F-031**



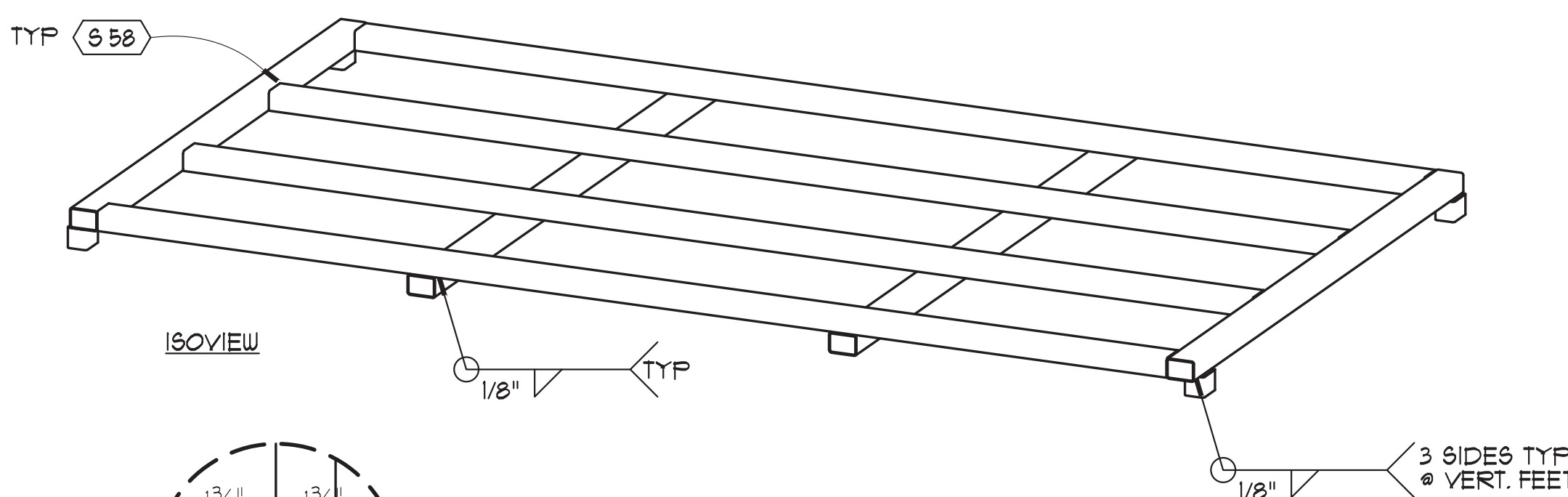
ISOVIEW



PLAN

KIOSK STEEL FRAME
SCALE: 3/4" = 1'-0" FAB-001 **F-001**

STEEL TUBE CUT LIST			
ID	NAME	LENGTH	QTY. PER UNIT
1	§ 58	11'-5"	4
2	§ 58	6'-6"	4
3	§ 58	0'-2 1/2"	4



ISOVIEW

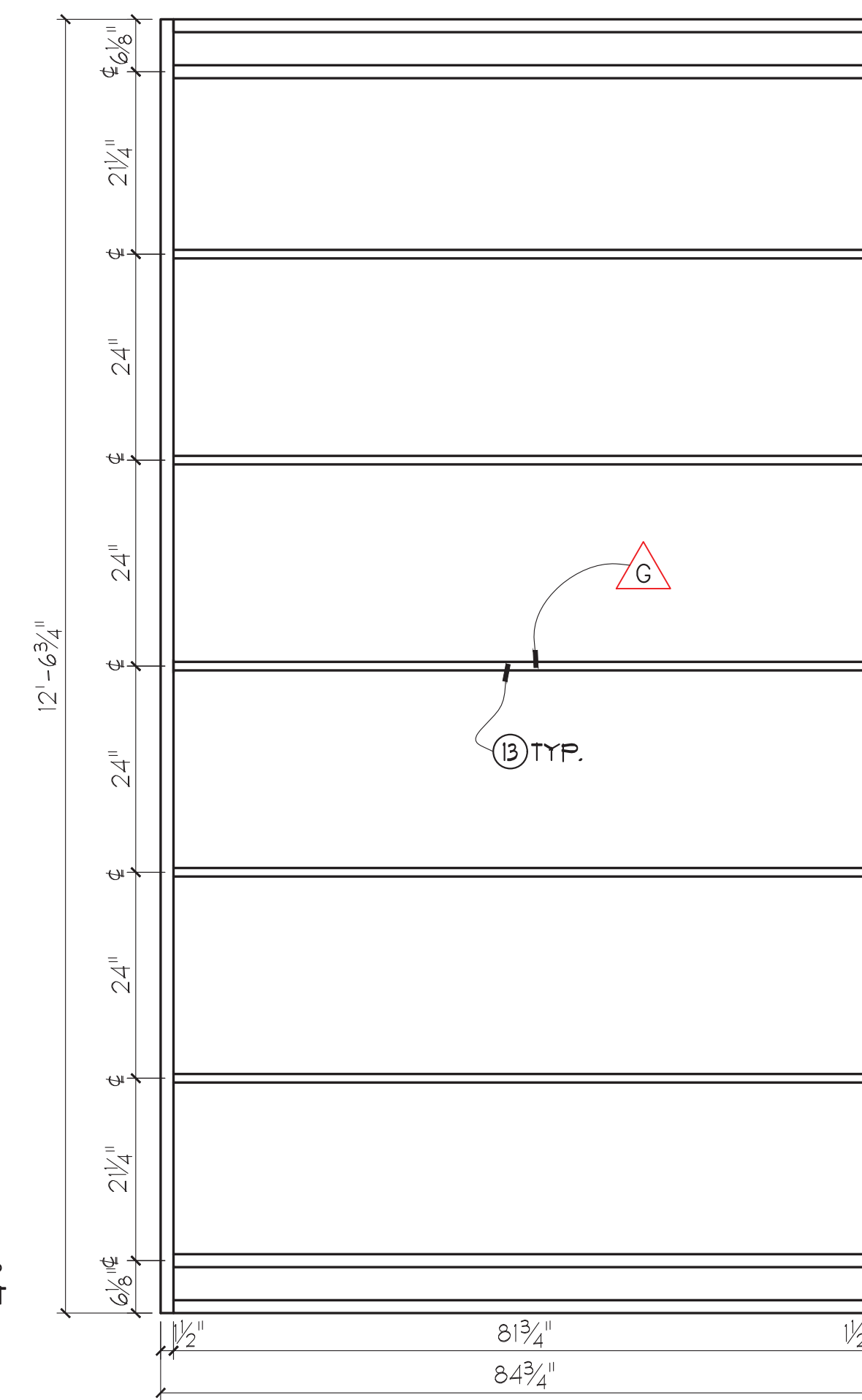
PLAN

4 CORNERS TYP.

1/4" TYP (WELD AS REQ'D)

1/8" TYP (WELD AS REQ'D)

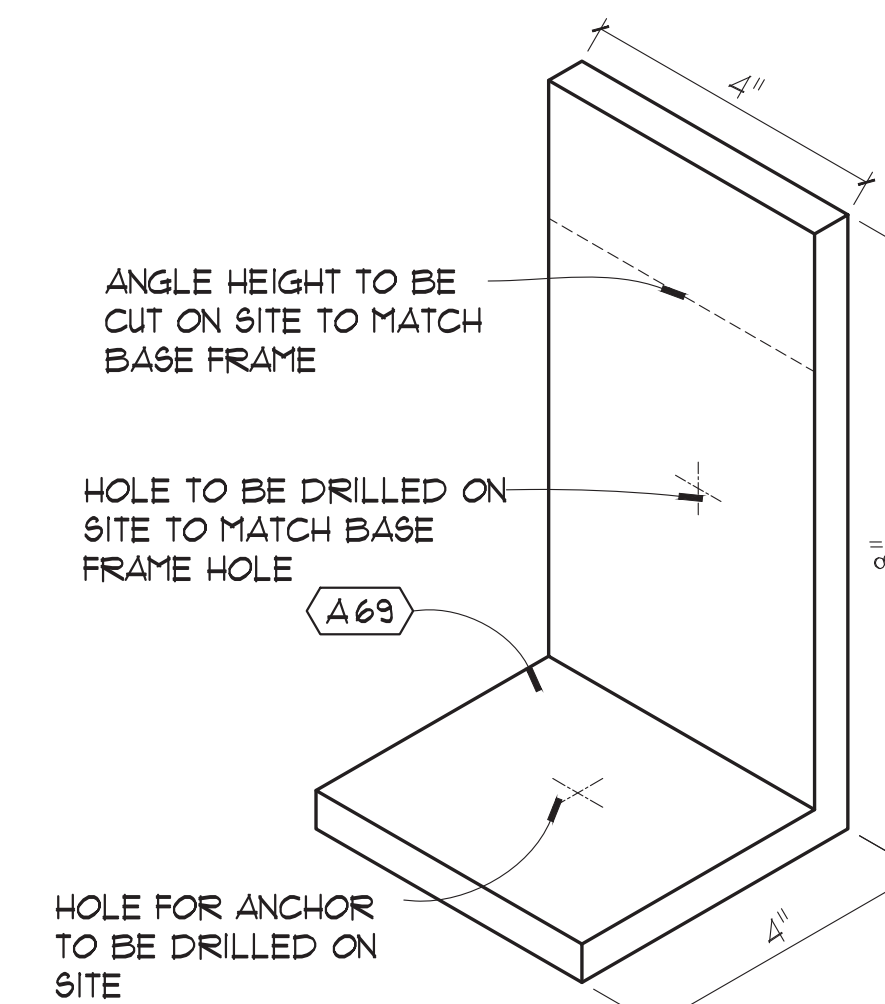
1/4" TYP (WELD AS REQ'D)



PLAN

SIDE

KIOSK CEILING FRAME
SCALE: 3/4" = 1'-0" FAB-014 **F-014**



HOLD DOWN BRACKET
SCALE: 6" = 1'-0" FAB-013 **F-013**

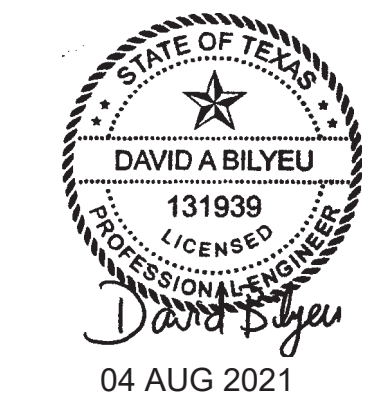
KEYNOTING SCHEDULES

MATERIAL SCHEDULE		
MARK	MFG. CAT. NO.	DESCRIPTION
08		3/4" Plywood
10		1-1/2" thk. Plywood
13		1" Birch Plywood
67		GRAY MELAMINE
71		2x4x14ft
72		2x6x14ft

HARDWARE SCHEDULE		
MARK	MFG. CAT. NO.	DESCRIPTION
65		Weld-nut

METAL SCHEDULE		
MARK	DESCRIPTION	
A 68	ALUM ANGLE- 4"x8"x3/8" thk.	
S 58	STEEL TUBE- 2.5"x3.5"x1/8" wall	

FABRICATED PARTS SCHEDULE (QUANTITIES LISTED ARE FOR ONE ELEMENT)			
MARK	QTY. REQ'D	SOURCE	DESCRIPTION
F-007	1	GPJ	KIOSK STEEL FRAME
F-013	4	GPJ	HOLD DOWN BRACKET
F-014	1	GPJ	KIOSK CEILING FRAME
F-015	1	GPJ	SS COUNTER - A
F-016	1	GPJ	SS COUNTER - B
F-023	1	GPJ	KIOSK BACKSPASH
F-026	1	GPJ	STEEL SHELF LEDGER



G	1" PLYWOOD RAFTER	JG	10/08/20
E	SLOTS REDUCED TO HOLES	JG	10/07/20

MARK	ISSUED FOR / REVISION	BY	DATE
REVISED			
CLIENT CODE	884024	TOTAL UNITS REQ'D	1
DO NOT SCALE DRAWINGS			

GENERAL NOTE
This drawing is the property of, and contains design data which is proprietary to George P. Johnson. Reproduction, use, or transfer of this drawing, or any information contained herein, to others, except as specifically authorized in connection with this project only, is NOT permitted without written approval of George P. Johnson.
COPYRIGHT 2020 GEORGE P. JOHNSON



APPROVALS			
EST.	DESIGN	SALES	PRODUCTION
DT	DT	DT	DA
			DB

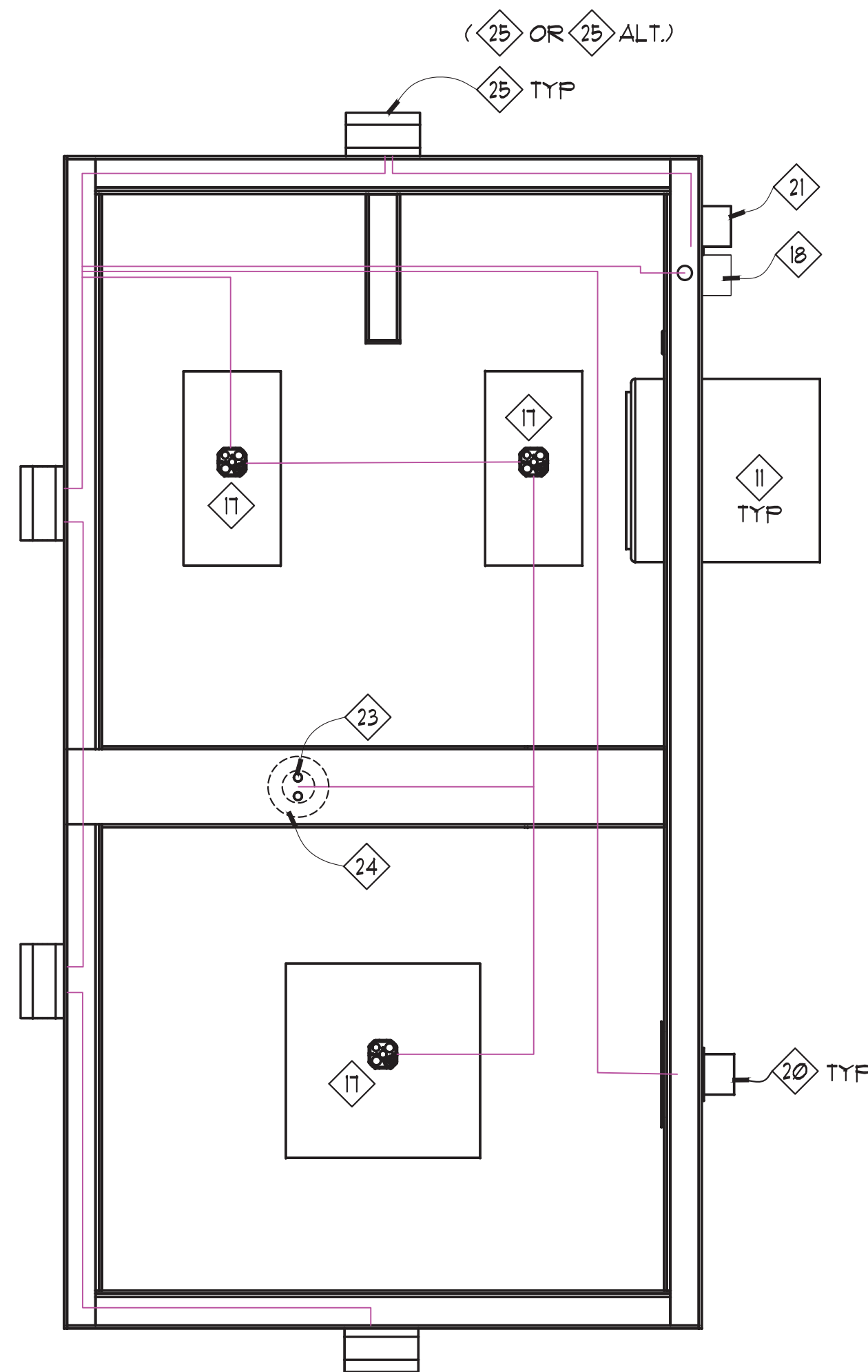
FABRICATION LOCATION		CONTAINER	
NASHVILLE		LOOSE	
USAGE TO BE SHIPPED OVERSEAS? NO			
CAN ELEMENT BE USED IN CAYES			
DRAWING NO.	DRAWN	APPR	APPR DATE
6672-02F	JG	DB	10/2/20

SHOP ORDER NO. **10006338**

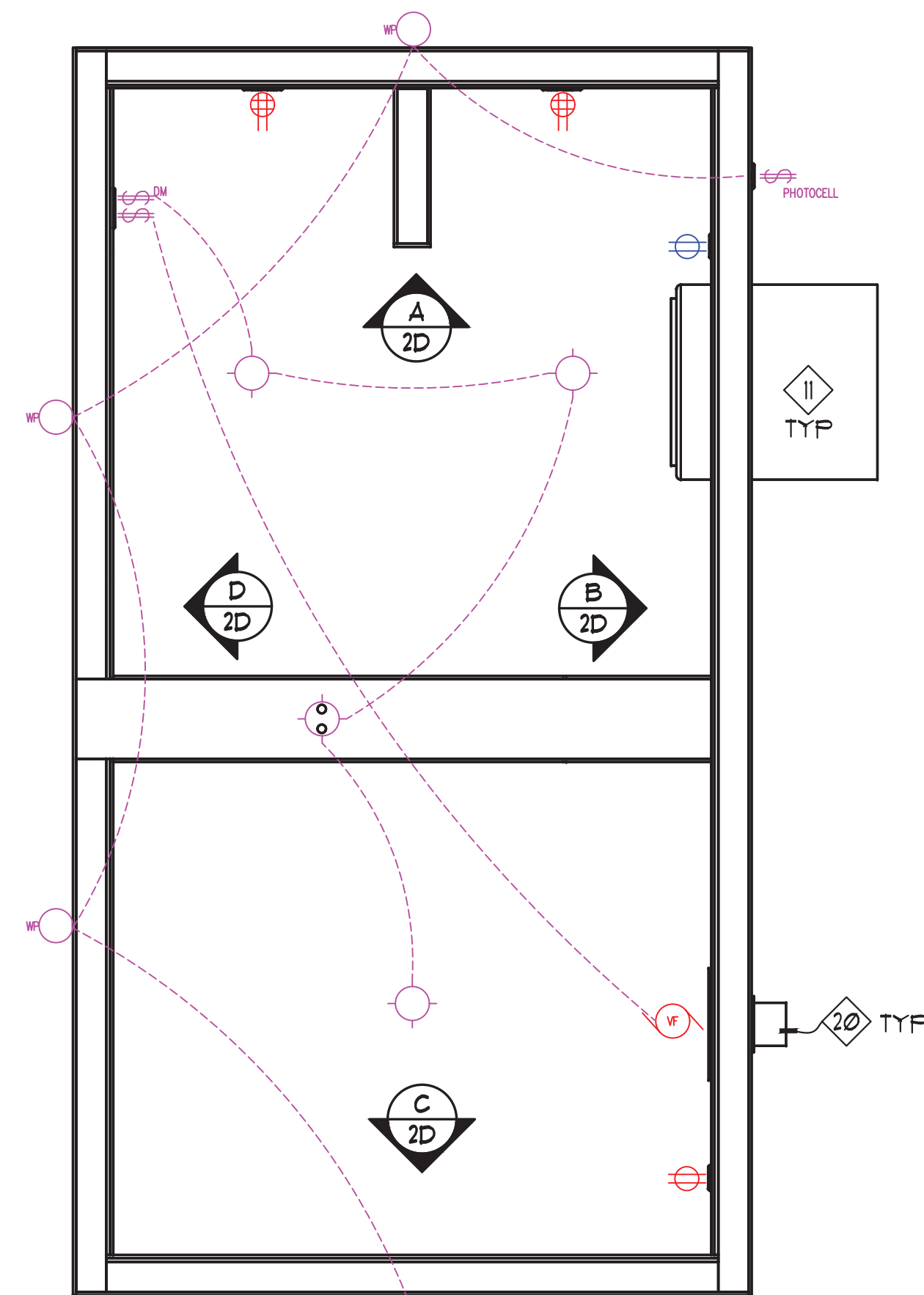
APPROVED FOR FINAL ENGINEERING DATE:						
Sales	Design	Estim.	Prod.	Struct.	Engh.	E.S.

RELEASED

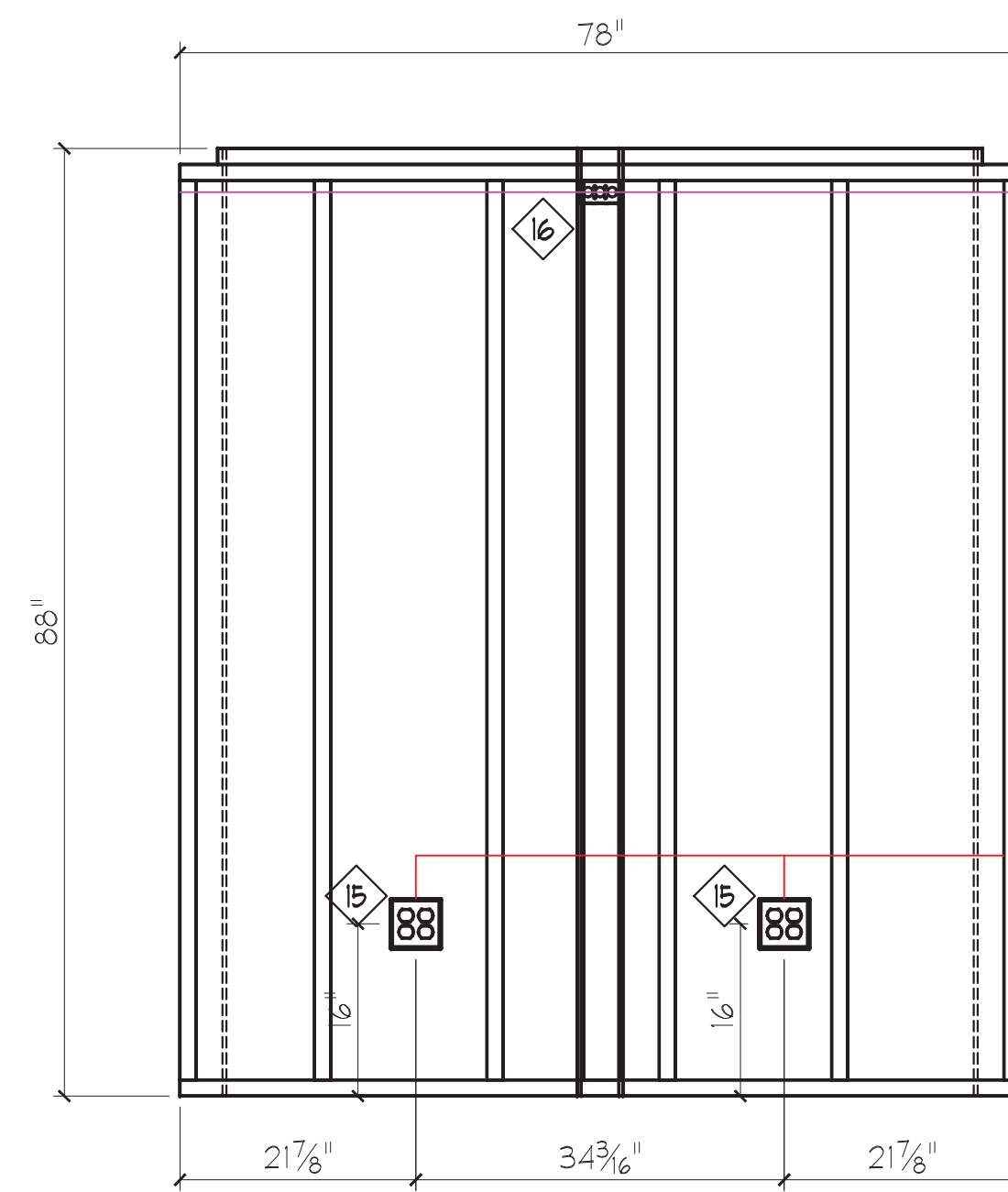
ISSUE DATE: 02.2021



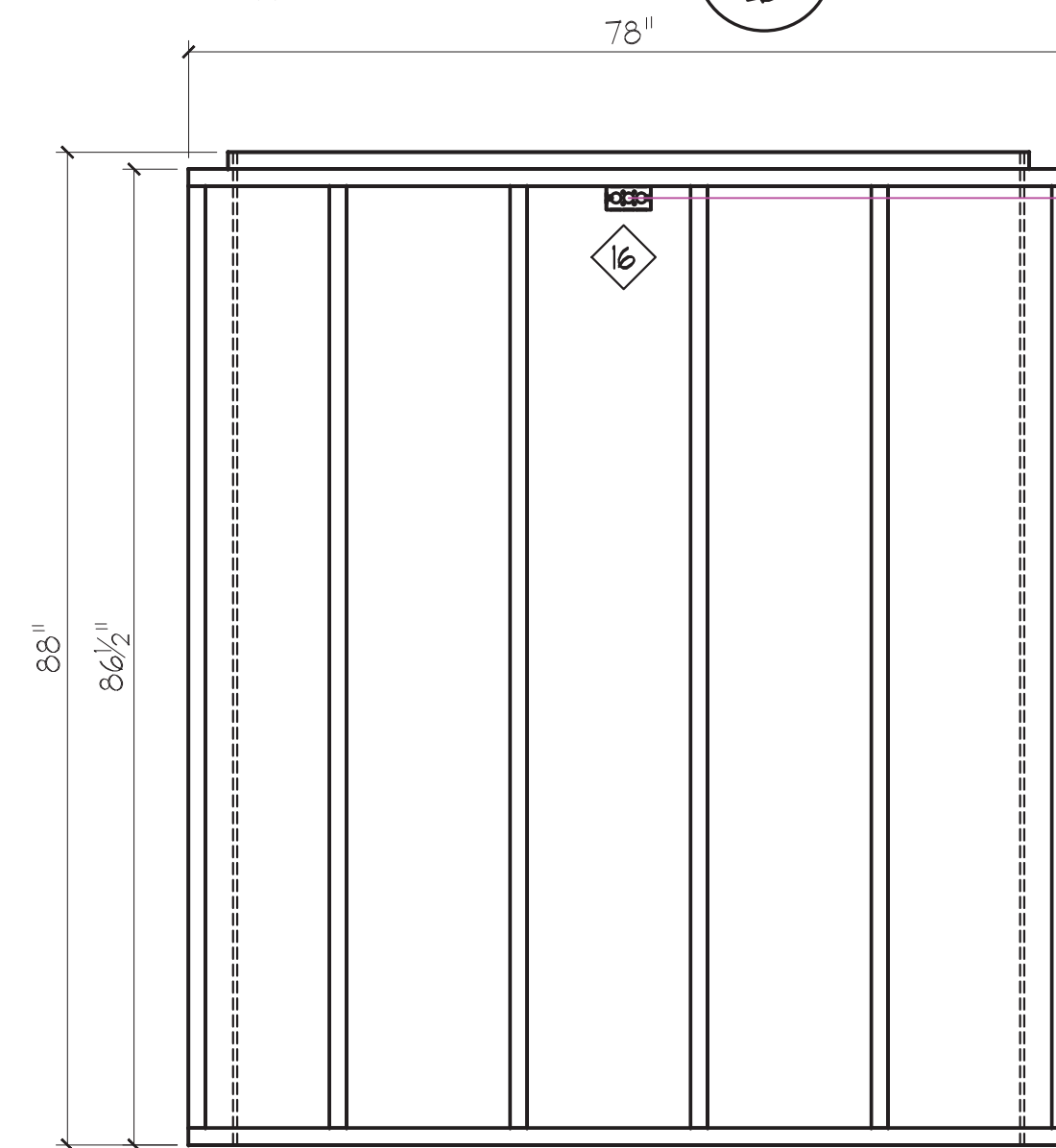
REFLECTED-CEILING
SCALE: 3/4"=1'-0"



PLAN
SCALE: 3/4"=1'-0"



ELEV-A
SCALE: 3/4"=1'-0"



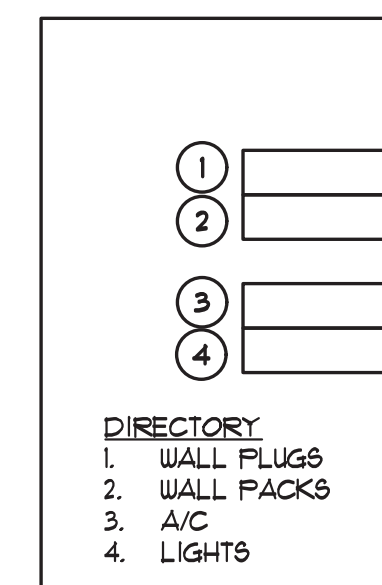
ELEV-B
SCALE: 3/4"=1'-0"

ELEV-C
SCALE: 3/4"=1'-0"

ELEV-D
SCALE: 3/4"=1'-0"

- LIGHTING & VENT FAN 15 AMP CIRCUIT
APPROX 10' 14/2 W-GROUND
- HVAC 15 AMP CIRCUIT
APPROX 2 1/2' 14/2 W-GROUND
- SINGLE DUPLEX 15 AMP CIRCUIT
APPROX 12" 14/2 W-GROUND
- DOUBLE QUAD BOX 20 AMP CIRCUIT
APPROX 8" 12/2 W-GROUND

- 12 FRIGIDAIRE HVAC UNIT
AMPS (HEAT PUMP): 12 AMPS
PLUG TYPE: LCDI 515P
VOLTAGE RATING: 115V
WATTS (ELECTRICAL HEAT): 1290 WATTS
WATTS (HEAT PUMP): 115 WATTS
- 17 Pass & Seymour Duplex Receptacle
20A, 125v Back and side wire
LEGRAND DIMMER SWITCH
3W 300W
- 12 PANASONIC VENT FAN
AIR VOLUME EXHAUST: 80
POWER CONSUMPTION: 22.1
CURRENT AMPS: 0.23
POWER RATING: 120/160
- 18 SIEMENS EXTERIOR SUB PANEL
ENCLOSED
AMPS: 150
4 CIRCUITS SINGLE PHASE
VOLTAGE RATING: 120/240V
- 25 WESTGATE EXTERIOR LIGHT
WATTS: 25 WATTS
VOLTAGE RATING: 120-211V
- 24 SUNCO 5/6in FLUSH MOUNT LED DOWNLIGHT
WATTS: 15 WATTS
VOLTAGE RATING: 120V
- 21 EATON SUB PANEL DISCONNECT
VOLTS AC: 240
AMPS: 60
NONFUSED



-The existing power capacity 240v 60amp.

-Everything within the unit is currently wired as 120v.

-Single Phase

-Four breakers total

"-Figgly back" breakers could be installed for additional use

-Approx. 30amp spare, but if we could get an idea of the draw for any additional equipment, we could take a closer look.

3 engl. 15 amp that runs:

- (1) HVAC (1.4 amps)
- (1) Exterior lights (1.4 amps)
- (1) Int. lights / Fan (4.4 amps)

1 engl. 20 amp that runs: (all) Receptacles

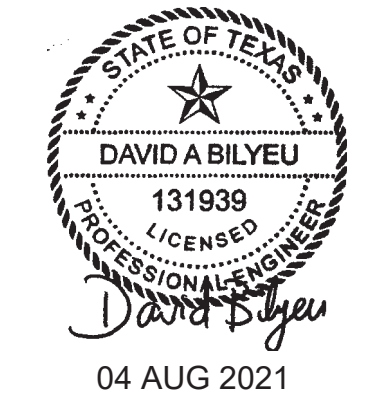
Calculated load: 13.2 amps

APPROVED FOR FINAL ENGINEERING DATE:

Sales	Design	Estim.	Prod.	Struct.	Engin.	E.S.	Shop
-------	--------	--------	-------	---------	--------	------	------

KEYNOTING SCHEDULES

ELECTRICAL SCHEDULE		
MARK	MFG. CAT. NO.	DESCRIPTION
12	FFRH0822R1	Frigidaire HVAC UNIT
15	FV-0810RSL1	Panasonic VENT FAN
16		2 GANG BOX
17		1 GANG BOX
18		OCTO BOX
18	W0408ML1125	Siemens EXTERIOR SUB PANEL
20	HDWV4W	Master Flow EXHAUST VENT
21	DC22URB	Eaton SUB PANEL DISCONNECT
23	77705	LegendPass&Seymour Shallow Direct Mount Ceiling Box
24		Sunco 5/6in FLUSH MOUNT LED DOWNLIGHT
25	LW360-25W-50K	Westgate EXTERIOR LIGHT
27	TSDCL303PW	LEGRAND TOG SLIDE DIM SWITCH



J	SUBPANEL LAYOUT ADDED	TS	04/22/21
MARK	ISSUED FOR / REVISION	BY	DATE
REVISED			
STENCILING		TOTAL UNITS REQD	
884024		1	
DO NOT SCALE DRAWINGS			

GENERAL NOTE

This drawing is the property of, and contains design data which is proprietary to George P. Johnson. Reproduction, use, or transfer of this drawing, or any information contained herein, to others, except as specifically authorized in connection with this project only, is NOT permitted without written approval of George P. Johnson.

COPYRIGHT 2021 GEORGE P. JOHNSON



CLIENT: **CVS HEALTH**

PROJECT: TESTING BOOTH BUILD TN FA

ELEMENT: TESTING KIOSK

DRAWING: ELECTRICAL PLAN

SHEET NO:

APPROVALS

EST.	DESIGN	SALES	PRODUCTION	STRUCTURAL
DT	DT	DT	DA	DB

FABRICATION LOCATION: NASHVILLE CONTAINER: LOOSE

USAGE: TO BE SHIPPED OVERSEAS?: NO

CAN ELEMENT BE USED IN CA: YES

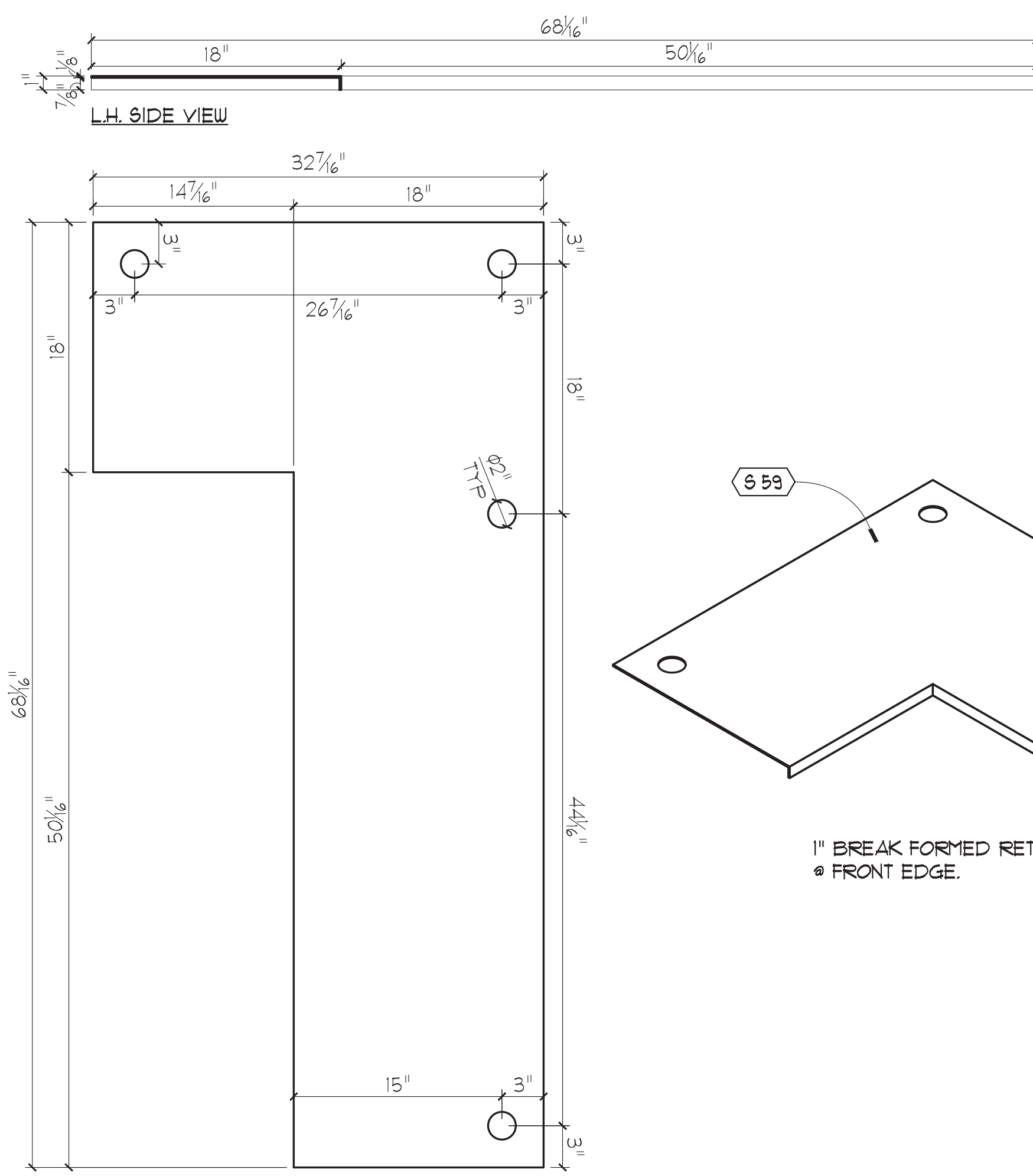
DRAWING NO: 6672-02G DRAWN: JG APPR: DB DATE: 10/2/20

SHIP ORDER NO: **10006338**

RELEASED

P:\884024\0201_6672\6672-02G.dwg, 6/2/2021 10:36:13 AM, TSKene, Auburn Hill, Eng.

ISSUE DATE: 04.22.2021

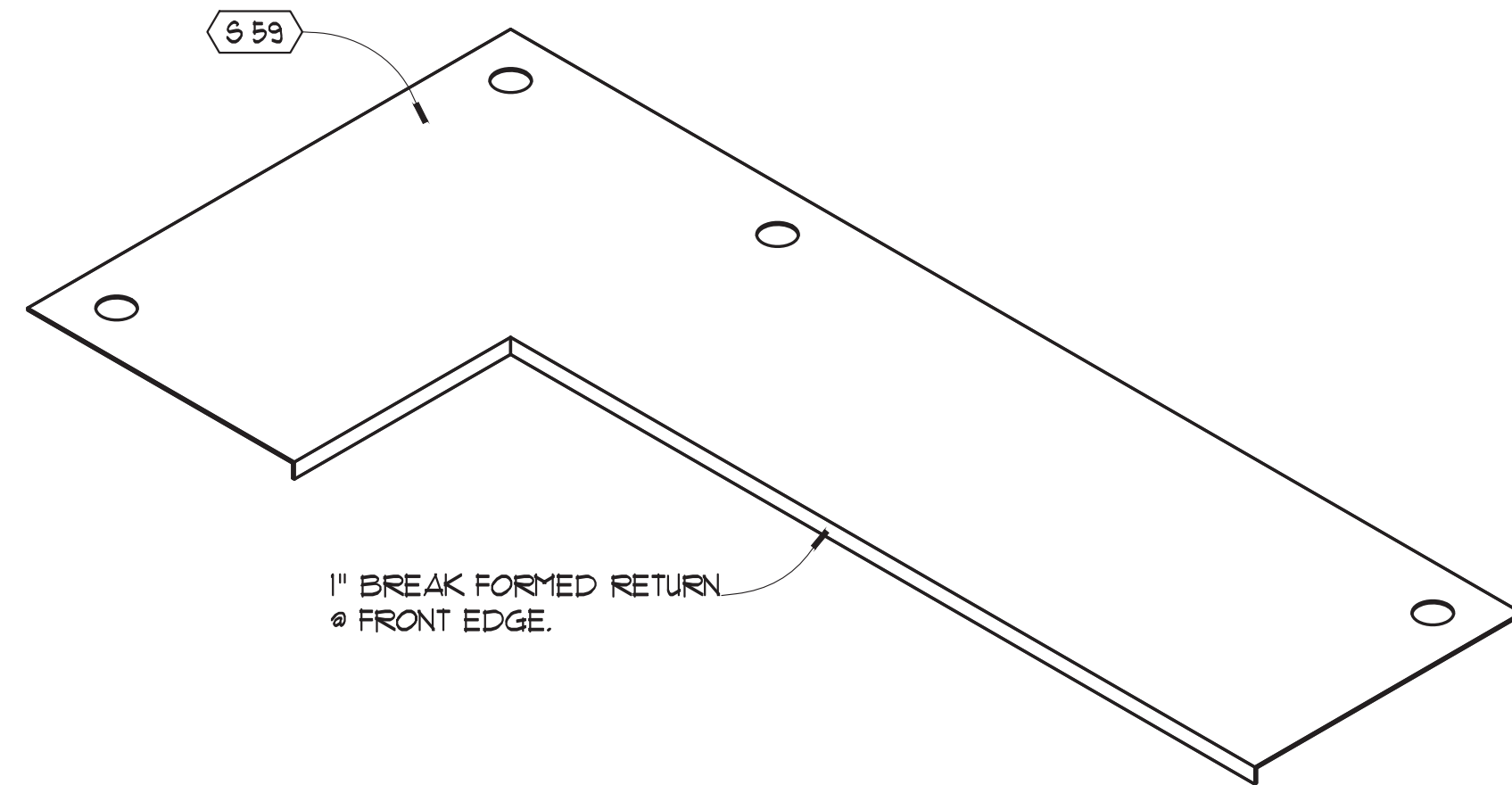


SS COUNTER - A

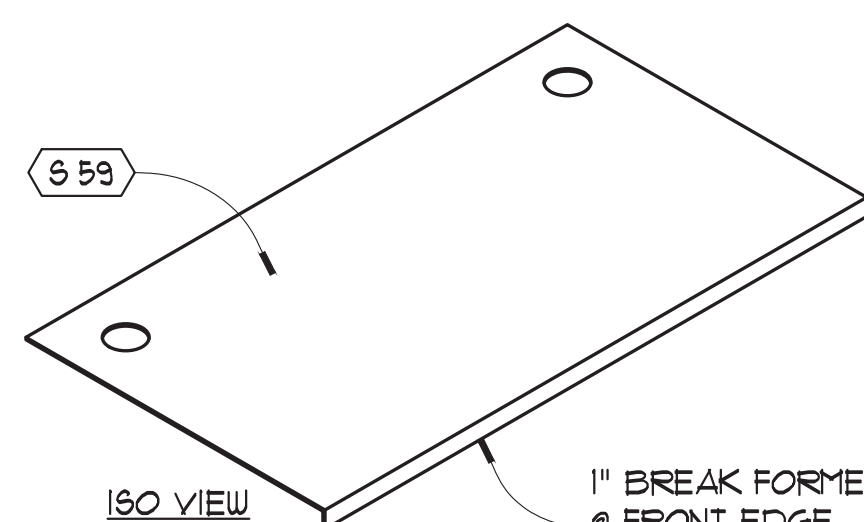
SCALE: 1-1/2" = 1'-0"

FAB-015

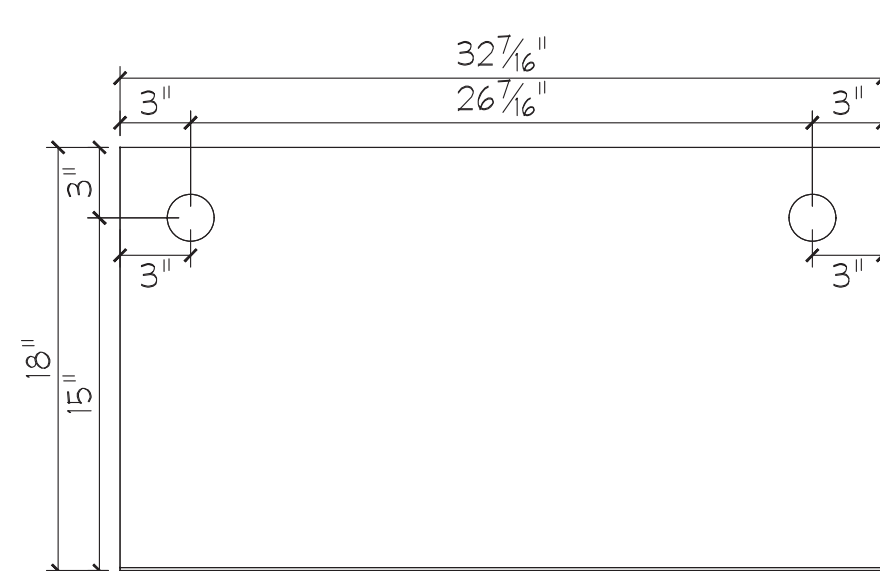
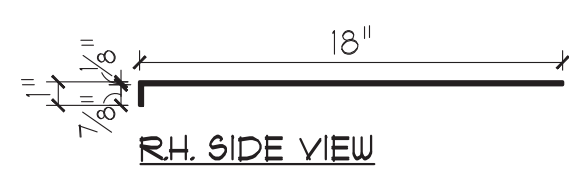
F-015



1" BREAK FORMED RETURN
• FRONT EDGE.



1" BREAK FORMED RETURN
• FRONT EDGE.



PLAN VIEW

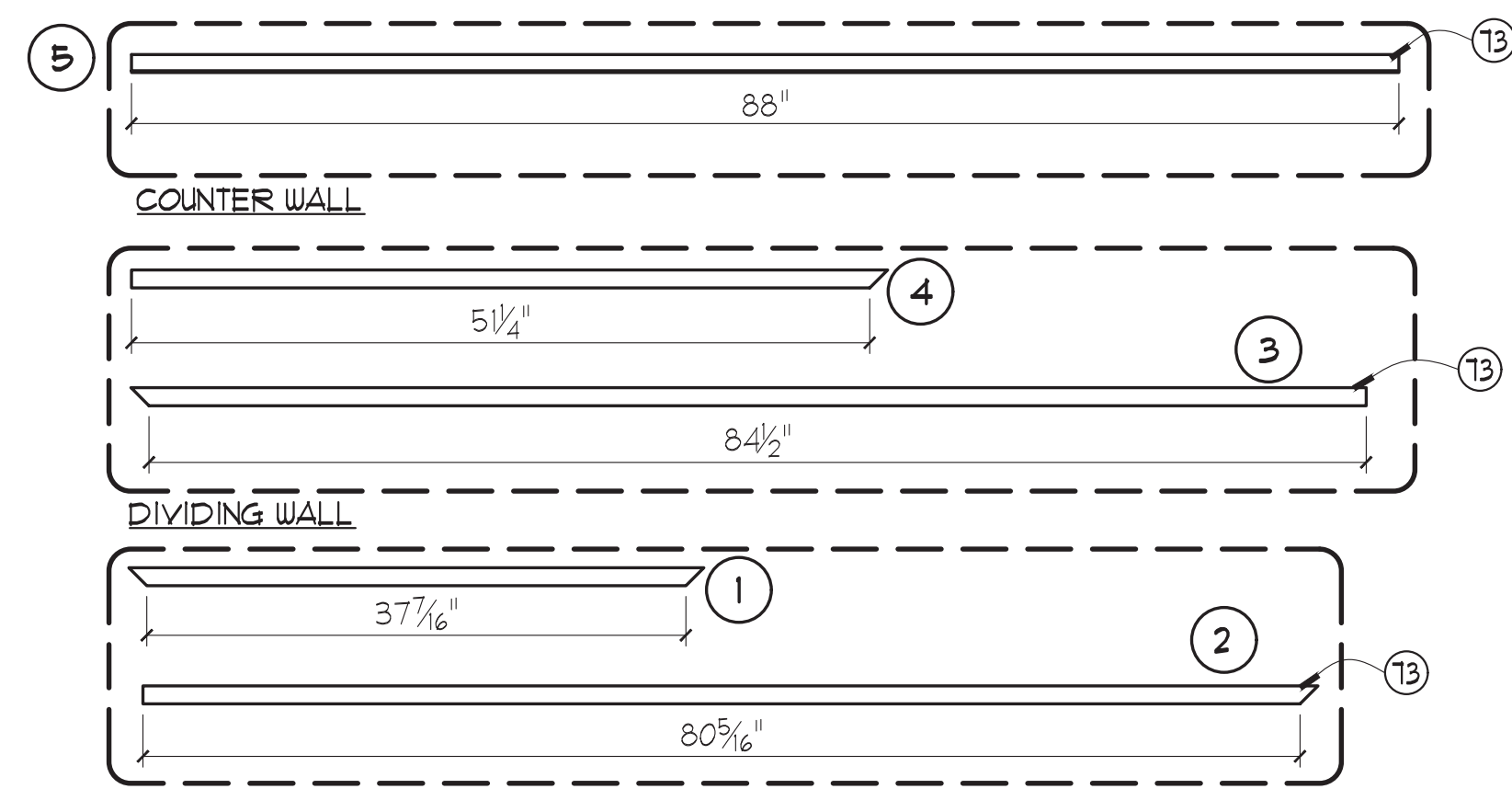
SS COUNTER - B

SCALE: 1-1/2" = 1'-0"

FAB-016

F-016

CORNER TRIM CUT LIST			
ID	NAME	LENGTH	QTY. PER UNIT
1	TRIM	3'-1 7/16"	2
2	TRIM	6'-8 5/16"	4
3	TRIM	7'-0 1/2"	2
4	TRIM	4'-3 1/4"	2
5	TRIM	7'-4"	2

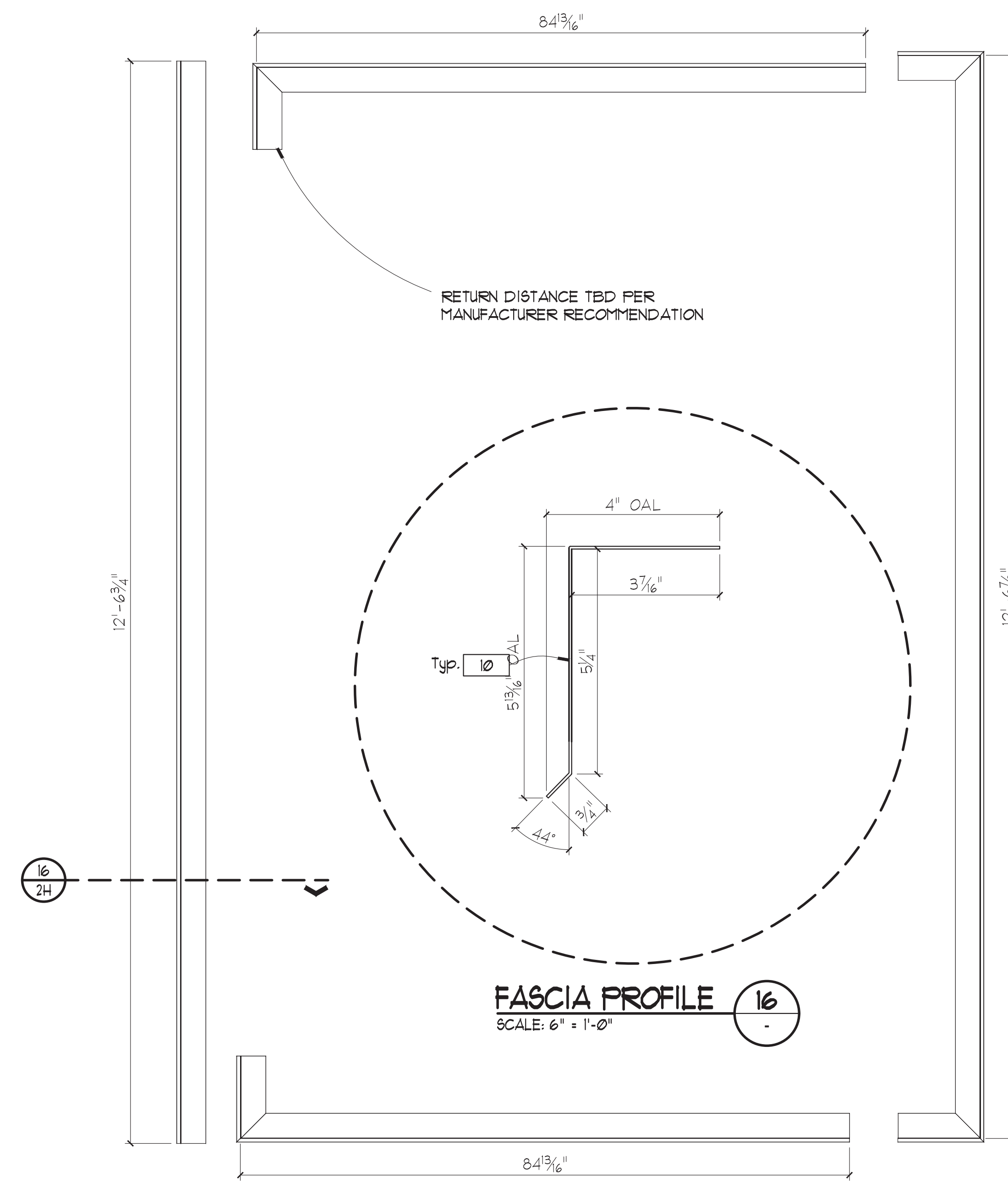


Corner Trim

SCALE: 1" = 1'-0"

FAB-019

F-019



RETURN DISTANCE TBD PER
MANUFACTURER RECOMMENDATION

FASCIA PROFILE

SCALE: 6" = 1'-0"

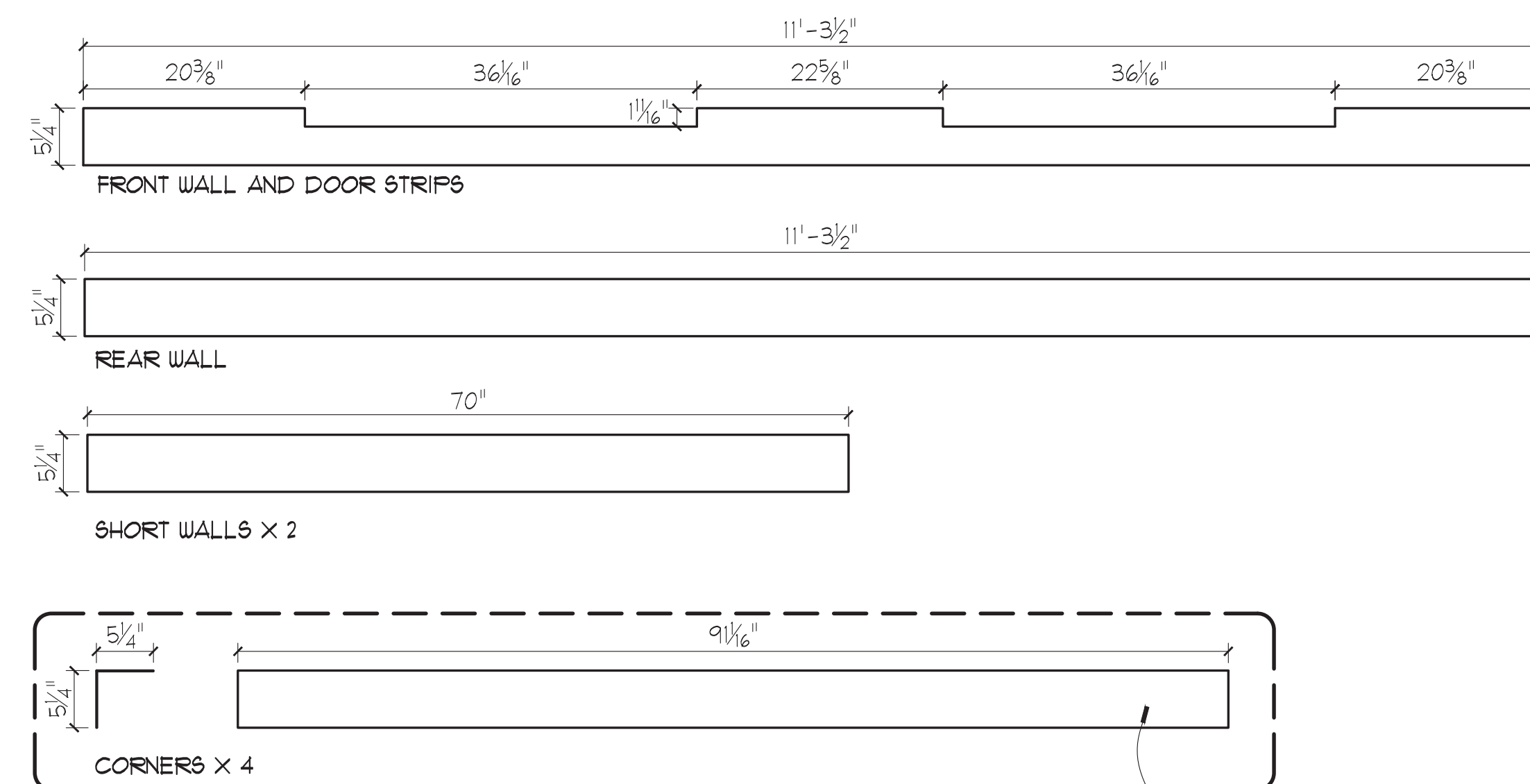
16

KIOSK FASCIA

SCALE: 1" = 1'-0"

FAB-011

F-011



Metal Flashing

SCALE: 1" = 1'-0"

FAB-018

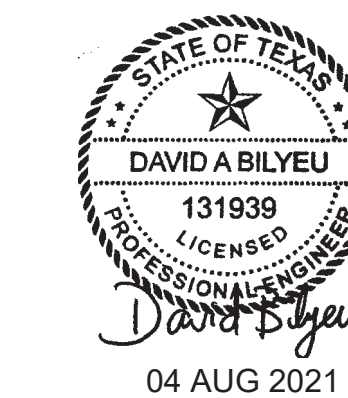
F-018

APPROVED FOR FINAL ENGINEERING DATE:

Sales	Design	Estim.	Prod.	Struct.	Engh.	E.S.	Shop
-------	--------	--------	-------	---------	-------	------	------

KEYNOTING SCHEDULES

PAINT SCHEDULE			
MARK	COLOR NUMBER	DESCRIPTION	
10	186C	CVS Red	
MATERIAL SCHEDULE			
MARK	MFG. CAT. NO.	DESCRIPTION	
73		1-1/8" x 1-1/8" x 1/4" PVC TRIM	
METAL SCHEDULE			
MARK	DESCRIPTION		
S 59	STAINLESS STEEL SHEET - 1/8" thk.		
FABRICATED PARTS SCHEDULE (QUANTITIES LISTED ARE FOR ONE ELEMENT)			
MARK	QTY. REQD.	SOURCE	DESCRIPTION
F-015	1	GPJ	SS COUNTER - A
F-016	1	GPJ	SS COUNTER - B
F-017	1	GPJ	KIOSK FASCIA
F-018	1	GPJ	Metal Flashing
F-019	1	GPJ	Corner Trim



STENCILING	TOTAL UNITS REQD
CLIENT CODE 884024	1
DO NOT SCALE DRAWINGS	

GENERAL NOTE
This drawing is the property of, and contains design data which is proprietary to George P. Johnson. Reproduction, use, or transfer of this drawing, or any information contained herein, to others, except as specifically authorized in connection with this project only, is NOT permitted without written approval of George P. Johnson.
COPYRIGHT 2021 GEORGE P. JOHNSON



CLIENT	CVS HEALTH
PROJECT	TESTING BOOTH BUILD TN FA
ELEMENT	TESTING KIOSK
DRAWING	SPECS
SHEET NO.	

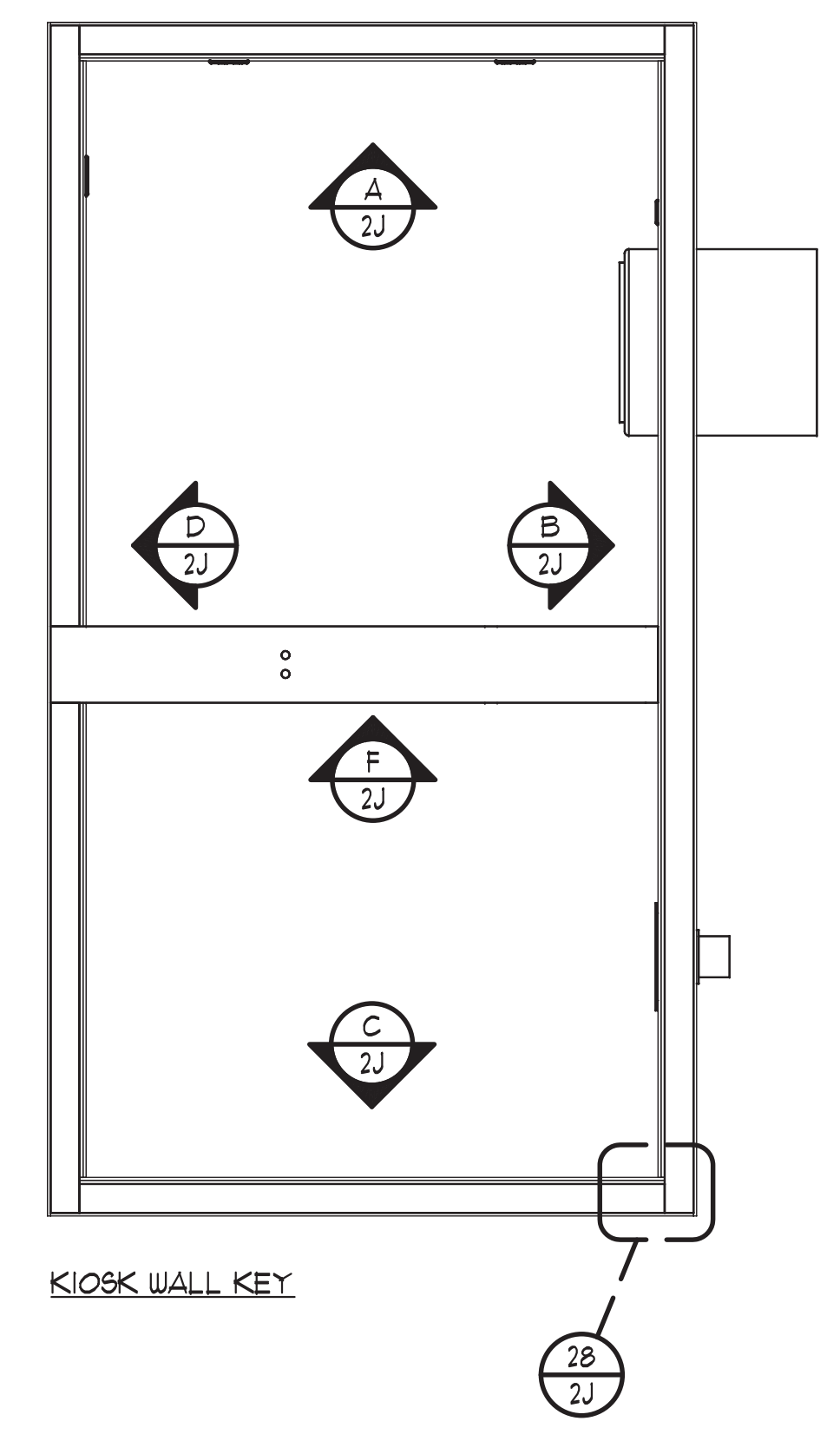
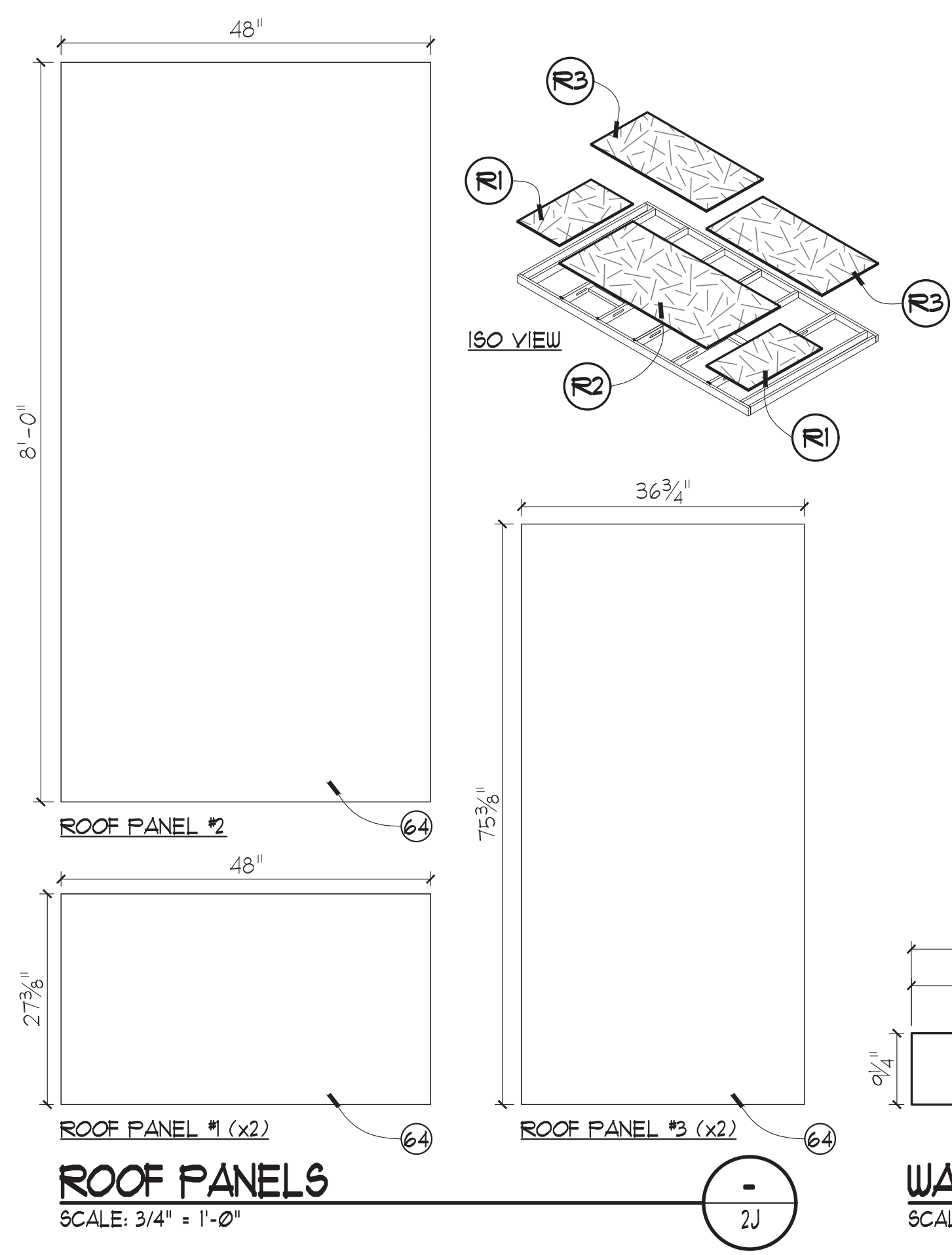
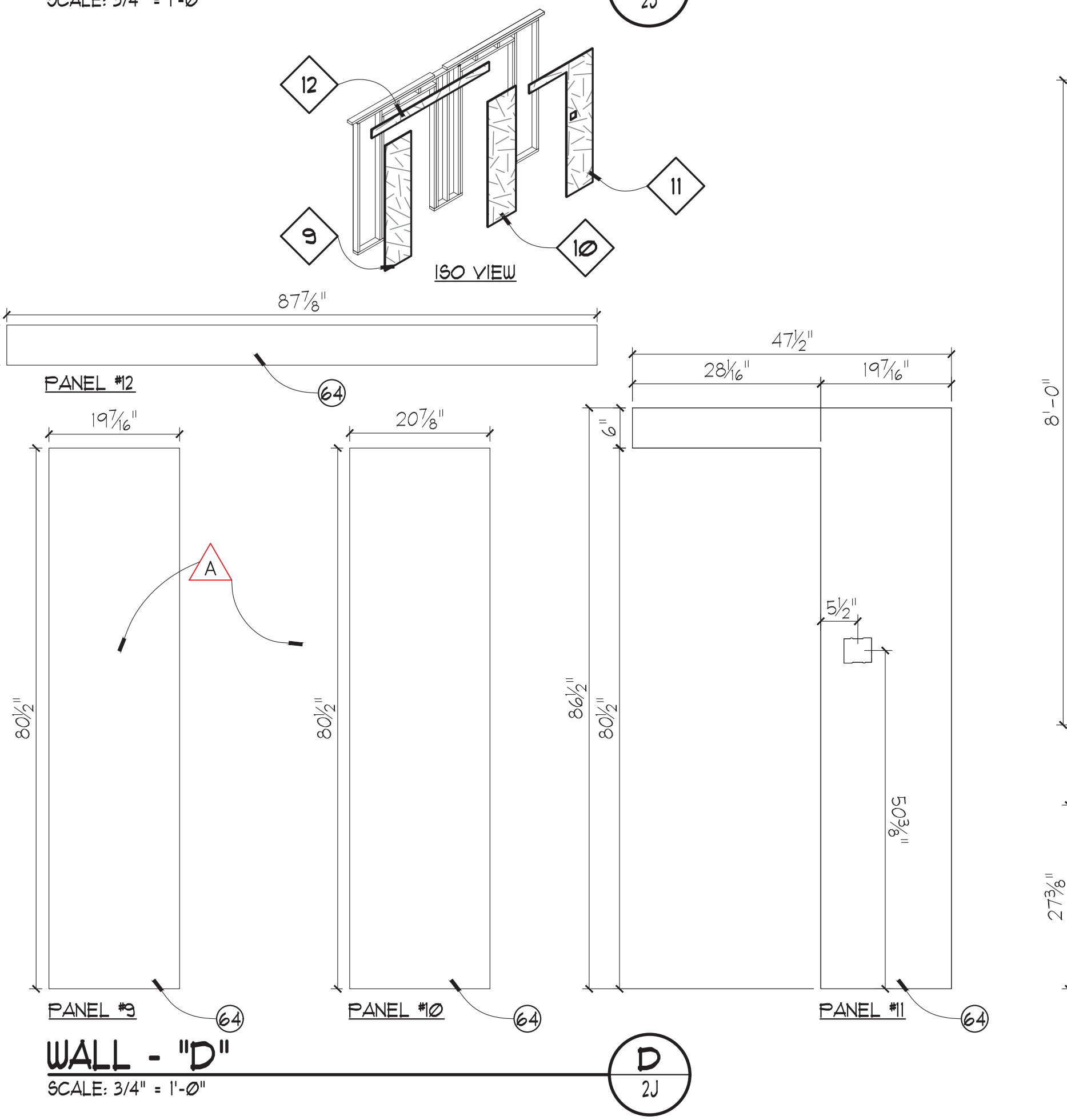
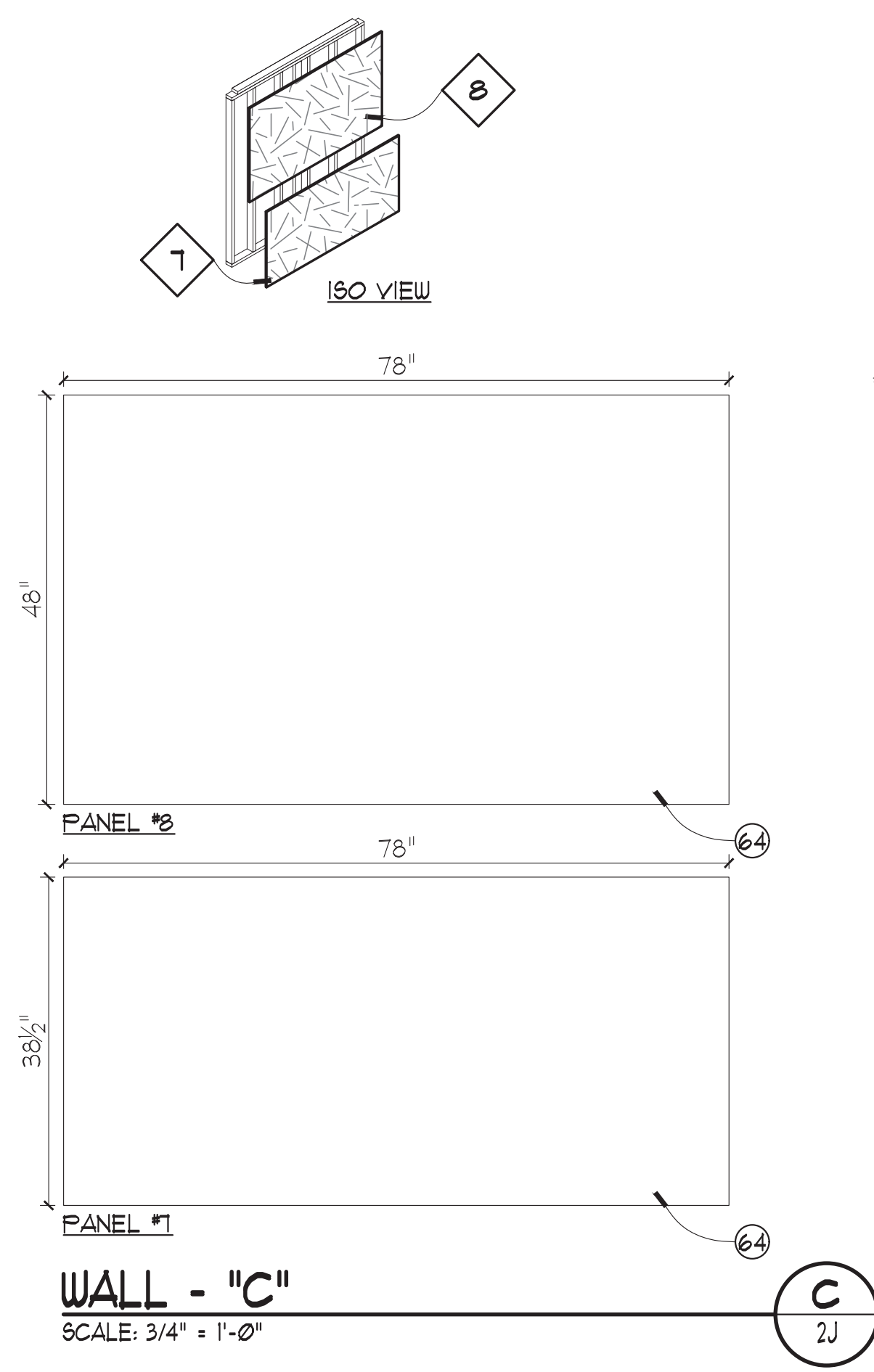
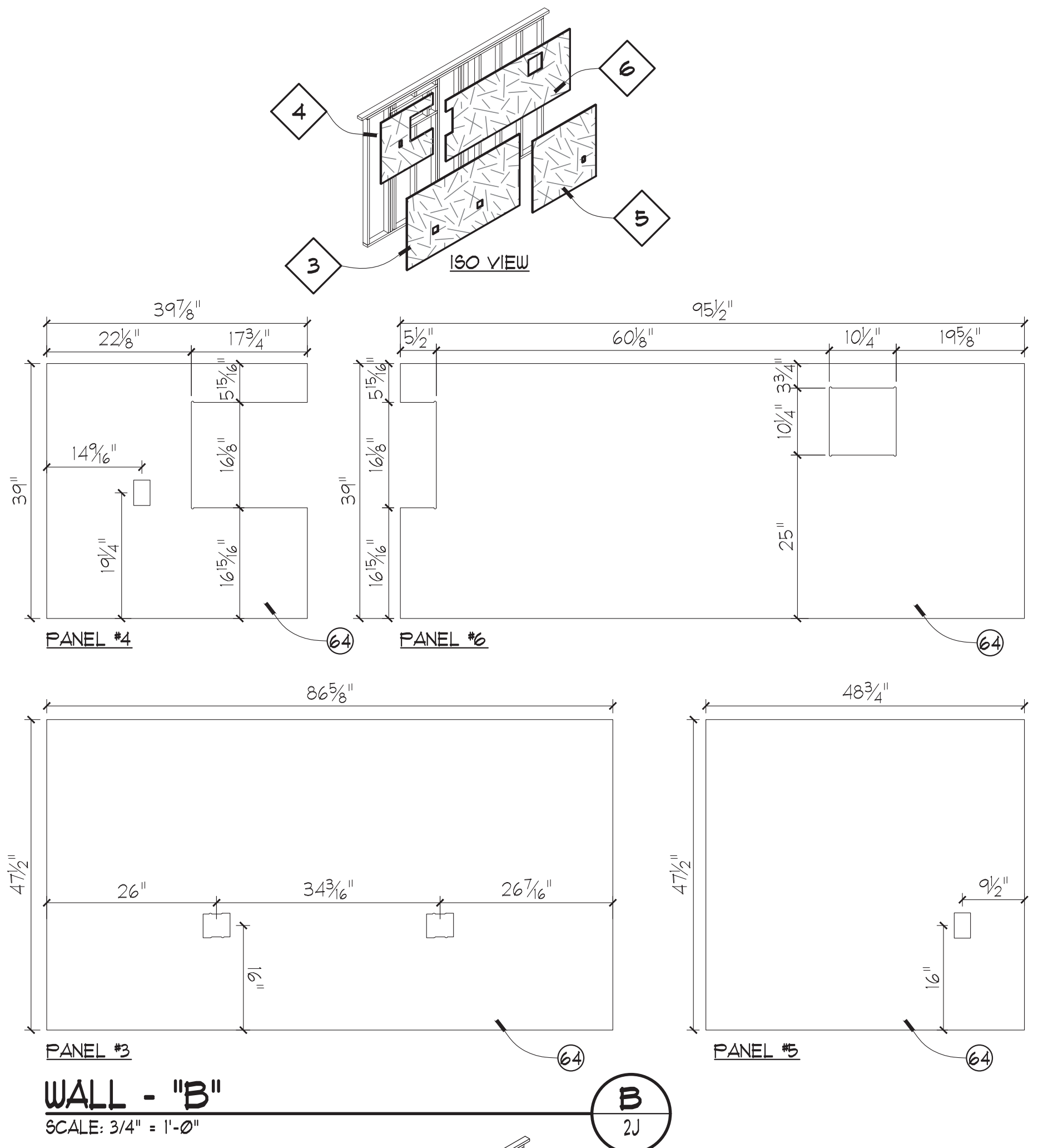
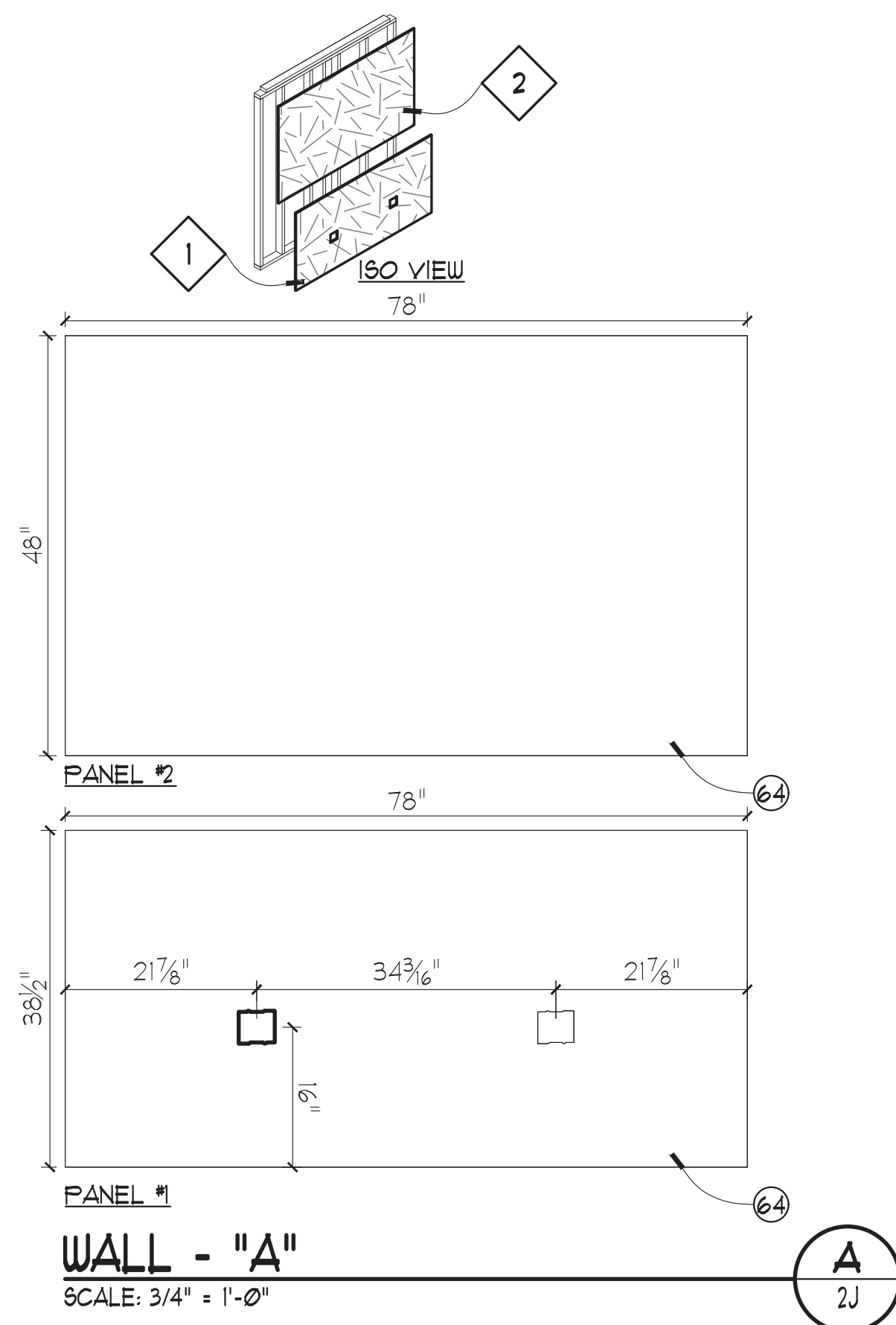
APPROVALS					
EST.	DESIGN	SALES	PRODUCTION	STRUCTURAL	
DT	DT	DT	DA	DB	

FABRICATION LOCATION	COUNTY/STATE		
NASHVILLE	LOOSE		
USAGE TO BE SHIPPED OVERSEAS?	NO		
CAN ELEMENT BE USED IN CAVES			
DRAWING NO.	DRAWN	APPR	APPR DATE
6672-02H	JG	DB	10/2/20

SHOP ORDER NO. **10006338**

RELEASED

ISSUE DATE: 04.2.2021

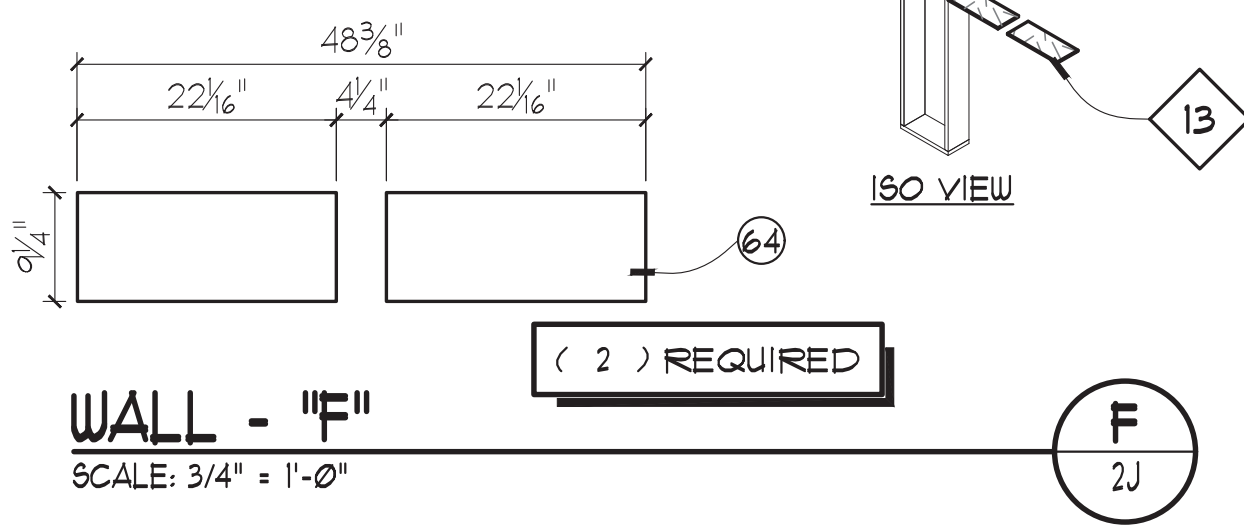
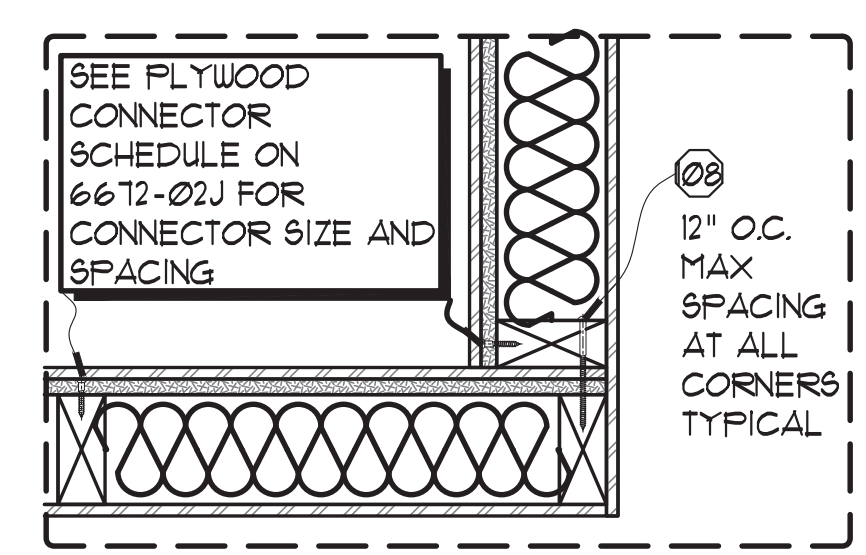


PLYWOOD CONNECTOR SCHEDULE:
EDGES: 8d NAILS @ 6" O.C.
IN FIELD: 8d NAILS @ 12" O.C.

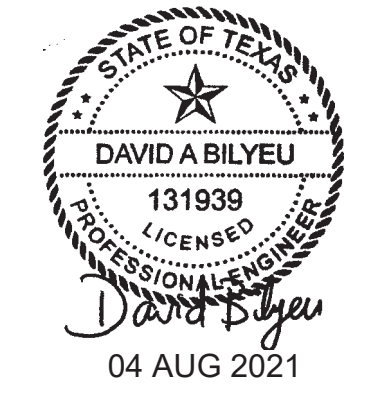
-OR-

EDGES: 1.5" 16 Ga STAPLES @ 6" O.C.
IN FIELD: 1.5" 16 Ga STAPLES @ 12" O.C.

*Note: Spacings listed at maximum.
All staples to have minimum 7/16 crown and crons to run parallel to long dimension of framing members.



KEYNOTING SCHEDULES		
MATERIAL SCHEDULE		
MARK	MFG. CAT. NO.	DESCRIPTION
64		7/16 OSB
HARDWARE SCHEDULE		
MARK	MFG. CAT. NO.	DESCRIPTION
108	SDWC15450-KT	SIMPSON STRONG TIE 0.152 X 4.5" STRUCTURAL



MARK	ISSUED FOR / REVISION	BY	DATE
A	DIMENSION CORRECTION	JG	10/06/20

REVISION

STENCILING	TOTAL UNITS REQD
884024	1

DO NOT SCALE DRAWINGS

GENERAL NOTE
This drawing is the property of, and contains design data which is proprietary to George P. Johnson. Reproduction, use, or transfer of this drawing, or any information contained herein, to others, except as specifically authorized in connection with this project only, is NOT permitted without written approval of George P. Johnson.
COPYRIGHT 2020 GEORGE P. JOHNSON



CLIENT: CVS HEALTH	
PROJECT: TESTING BOOTH BUILD TN FA	
ELEMENT: TESTING KIOSK	
DRAWING: OSB LAYOUTS	SHEET NO:

APPROVALS					
EST.	DESIGN	SALES	PRODUCTION	STRUCTURAL	DB
DT	DT	DT	DA	DB	

FABRICATION LOCATION: NASHVILLE	CONTAINER: LOOSE
USAGE: TO BE SHIPPED OVERSEAS?: NO	CAN ELEMENT BE USED IN CA: YES
DRAWING NO: 6672-02J	DATE: 10/2/20

SHOP ORDER NO. **10006338**

APPROVED FOR FINAL ENGINEERING							DATE:
Sales	Design	Estim.	Prod.	Struct.	Engin.	E.S.	Shop

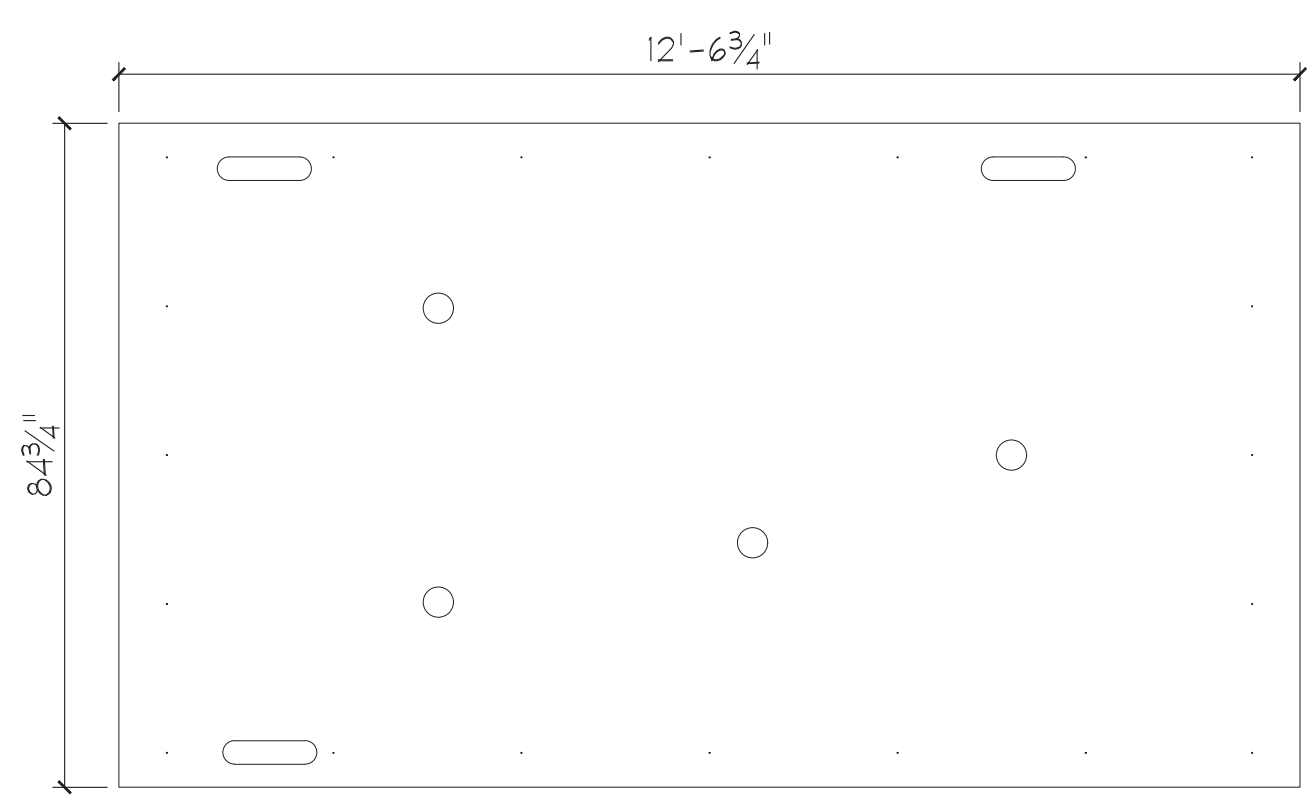
RELEASED

P:\884024\0201_6672\6672-02J.dwg, 6/27/2021 10:38:10 AM, T:\Users\alaburn\HLS Eng.

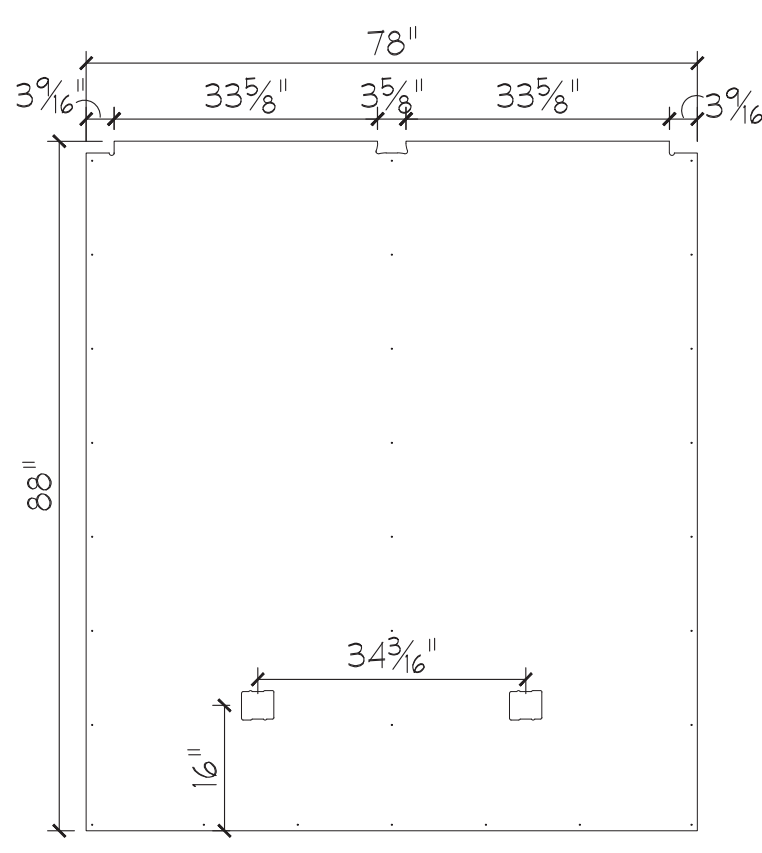
ISSUE DATE: 04.2.2020

KEYNOTING SCHEDULES

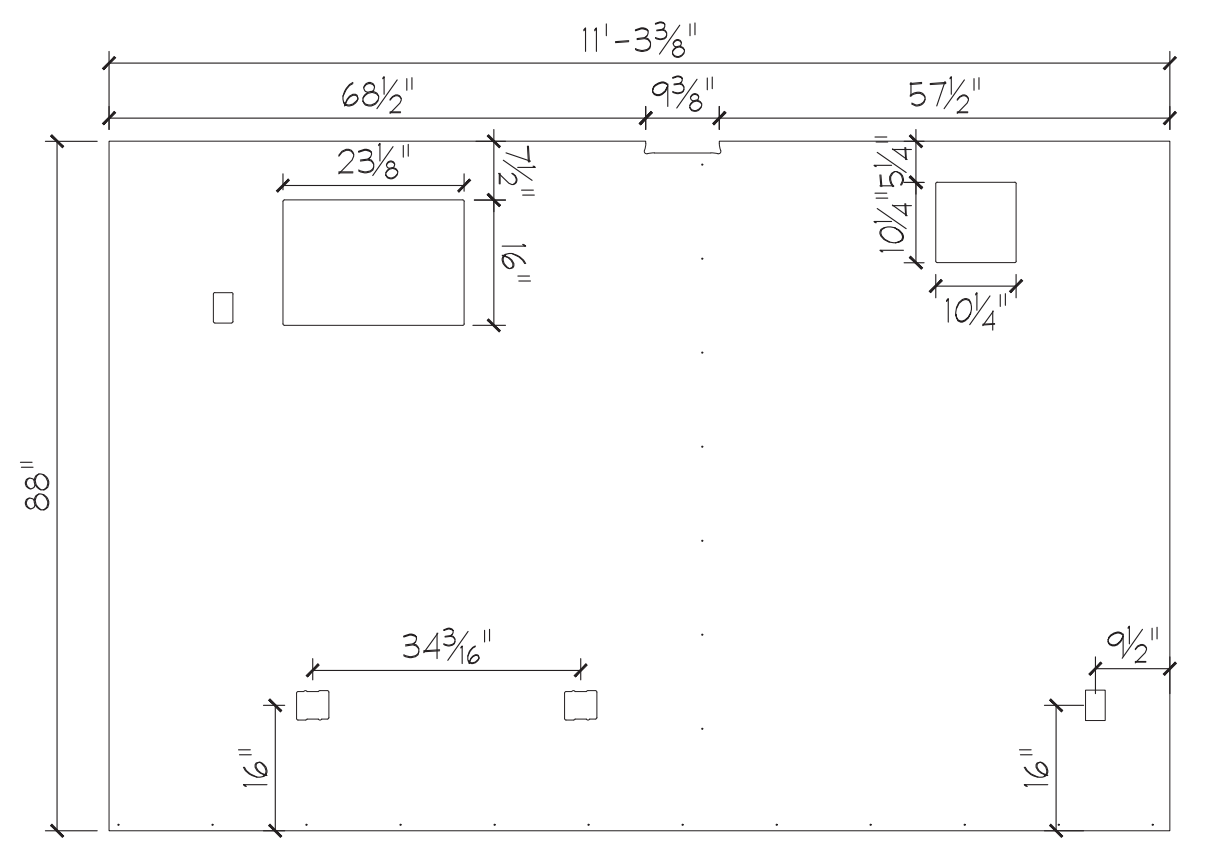
MATERIAL SCHEDULE		
MARK	MFG. CAT. NO.	DESCRIPTION
62	1109SL	RIDGE CORP. .368" TRANSORE WALL BOARD
63	1915SL	RIDGE CORP. .592" TRANSORE SUBFLOOR



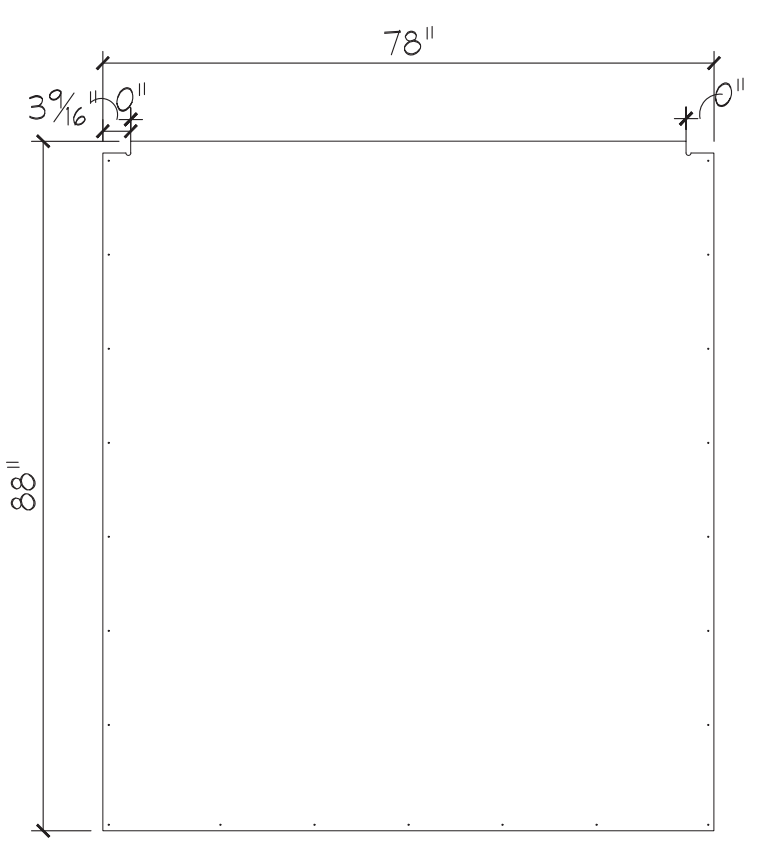
CEILING PANEL (TK)



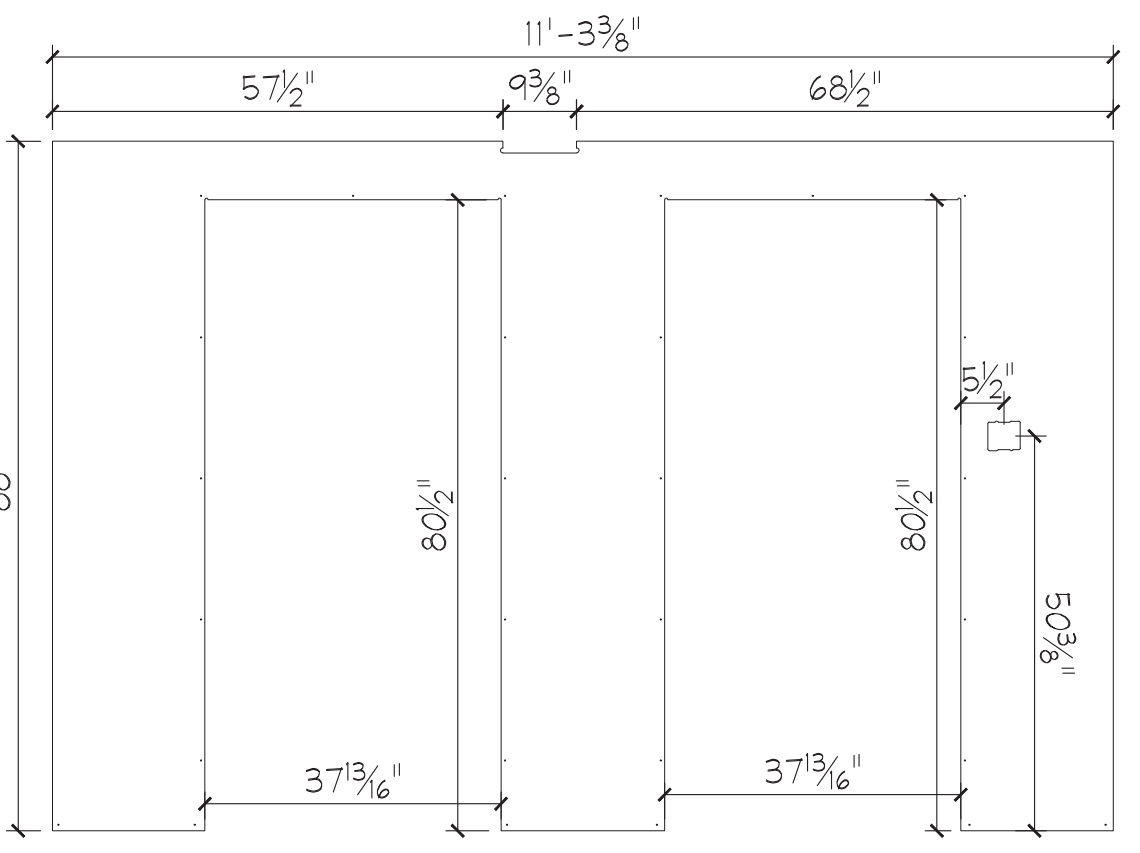
INTERIOR LEFT PANEL (TK)



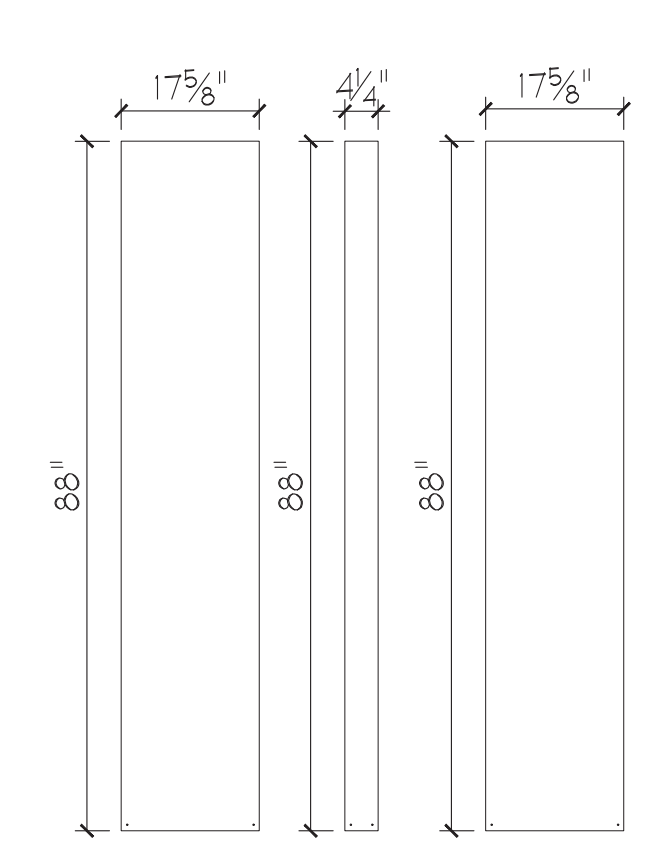
INTERIOR REAR PANEL (TK)



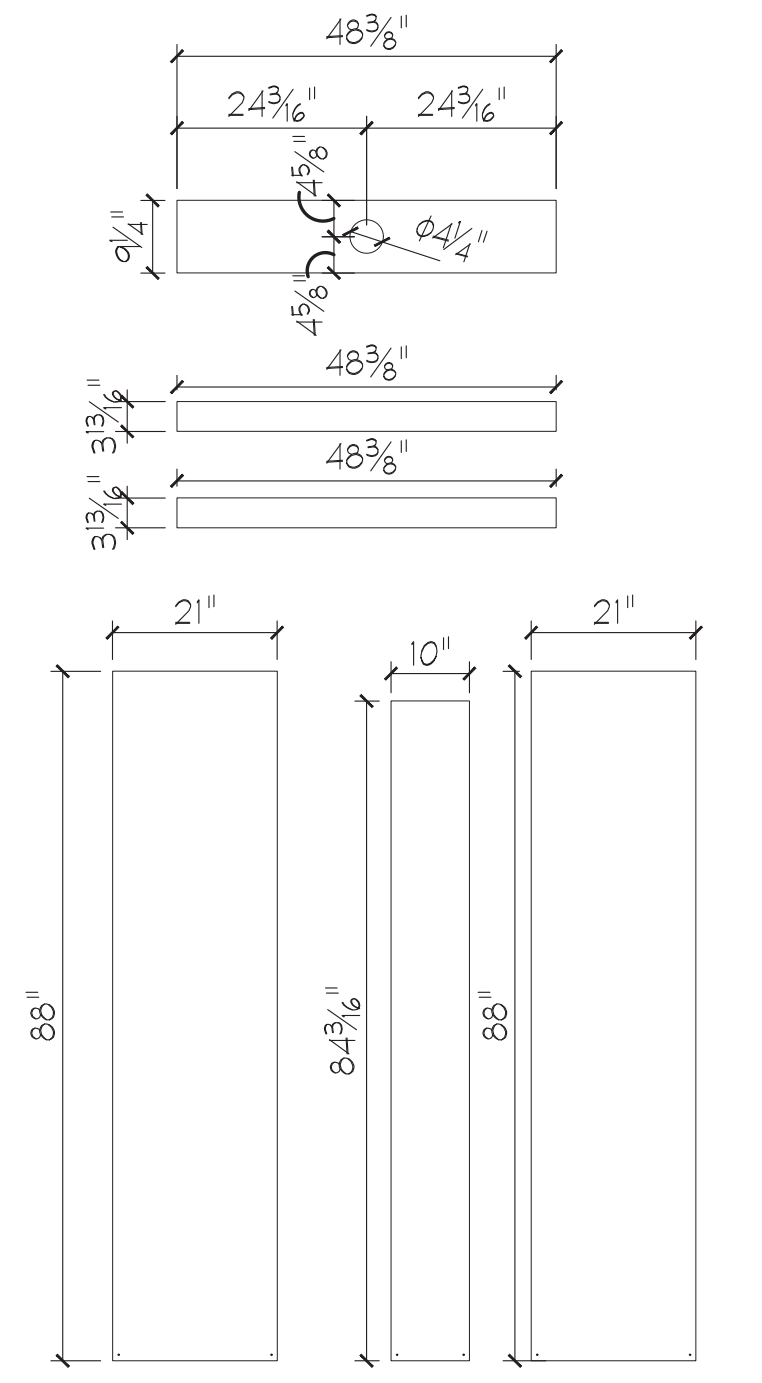
INTERIOR RIGHT PANEL (TK)



INTERIOR FRONT PANEL (TK)



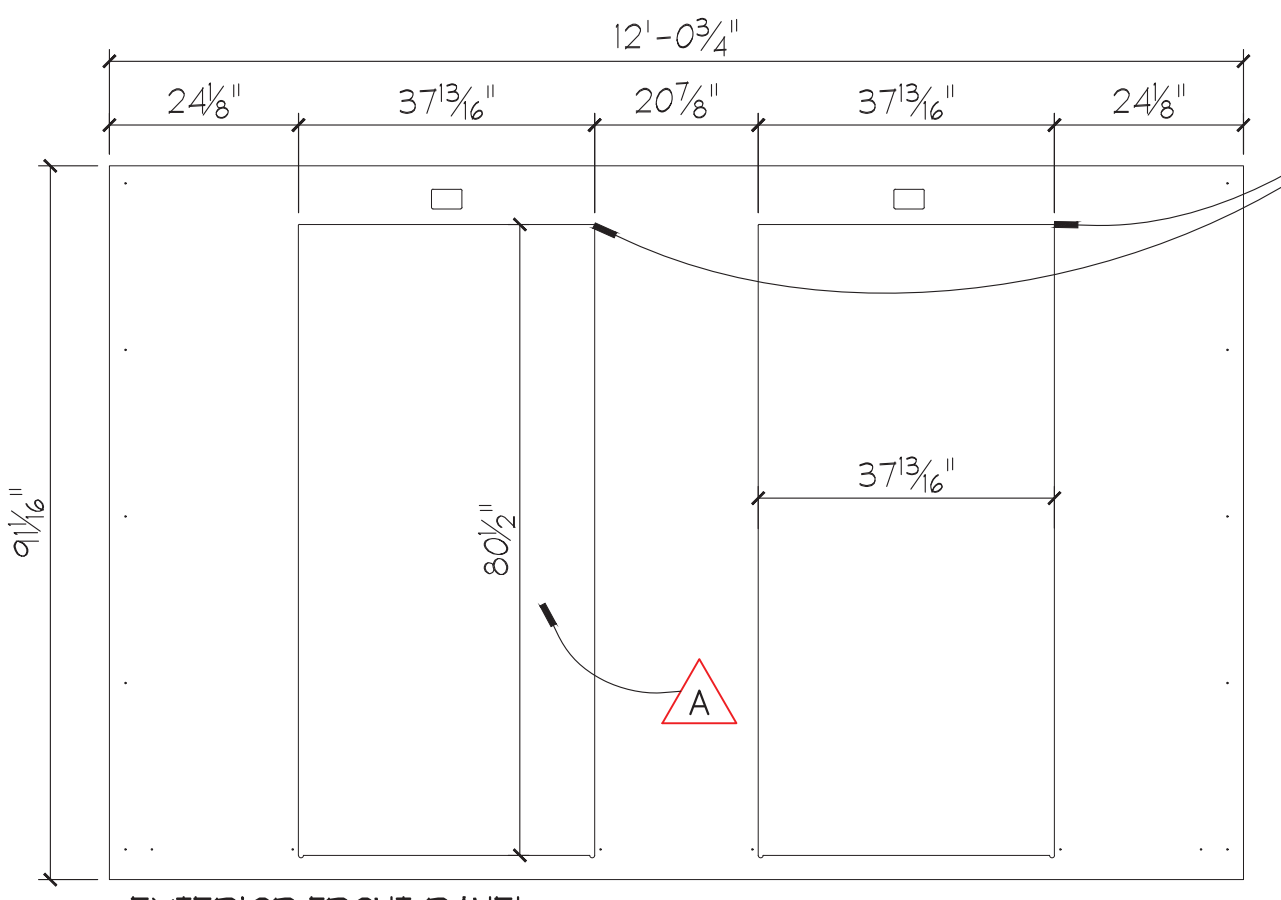
INTERIOR SHORT WALL PANELS (TK)



INTERIOR DIVIDE WALL PANELS (TK)

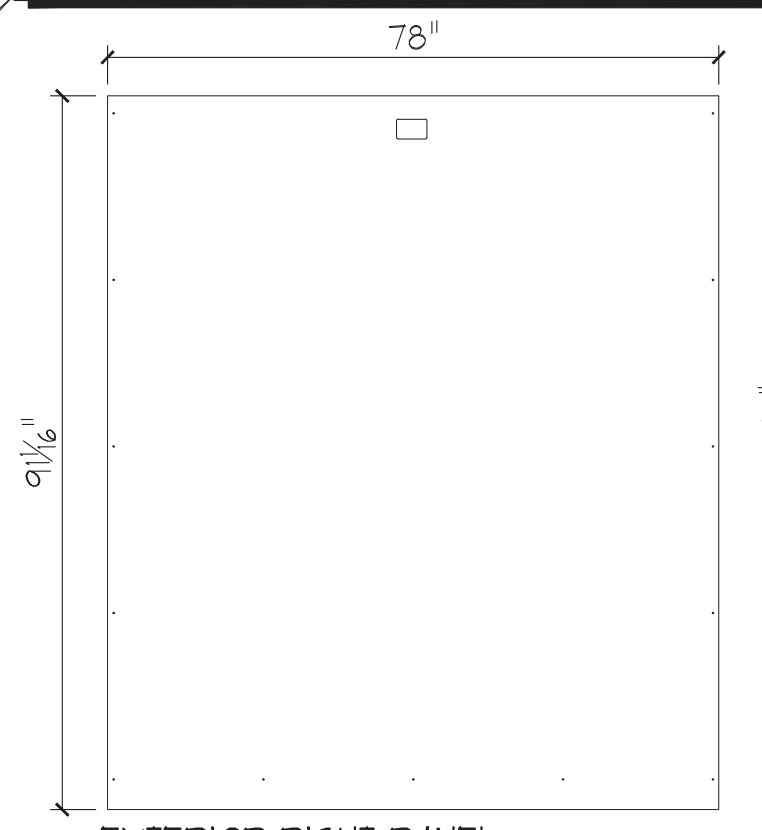


EXTERIOR LEFT PANEL (TK)

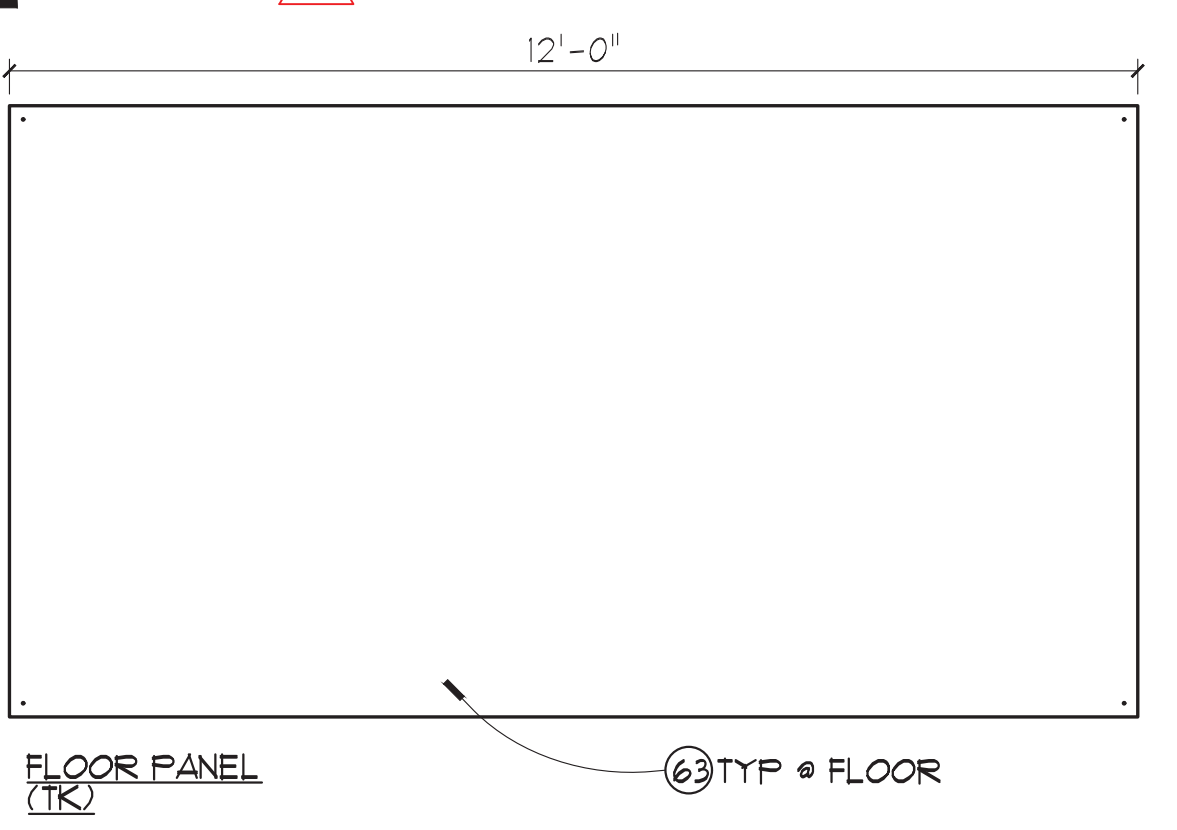


EXTERIOR FRONT PANEL (TK)

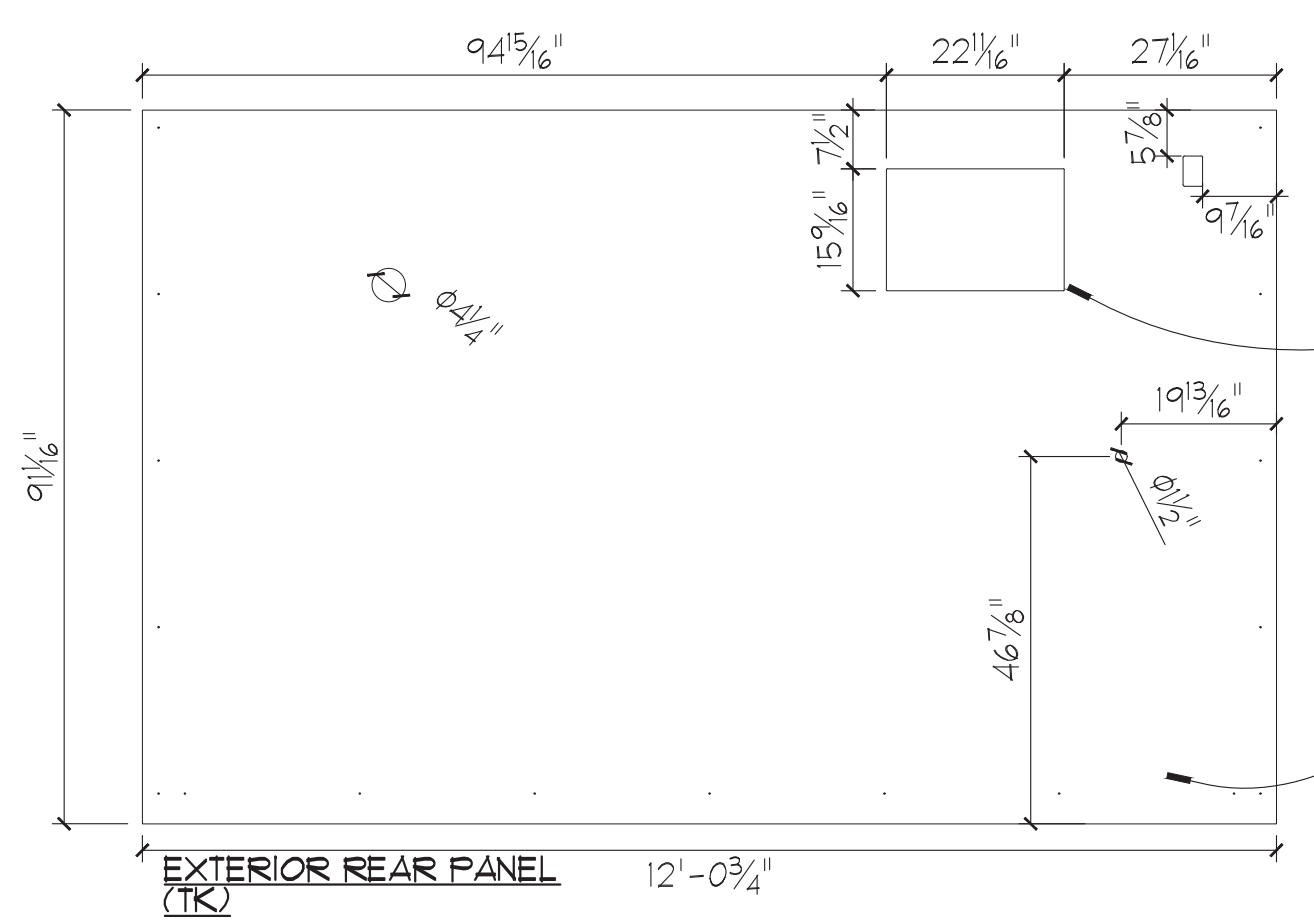
PLEASE NOTE: UPPER INNER CORNERS ON ALL "EXTERIOR FRONT PANEL" DOORS TO BE CUT WITH 1/4" TOOL TO LEAVE 1/8" RADIUS IN CORNER.



EXTERIOR RIGHT PANEL (TK)



FLOOR PANEL (TK) 63 TYP * FLOOR

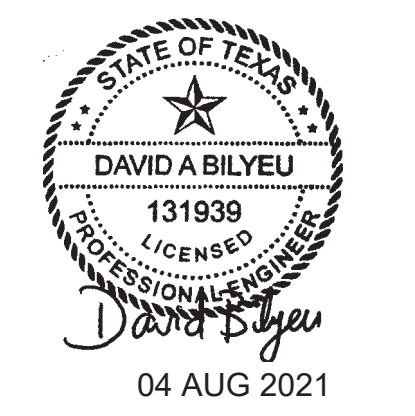


EXTERIOR REAR PANEL (TK)

PLEASE NOTE: INNER CORNERS ON EXTERIOR CUT OUT FOR HVAC TO BE CUT WITH 1/4" TOOL TO LEAVE 1/8" RADIUS IN CORNER.

PLEASE NOTE: ALL INSIDE CUT RADII ARE ACCEPTABLE AT 3/16" (.1875") UNLESS OTHERWISE NOTED OR DRAWN INTO PANEL,

2X4 CUT LIST			
ID	NAME	LENGTH	QTY. PER UNIT
(A)	2X4	83-1/2"	30
(B)	2X4	78"	4
(C)	2X4	70-7/8"	1
(D)	2X4	11'-3 3/8"	3
(E)	2X4	33-5/8"	2
(F)	2X4	61-1/2"	4
(G)	2X4	36-3/8"	2
(H)	2X4	16"	4
(J)	2X4	14-1/2"	2
(K)	2X4	72-3/4"	2
(L)	2X4	61-3/4"	2
(M)	2X4	79"	4
(N)	2X4	40-13/16"	2
(P)	2X4	19-7/16"	2
(Q)	2X4	20-7/8"	1
(R)	2x4	17-5/8"	2
(S)	2x10	77-7/8"	1
(T)	2x10	69-3/8"	1
(U)	2x10	83-1/2"	2
(V)	2x10	21"	1
(W)	2x4	21-7/8"	1
(X)	2x4	3"	8
(Y)	2x4	14-1/2"	1



MARK	ISSUED FOR / REVISION	BY	DATE
D	STUD REMOVED	JG	10/07/20
B	EXTERIOR DOOR CORNERS	JG	10/05/20
A	DIMENSION CORRECTION	JG	10/06/20

REVISED

STENCILING TOTAL UNITS REQD
 CLIENT CODE: 884024 1

DO NOT SCALE DRAWINGS

GENERAL NOTE
 This drawing is the property of, and contains design data which is proprietary to George P. Johnson. Reproduction, use, or transfer of this drawing, or any information contained herein, to others, except as specifically authorized in connection with this project only, is NOT permitted without written approval of George P. Johnson.
 COPYRIGHT 2021 GEORGE P. JOHNSON



CLIENT	CVS HEALTH
PROJECT	TESTING BOOTH BUILD TN FA
ELEMENT	TESTING KIOSK
DRAWING	PANELS
SHEET NO.	

APPROVALS			
EST.	DESIGN	SALES	PRODUCTION
DT	DT	DT	DA
			DB

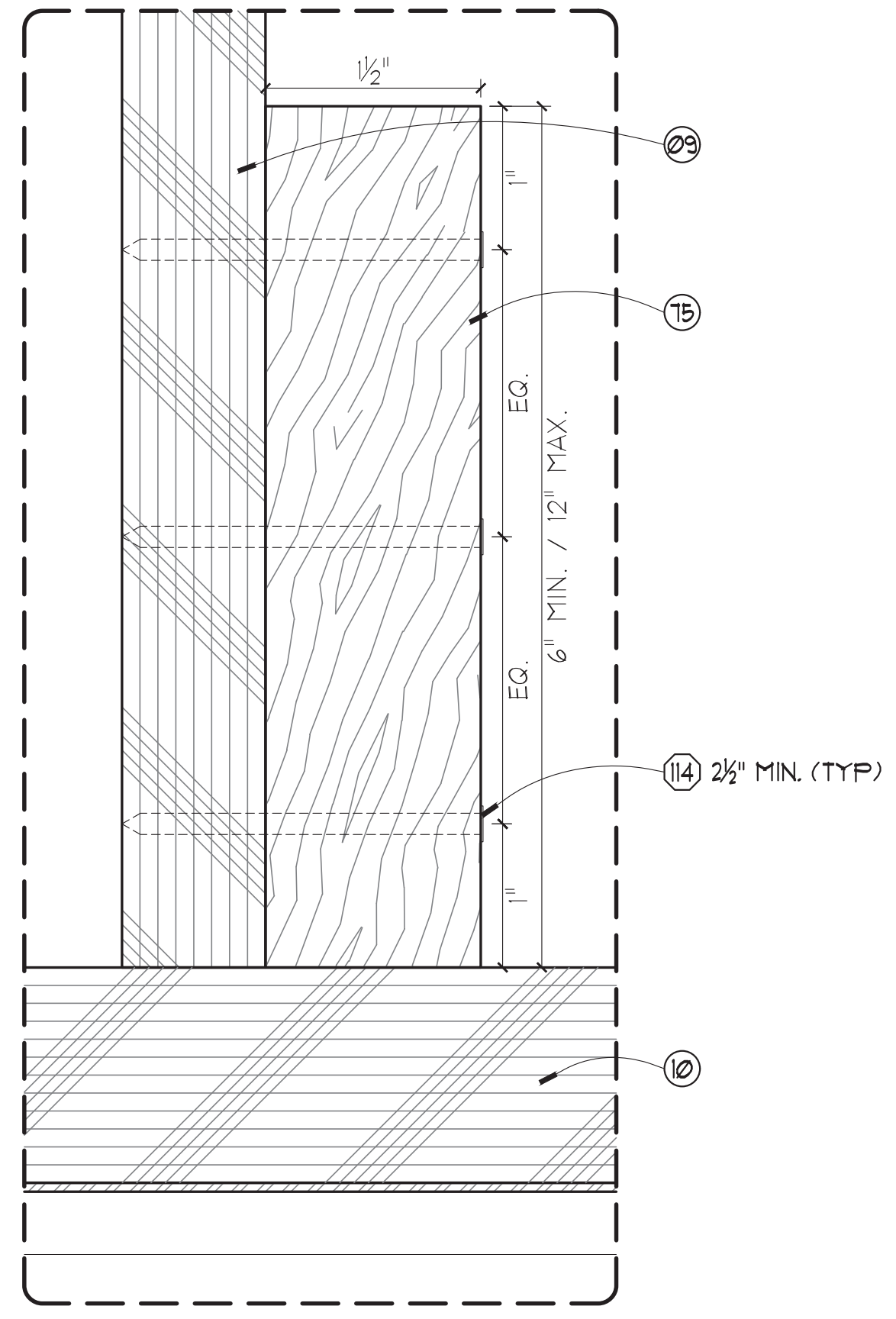
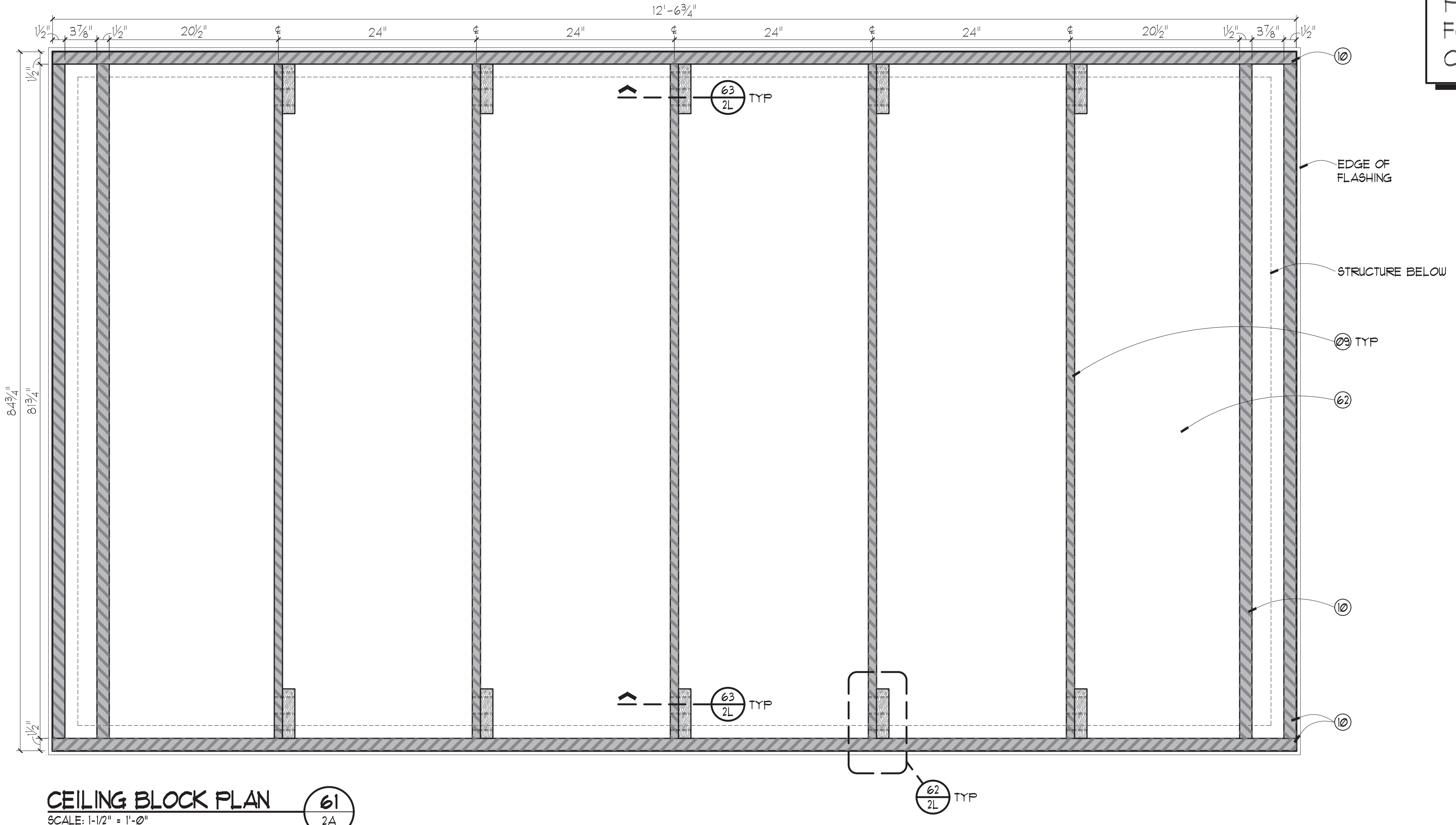
FABRICATION LOCATION	CONTAINER
NASHVILLE	LOOSE
USAGE TO BE SHIPPED OVERSEAS?:	NO
CAN ELEMENT BE USED IN CA:	YES
DRAWING NO.	DATE
6672-02K	JG DB 10/2/20

SHIP ORDER NO. 10006338

APPROVED FOR FINAL ENGINEERING							DATE:
Sales	Design	Estim.	Prod.	Struct.	Engin.	E.S.	Shop

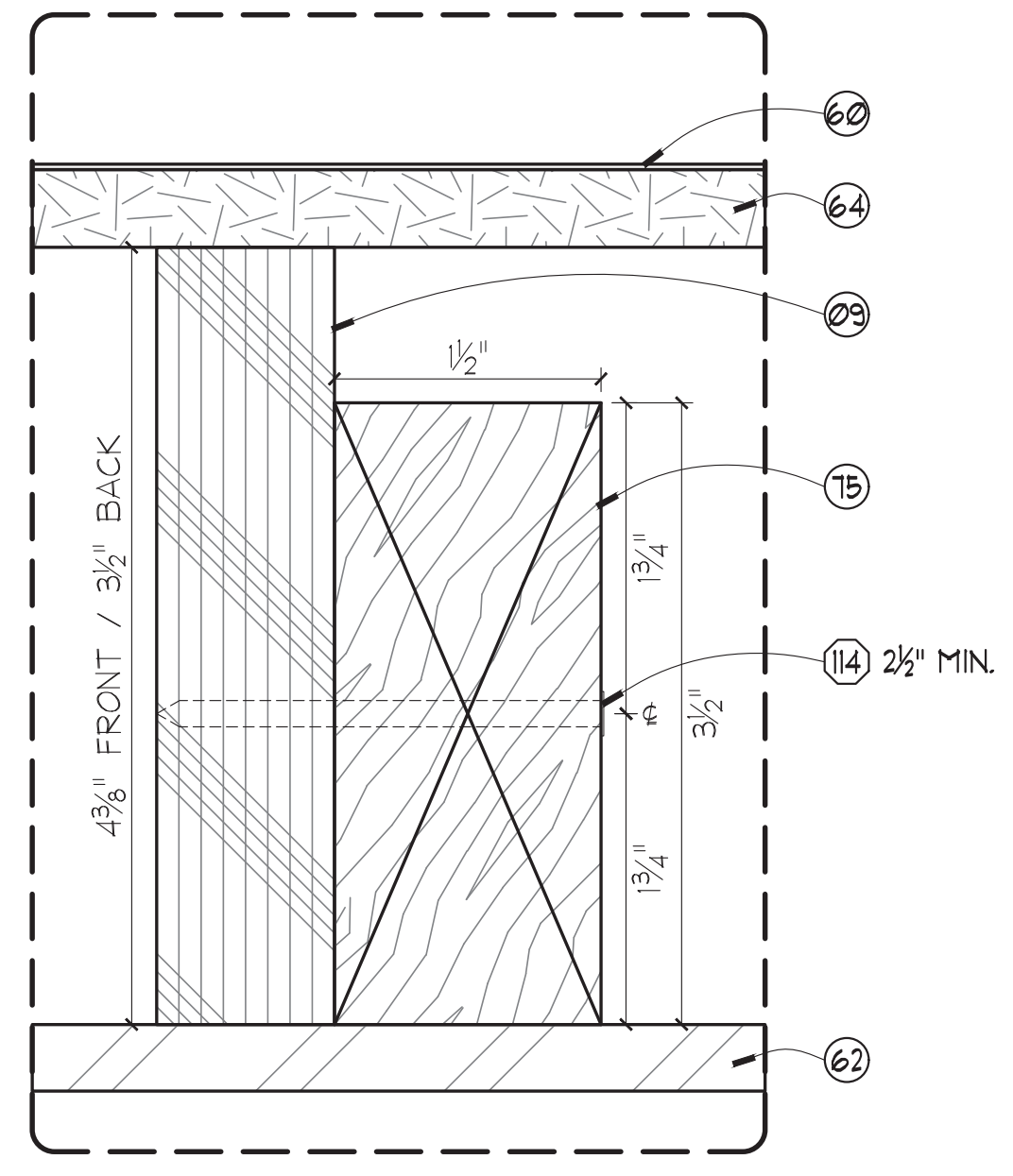
RELEASED

PLEASE NOTE: THESE REVISIONS ARE FOR TESTING KIOSKS BUILT/UNDER CONSTRUCTION BEFORE 10/15/2020.



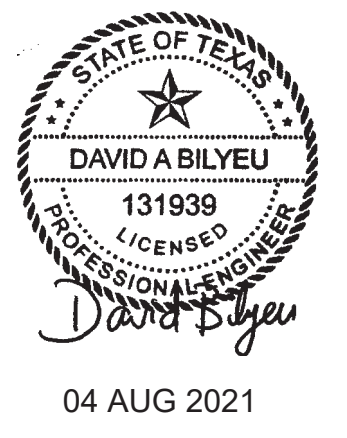
CEILING BLOCK PLAN (61)
SCALE: 1-1/2" = 1'-0"

CEILING BLOCK DETAIL (62)
SCALE: 12" = 1'-0" (Full)



CEILING BLOCK SECTION (63)
SCALE: 12" = 1'-0" (Full)

KEYNOTING SCHEDULES		
MATERIAL SCHEDULE		
MARK	MFG. CAT. NO.	DESCRIPTION
(09)		1" thk. Plywood
(10)		1-1/2" thk. Plywood
(60)		EDPM ROOFING
(62)	1109SL	RIDGE CORP .368" TRANSORE WALL BOARD
(64)		7/16 OSB
(75)		2x4
HARDWARE SCHEDULE		
MARK	MFG. CAT. NO.	DESCRIPTION
(114)		10D X 2-1/2" Nail



04 AUG 2021

STENCILING	TOTAL UNITS REQ'D
CLIENT CODE	1
884024	
DO NOT SCALE DRAWINGS	

GENERAL NOTE
This drawing is the property of, and contains design data which is proprietary to George P. Johnson. Reproduction, use, or transfer of this drawing, or any information contained herein, to others, except as specifically authorized in connection with this project only, is NOT permitted without written approval of George P. Johnson.
COPYRIGHT 2020 GEORGE P. JOHNSON



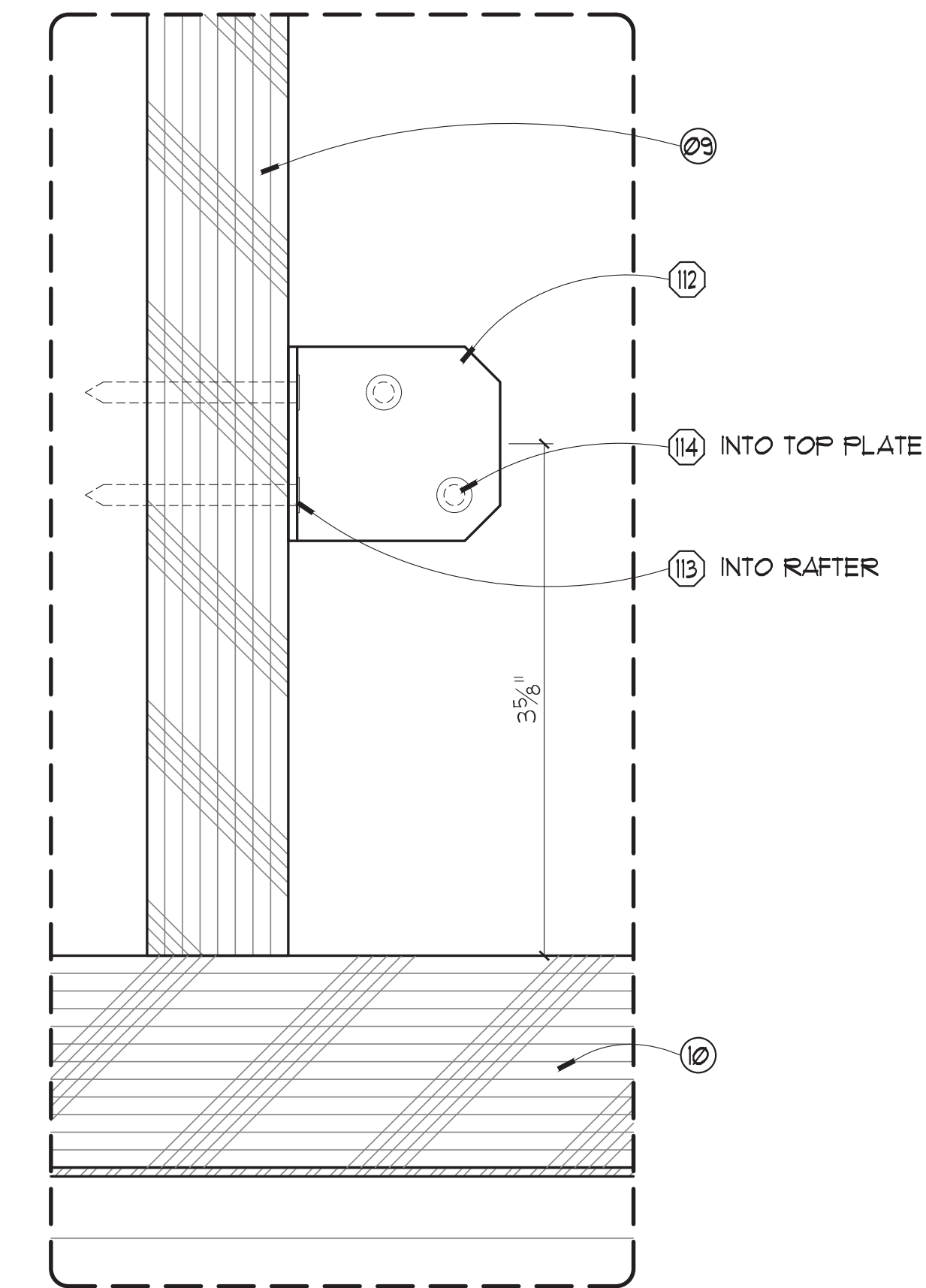
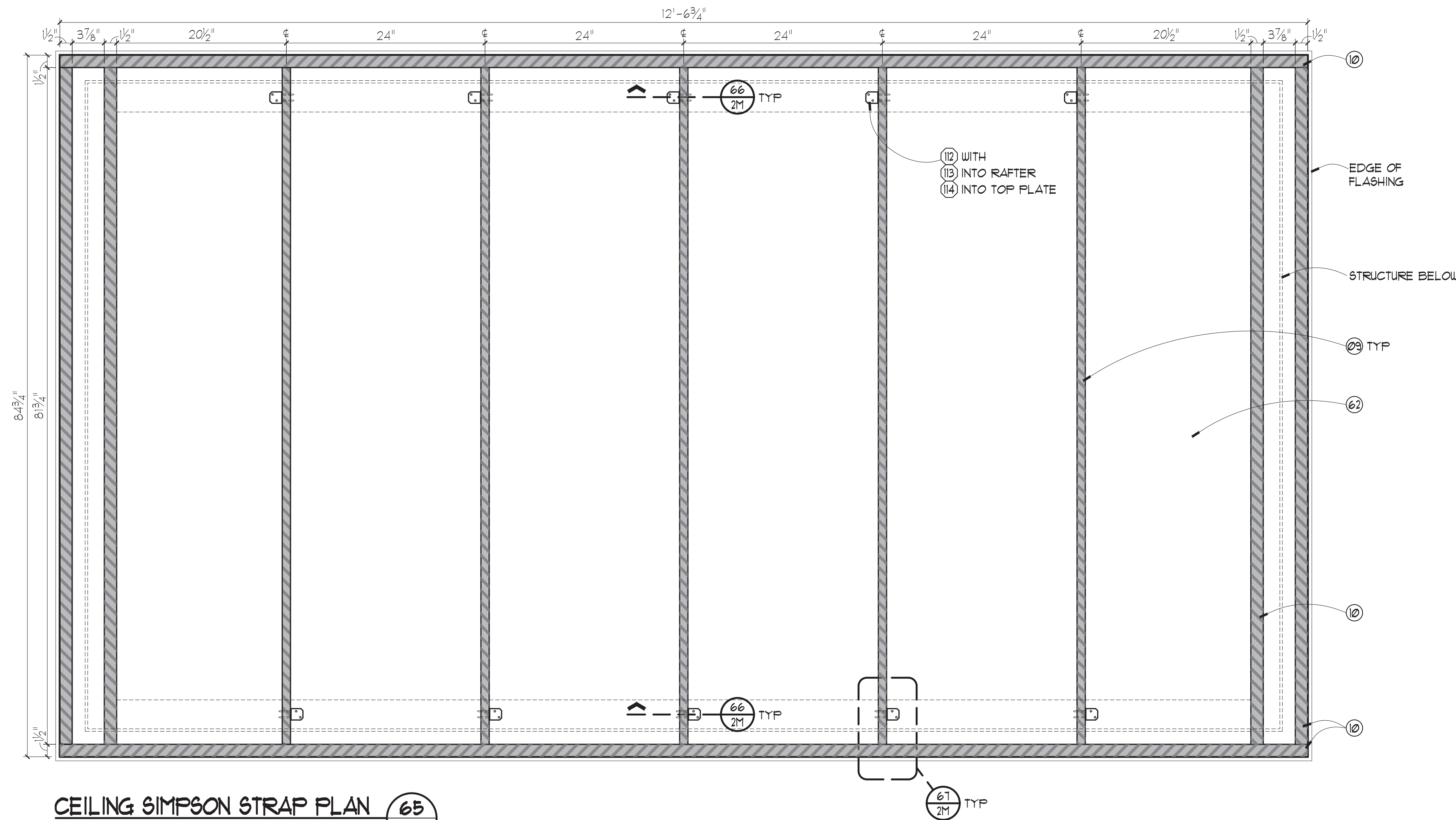
CLIENT	CVS HEALTH
PROJECT	TESTING BOOTH BUILD TN FA
ELEMENT	TESTING KIOSK
DRAWING	CEILING RVISIONS SECTIONS & DETAILS
SHEET NO.	

APPROVALS					
EST.	DESIGN	SALES	PRODUCTION	STRUCTURAL	
DT	DT	DT	DA	DB	

FABRICATION LOCATION	CONTAINER
NASHVILLE	LOOSE
USAGE	TO BE SHIPPED OVERSEAS?: NO
	CAN ELEMENT BE USED IN CA: YES
DRAWING NO.	6672-02L
DRAWN	JP
APPR	DB
APPR DATE	10/23/20

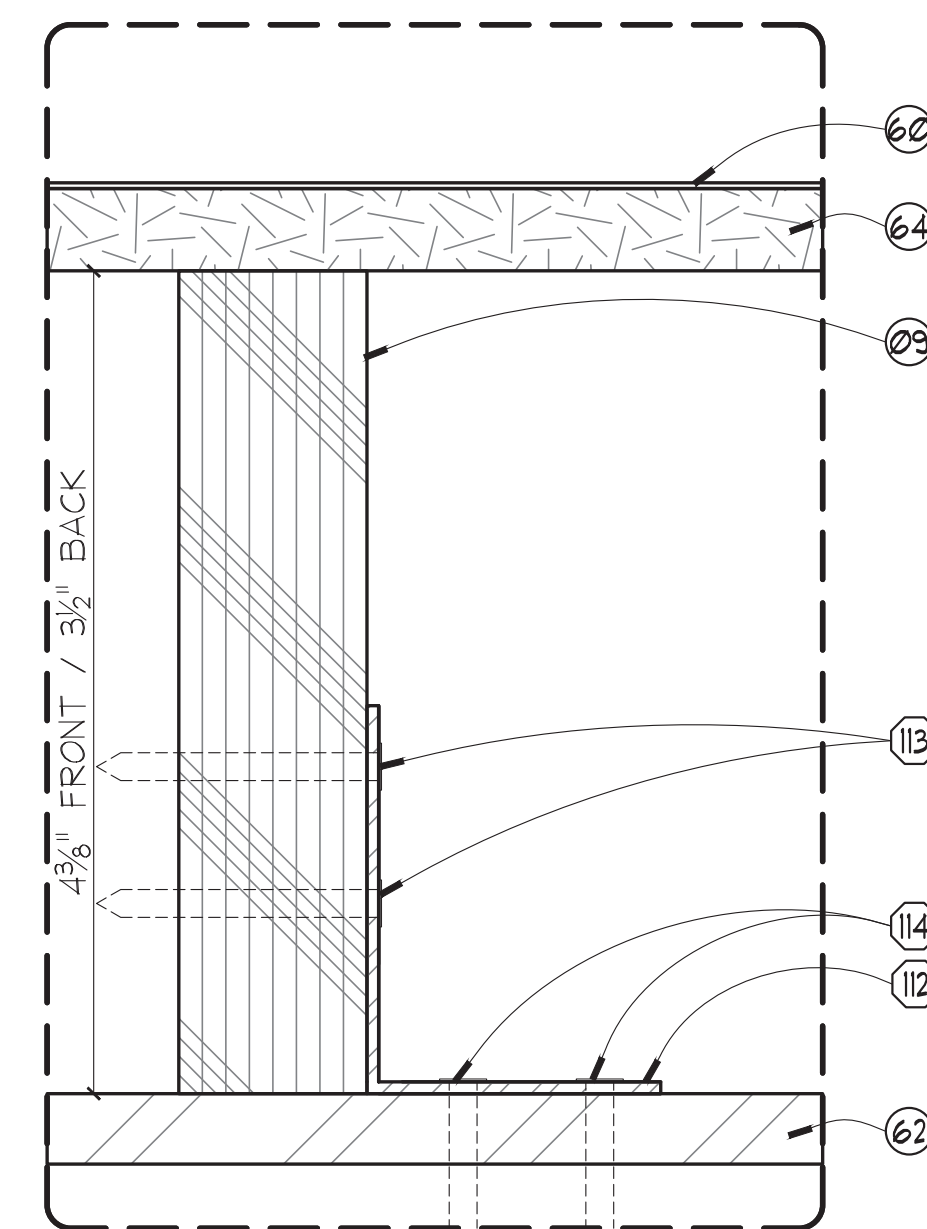
SHIP ORDER NO. 10006338

RELEASED



CEILING SIMPSON STRAP PLAN (65)
SCALE: 1/2" = 1'-0" (Full)
2A (2A)

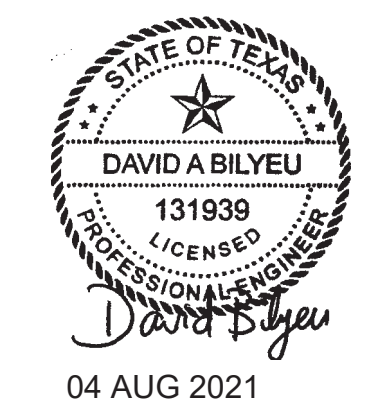
SIMPSON STRAP CEILING DETAIL (67)
SCALE: 1/2" = 1'-0" (Full)
2M



SIMPSON STRAP SECTION (66)
SCALE: 1/2" = 1'-0" (Full)
2M

KEYNOTING SCHEDULES		
MATERIAL SCHEDULE		
MARK	MFG. CAT. NO.	DESCRIPTION
(09)		1" thk. Plywood
(10)		1-1/2" thk. Plywood
(60)		EDPM ROOFING
(62)	1109SL	RIDGE CORP .368" TRANSORE WALL BOARD
(64)		7/16 OSB

HARDWARE SCHEDULE		
MARK	MFG. CAT. NO.	DESCRIPTION
(112)	A21	SIMPSON STRONG TIE Galvanized Angle
(113)		10D X 1-1/2" Nail
(114)		10D X 2-1/2" Nail



STENCILING	TOTAL UNITS REQ'D
CLIENT CODE	1
DO NOT SCALE DRAWINGS	

GENERAL NOTE
This drawing is the property of, and contains design data which is proprietary to George P. Johnson. Reproduction, use, or transfer of this drawing, or any information contained herein, to others, except as specifically authorized in connection with this project only, is NOT permitted without written approval of George P. Johnson.
COPYRIGHT 2021 GEORGE P. JOHNSON



CLIENT	CVS HEALTH
PROJECT	TESTING BOOTH BUILD TN FA
ELEMENT	TESTING KIOSK
DRAWING	CEILING REVISION SECTION AND DETAIL

APPROVALS					
EST.	DESIGN	SALES	PRODUCTION	STRUCTURAL	
DT	DT	DT	DA	DB	

FABRICATION LOCATION	CONTAINER
NASHVILLE	LOOSE
USAGE	TO BE SHIPPED OVERSEAS?: NO
	CAN ELEMENT BE USED IN CA: YES
DRAWING NO.	DATE
6672-02M	10/23/20

SHIP ORDER NO. **10006338**

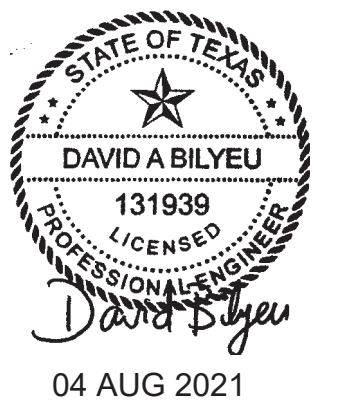
RELEASED

P:\88424\2021_6672\6672.dwg, 6/2/2021 10:35:25 AM, TSWire, Adam Hill Eng.

ISSUE DATE: 04/23/2021

PAGE LEFT INTENTIONALLY BLANK

PAGE LEFT INTENTIONALLY BLANK



STENCILING	TOTAL UNITS REQ'D
CLIENT CODE 884024	1
DO NOT SCALE DRAWINGS	

GENERAL NOTE
 This drawing is the property of, and contains design data which is proprietary to George P. Johnson. Reproduction, use, or transfer of this drawing, or any information contained herein, to others, except as specifically authorized in connection with this project only, is NOT permitted without written approval of George P. Johnson.
COPYRIGHT 2021 GEORGE P. JOHNSON



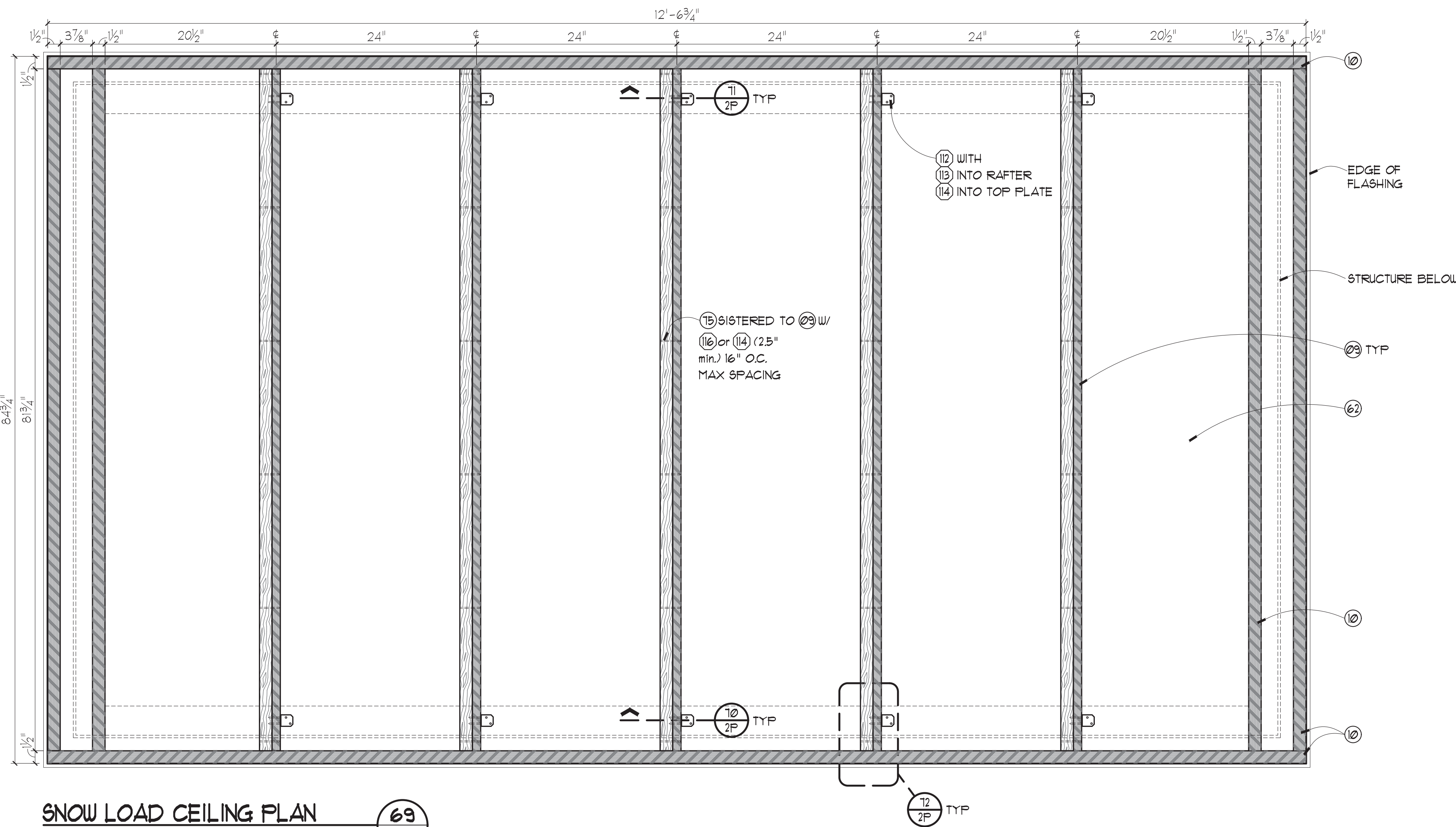
<small>CLIENT</small>	CVS HEALTH
<small>PROJECT</small>	TESTING BOOTH BUILD TN FA
<small>ELEMENT</small>	TESTING KIOSK
<small>DRAWING</small>	SNOW LOAD ROOFSECTIONS & DETAILS
<small>SHEET NO</small>	

APPROVALS					
<small>EST.</small>	<small>DESIGN</small>	<small>SALES</small>	<small>PRODUCTION</small>	<small>STRUCTURAL</small>	
DT	DT	DT	DA	DB	

<small>FABRICATION LOCATION</small>	<small>CONTAINER</small>
NASHVILLE	LOOSE
<small>USAGE</small>	<small>TO BE SHIPPED OVERSEAS?:</small>
	NO
<small>CAN ELEMENT BE USED IN CA:</small>	YES
<small>DRAWING NO.</small>	<small>DRAWN</small>
6672-02N	JG
<small>APPR DATE</small>	<small>APPR DATE</small>
	10/23/20

SHIP ORDER NO.
10006338

RELEASED

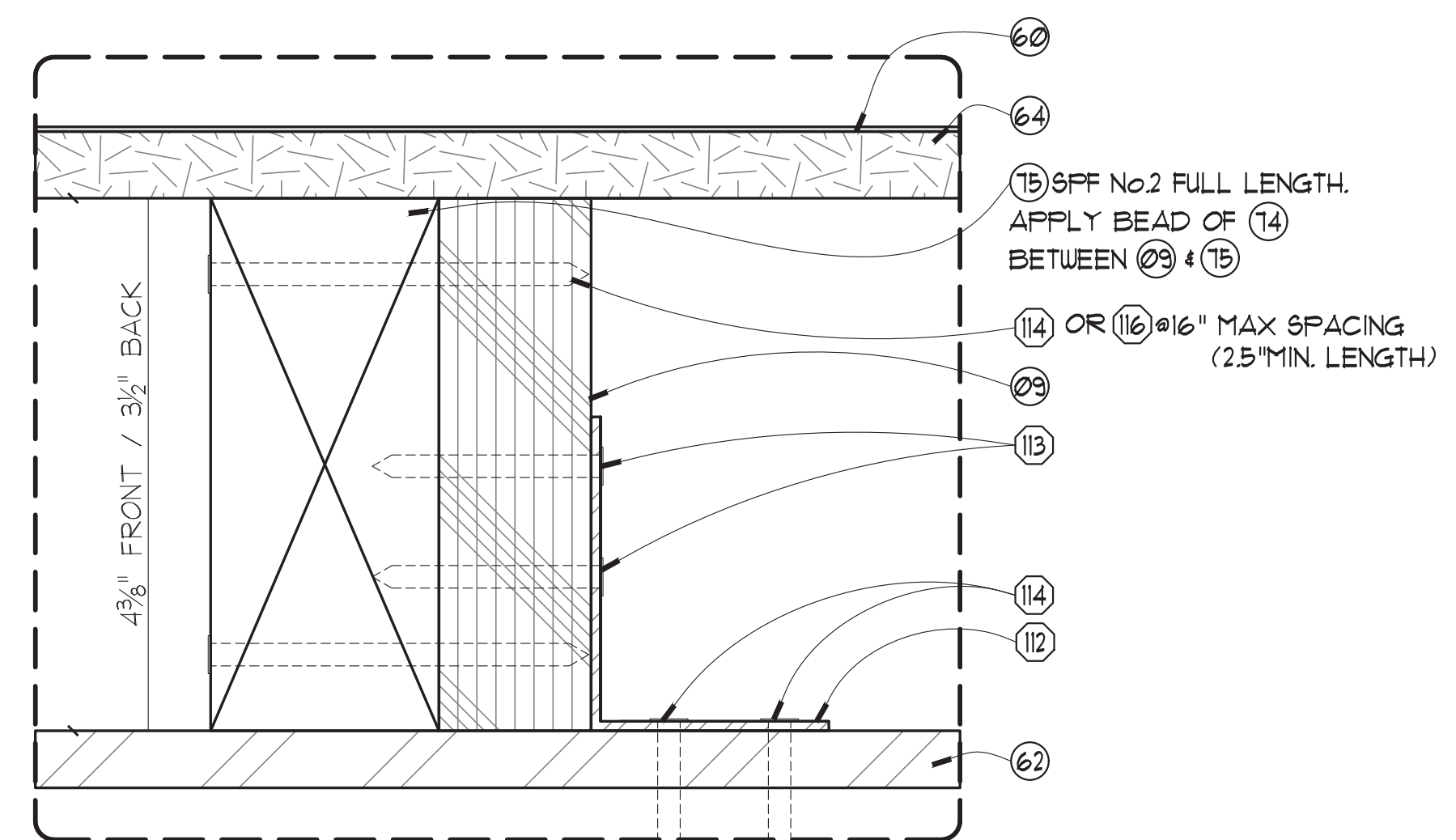


PLEASE NOTE: DETAILS ON PAGES 02P & 02R ARE FOR TESTING KIOSKS INTENDED FOR LOCATIONS WITH GROUND SNOW LOAD OVER 35 PSF

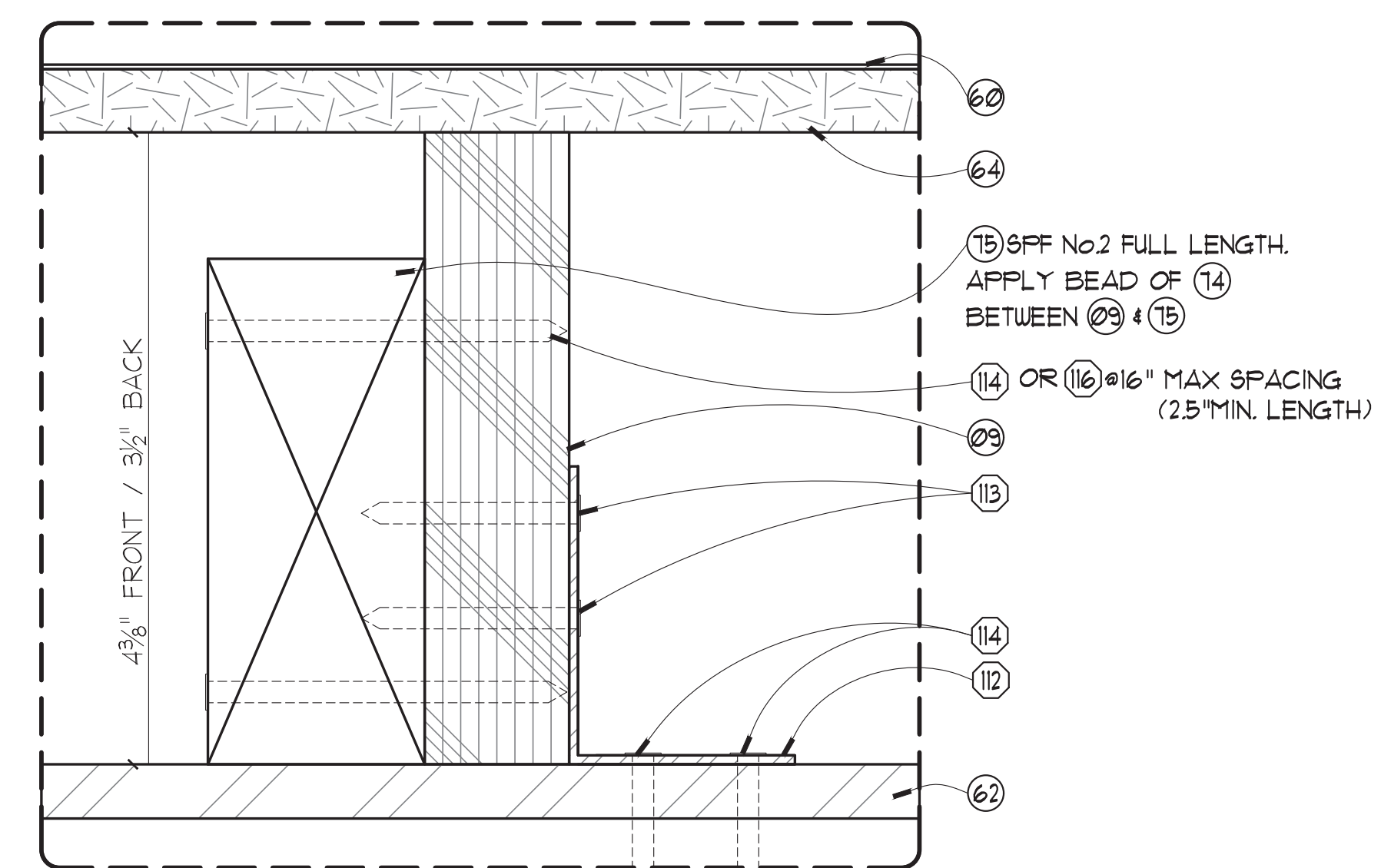
KEYNOTING SCHEDULES		
MATERIAL SCHEDULE		
MARK	MFG. CAT. NO.	DESCRIPTION
(09)		1" thk. Plywood
(10)		1-1/2" thk. Plywood
(60)		EDPM ROOFING
(62)	1109SL	RIDGE CORP. .368" TRANSORE WALL BOARD
(64)		7/16 OSB
(74)		CONSTRUCTION ADHESIVE
(75)		2x4

HARDWARE SCHEDULE		
MARK	MFG. CAT. NO.	DESCRIPTION
(112)	A21	SIMPSON STRONG TIE Galvanized Angle
(113)		100 X 1-1/2" Nail
(114)		100 X 2-1/2" Nail
(116)		80 X 2-1/2" Nail

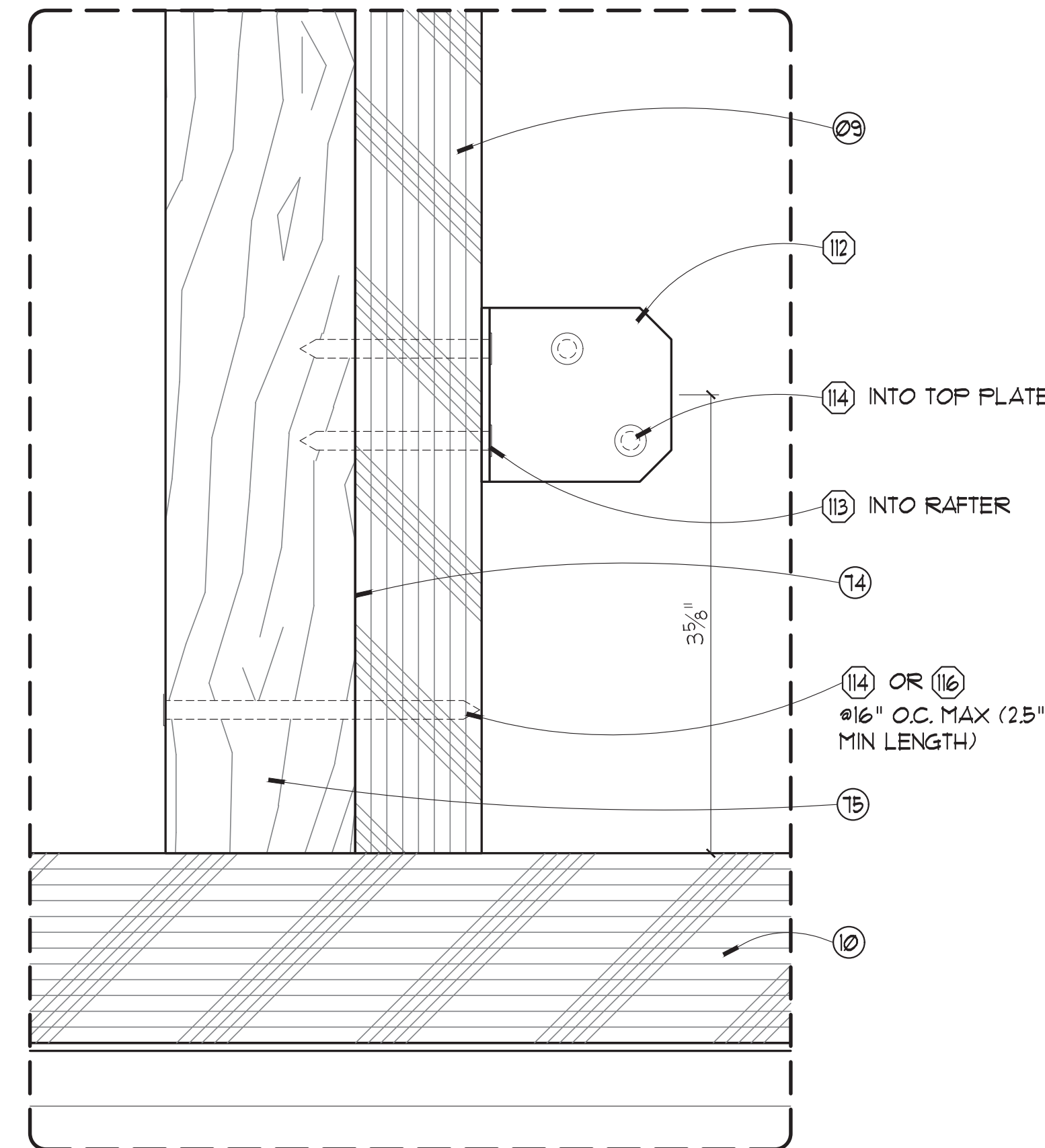
SNOW LOAD CEILING PLAN (69)
SCALE: 1-1/2" = 1'-0"



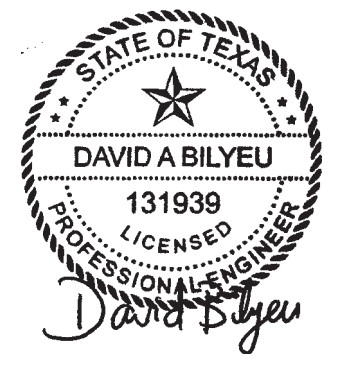
SNOW LOAD RAFTER SECTION - A (70)
SCALE: 12" = 1'-0" (Full)



SNOW LOAD RAFTER SECTION - B (71)
SCALE: 12" = 1'-0" (Full)



SNOW LOAD RAFTER CEILING DETAIL (72)
SCALE: 12" = 1'-0" (Full)



04 AUG 2021

STENCILING	TOTAL UNITS REQ'D
CLIENT CODE 884024	1
DO NOT SCALE DRAWINGS	

GENERAL NOTE
This drawing is the property of, and contains design data which is proprietary to George P. Johnson. Reproduction, use, or transfer of this drawing, or any information contained herein, to others, except as specifically authorized in connection with this project only, is NOT permitted without written approval of George P. Johnson.
COPYRIGHT 2021 GEORGE P. JOHNSON



CLIENT CVS HEALTH	
PROJECT TESTING BOOTH BUILD TN FA	
ELEMENT TESTING KIOSK	
DRAWING SNOW LOAD CEILING SECTIONS & DETAILS	

APPROVALS					
EST.	DESIGN	SALES	PRODUCTION	STRUCTURAL	
DT	DT	DT	DA	DB	

FABRICATION LOCATION NASHVILLE	CONTAINER LOOSE
USAGE TO BE SHIPPED OVERSEAS?: NO	CAN ELEMENT BE USED IN CA: YES
DRAWING NO. 6672-02P	DATE 10/23/20

SHIP ORDER NO. **10006338**

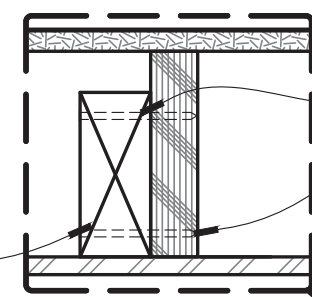
RELEASED

P:\884024\0201_6672\6672-02P.dwg, 6/22/2021 10:36:26 AM, TShaw, Auburn Hill Eng.

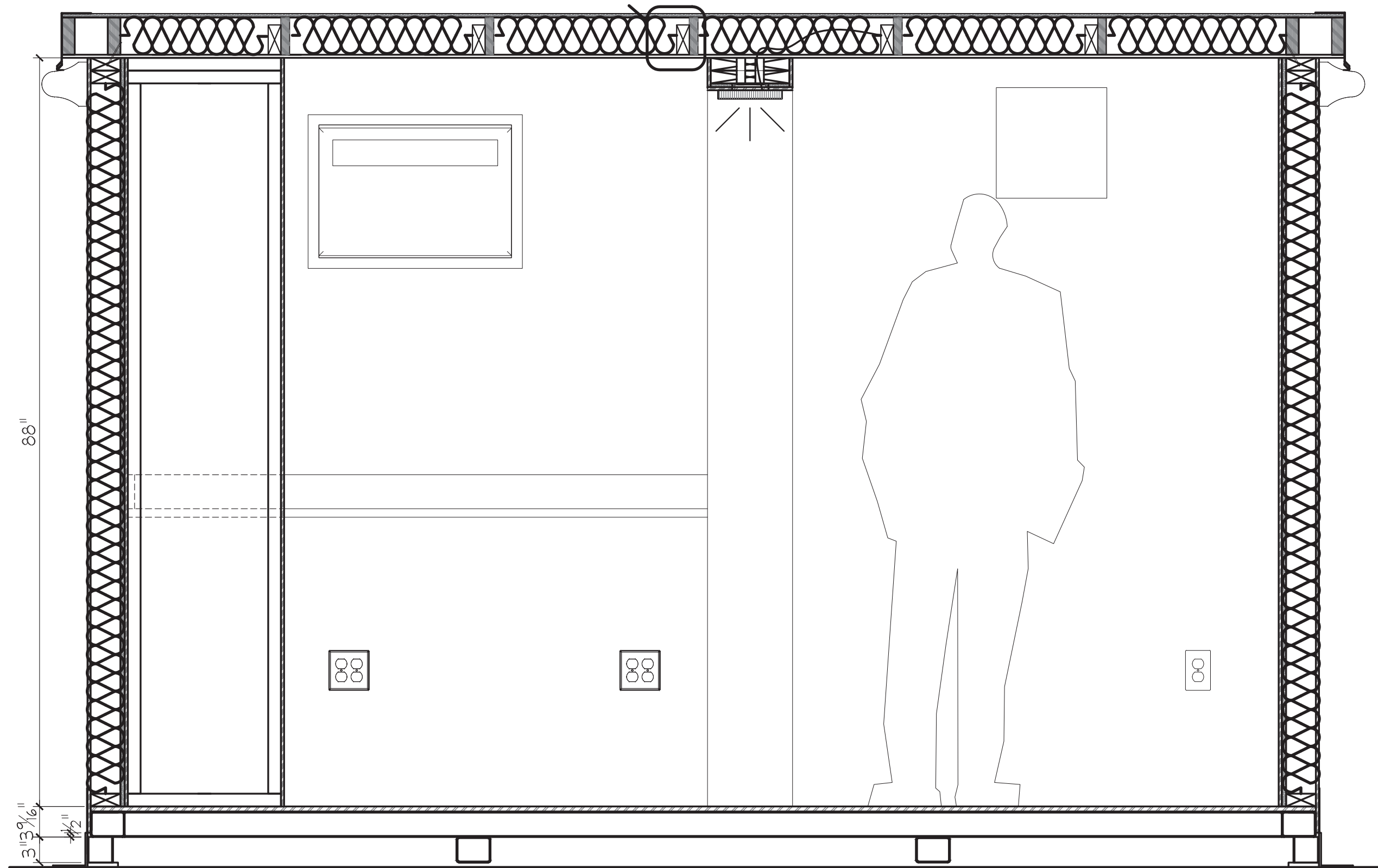
ISSUE DATE: 04/23/2021

PLEASE NOTE: DETAILS ON PAGES 02P & 02R ARE FOR TESTING KIOSKS INTENDED FOR HEAVY SNOW LOAD LOCATIONS.

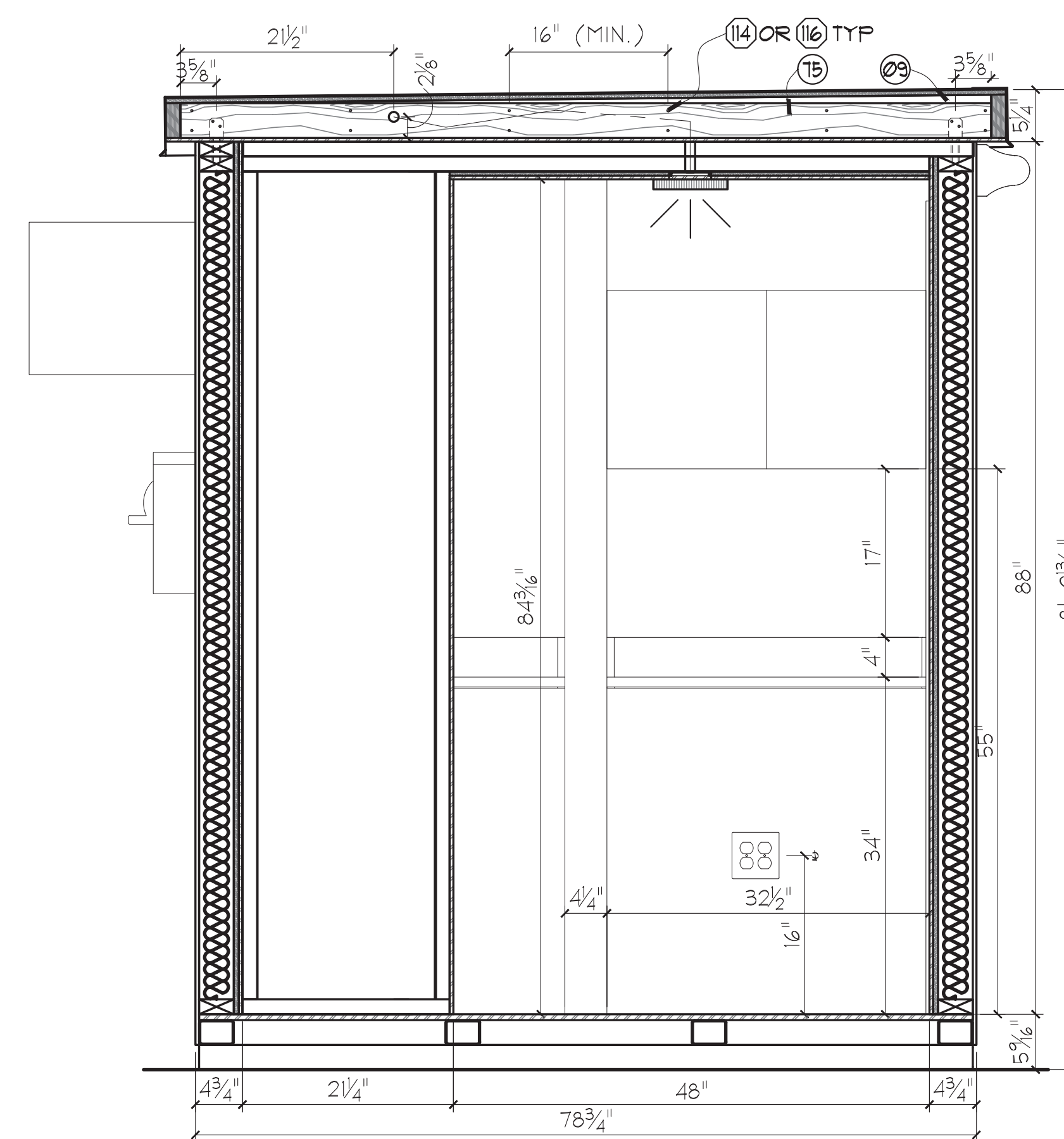
NEW 2X4 @FF No2 FULL LENGTH, APPLY BEAD OF CONSTRUCTION ADHESIVE BETWEEN PLYWOOD AND 2X.



8d OR 10d NAILS @16" O.C. MAX SPACING (2.5" MIN LENGTH)

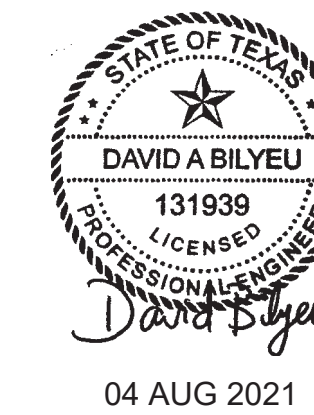


SNOW LOAD FULL SECTION - A (75) 2A
SCALE: 1" = 1'-0"



SNOW LOAD FULL SECTION - B (74) 2A
SCALE: 1" = 1'-0"

KEYNOTING SCHEDULES		
MATERIAL SCHEDULE		
MARK	MFG. CAT. NO.	DESCRIPTION
(09)		1" thk. Plywood
(75)		2x4
HARDWARE SCHEDULE		
MARK	MFG. CAT. NO.	DESCRIPTION
(114)		10D X 2-1/2" Nail
(116)		8D X 2-1/2" Nail



STENCILING	TOTAL UNITS REQ'D
CLIENT CODE 884024	1
DO NOT SCALE DRAWINGS	

GENERAL NOTE
This drawing is the property of, and contains design data which is proprietary to George P. Johnson. Reproduction, use, or transfer of this drawing, or any information contained herein, to others, except as specifically authorized in connection with this project only, is NOT permitted without written approval of George P. Johnson.
COPYRIGHT 2020 GEORGE P. JOHNSON



CLIENT	CVS HEALTH
PROJECT	TESTING BOOTH BUILD TN FA
ELEMENT	TESTING KIOSK
DRAWING	SNOW LOAD SECTIONS & DETAILS
SHEET NO.	

APPROVALS					
EST.	DESIGN	SALES	PRODUCTION	STRUCTURAL	
DT	DT	DT	DA	DB	

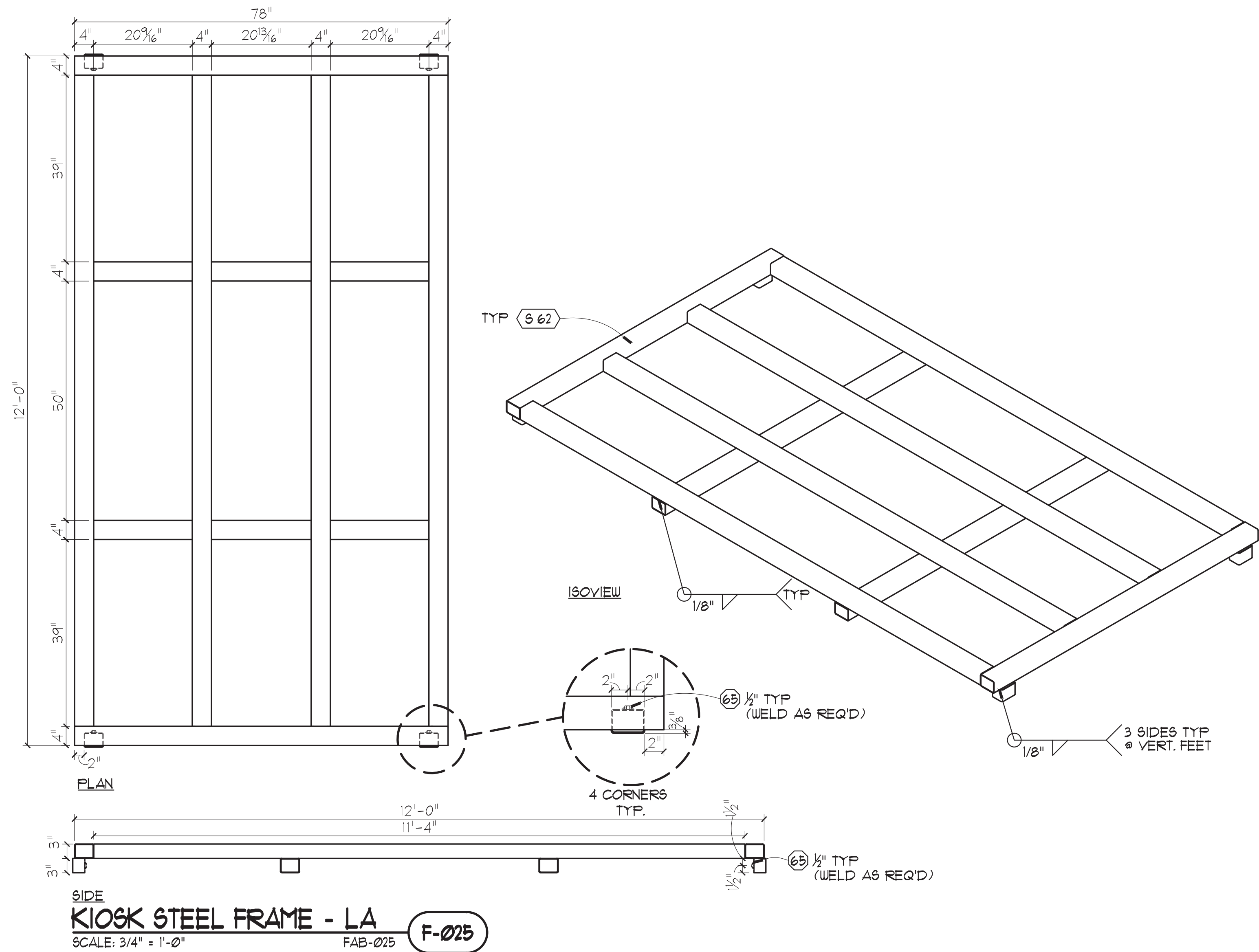
FABRICATION LOCATION	COUNTY/FIRM		
NASHVILLE	LOOSE		
USAGE	TO BE SHIPPED OVERSEAS?: NO		
	CAN ELEMENT BE USED IN CA: YES		
DRAWING NO.	DRAWN	APPR	APPR DATE
6672-02R	JG	DB	10/23/20

SHIP ORDER NO. **10006338**

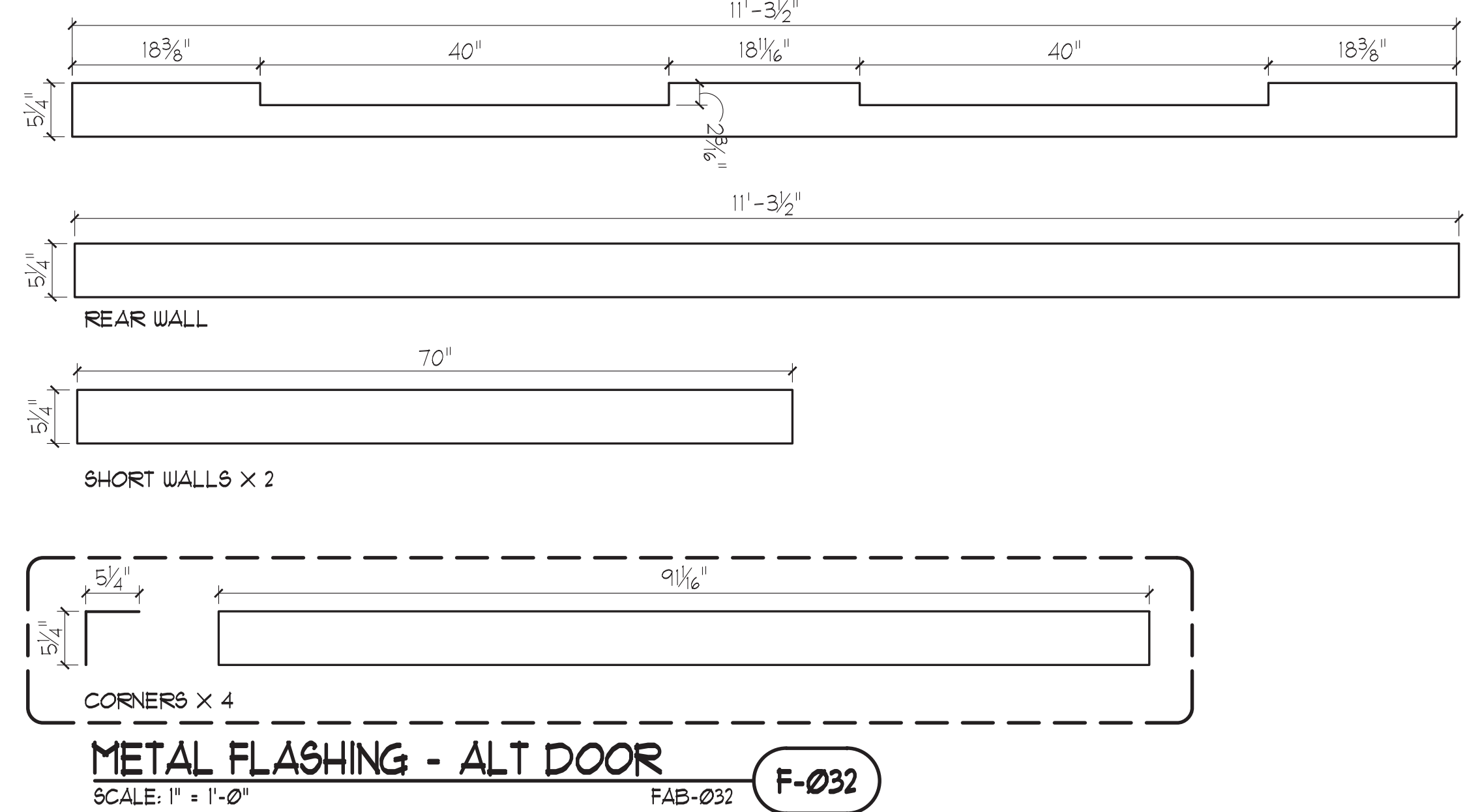
RELEASED

P:\884024\02R_6672\6672_02R.dwg, 6/2/2021, 10:38:26 AM, TSherr, Auburn title Eng.

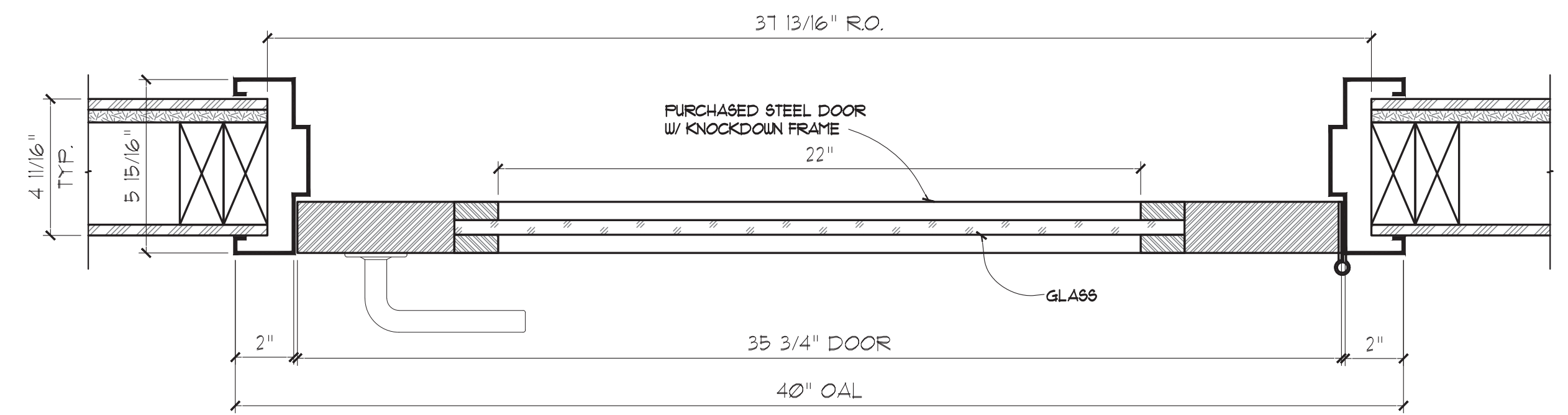
ISSUE DATE: 04/23/2021



KIOSK STEEL FRAME - LA
 SCALE: 3/4" = 1'-0"
 FAB-025 **F-025**



METAL FLASHING - ALT DOOR
 SCALE: 1" = 1'-0"
 FAB-032 **F-032**



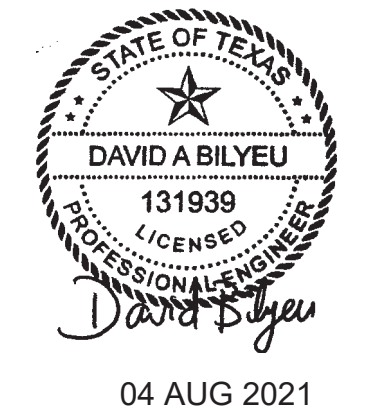
DOOR SECTION ALTERNATE
 SCALE: 3" = 1'-0"
50
 8A

KEYNOTING SCHEDULES

HARDWARE SCHEDULE		
MARK	MFG. CAT. NO.	DESCRIPTION
(65)		Weld-nut

METAL SCHEDULE	
MARK	DESCRIPTION
(S 62)	STEEL TUBE - 3"x4"x1/8" wall

FABRICATED PARTS SCHEDULE			
(QUANTITIES LISTED ARE FOR ONE ELEMENT)			
MARK	QTY. REQ'D	SOURCE	DESCRIPTION
F-025	1	GPJ	KIOSK STEEL FRAME - LA
F-032	1	GPJ	METAL FLASHING - ALT DOOR



04 AUG 2021

STENCILING	TOTAL UNITS REQ'D
CLIENT CODE 884024	1
DO NOT SCALE DRAWINGS	

GENERAL NOTE
 This drawing is the property of, and contains design data which is proprietary to George P. Johnson. Reproduction, use, or transfer of this drawing, or any information contained herein, to others, except as specifically authorized in connection with this project only, is NOT permitted without written approval of George P. Johnson.
 COPYRIGHT 2021 GEORGE P. JOHNSON



CLIENT	CVS HEALTH
PROJECT	TESTING BOOTH BUILD TN FA
ELEMENT	TESTING KIOSK
DRAWING	SECTIONS, DETAILS & FAB ALTERNATES

APPROVALS					
EST.	DESIGN	SALES	PRODUCTION	STRUCTURAL	
DT	DT	DT	DA	DB	

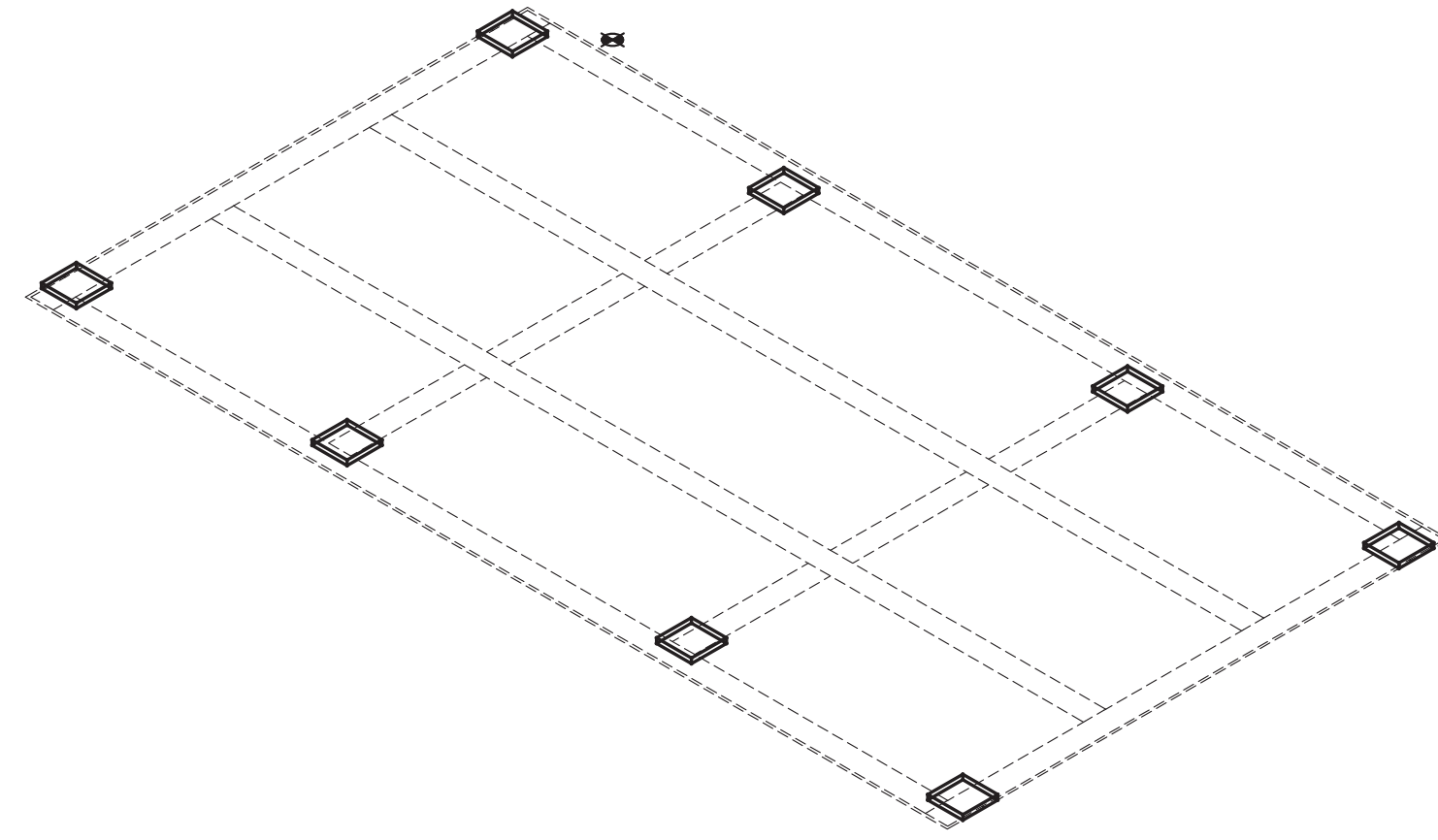
FABRICATION LOCATION	CONTAINER
NASHVILLE	LOOSE
USAGE	TO BE SHIPPED OVERSEAS?: NO
	CAN ELEMENT BE USED IN CA: YES
DRAWING NO.	DATE
6672-025	JP

SHIP ORDER NO. **10006338**

RELEASED

P:\884024\025_6672\6672-025.dwg, 6/2/2021 10:38:37 AM, TShaw, AutoCAD 2021

ISSUE DATE



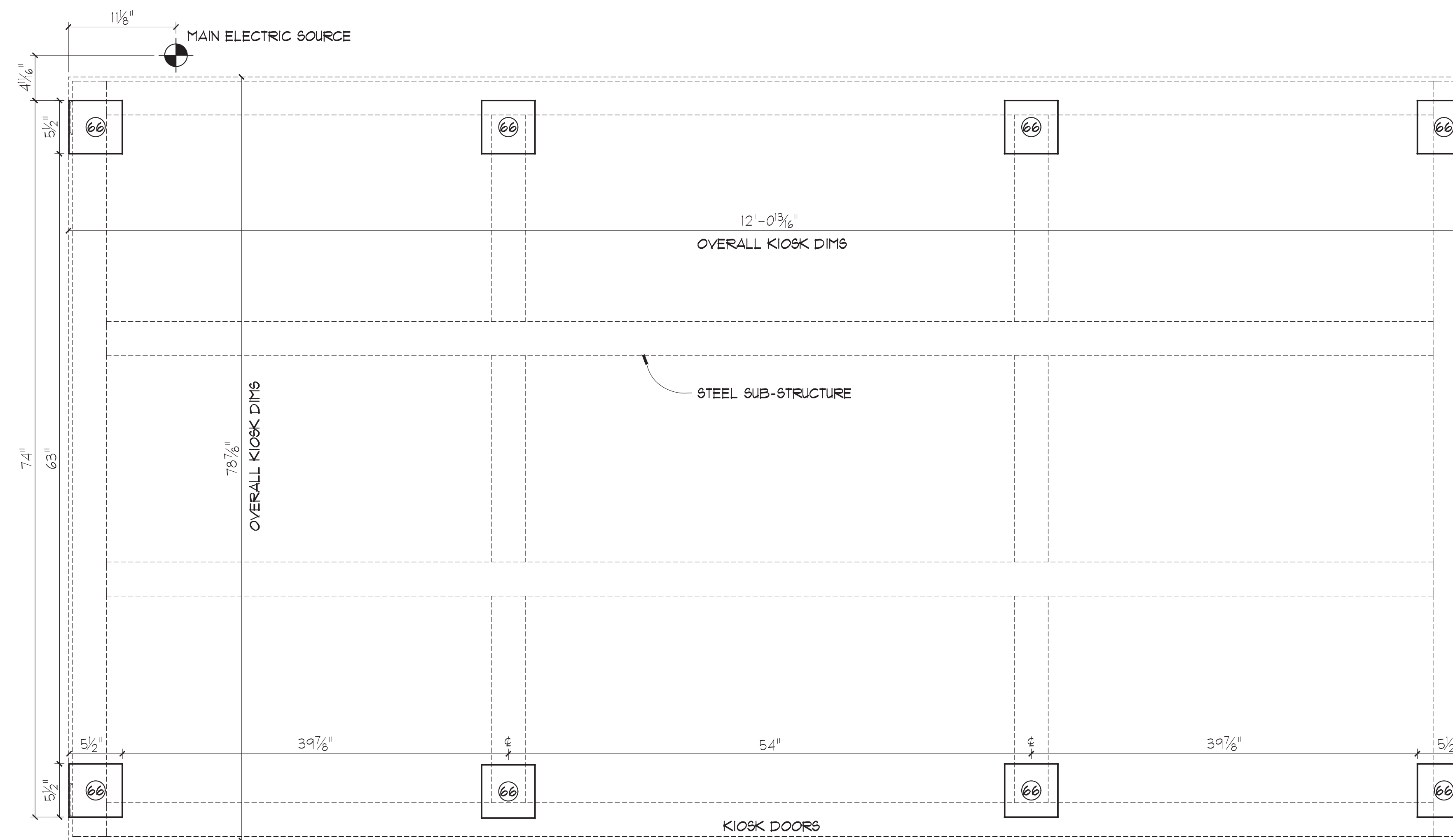
LEVELING BLOCK - ISO VIEW

-PRIOR TO REMOVING KIOSK FROM TRUCK, PLACE LEVELING BLOCKS IN APPROXIMATE LOCATION AS SHOWN. PLEASE NOTE THAT BLOCKS MUST BE PLACED WITHIN THE PERIMETER OF THE KIOSK.

-MARK LOCATION FOR MAIN ELECTRIC LOCATION.

-MAXIMUM OF 4" HEIGHT FOR ANY TREATED LUMBER SHIM.

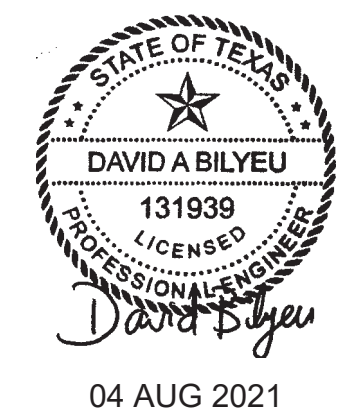
-WHEN SHIMMING VERTICAL FEET, THE FULL FOOT MUST BE BEARING ON TREATED LUMBER SHIM.



KIOSK LEVELING BLOCK AND ELECTRICAL SOURCE PLACEMENT
SCALE: 1-1/2" = 1'-0"

KEYNOTING SCHEDULES

MATERIAL SCHEDULE		
MARK	MFG. CAT. NO.	DESCRIPTION
66		TREATED LUMBER



DO NOT SCALE DRAWINGS

GENERAL NOTE
This drawing is the property of, and contains design data which is proprietary to George P. Johnson. Reproduction, use, or transfer of this drawing, or any information contained herein, to others, except as specifically authorized in connection with this project only, is NOT permitted without written approval of George P. Johnson.
COPYRIGHT 2021 GEORGE P. JOHNSON

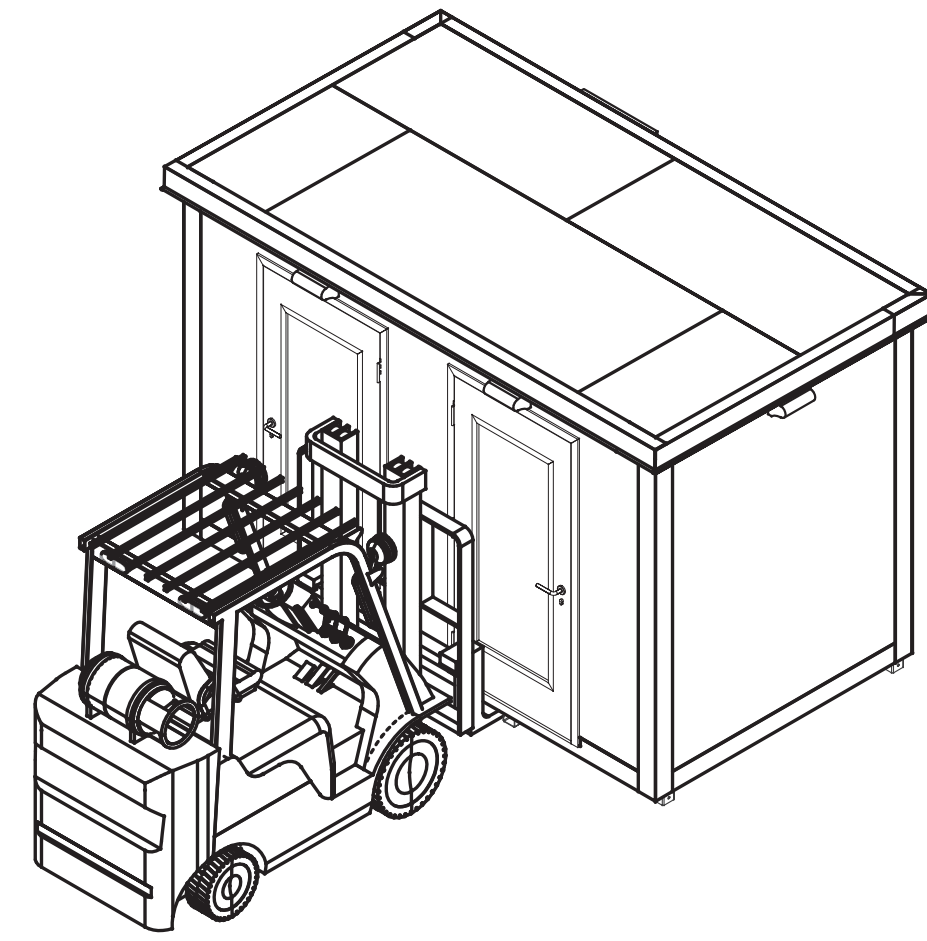


CLIENT: **CVS HEALTH**
PROJECT: **TESTING BOOTH BUILD TN FA**
ELEMENT:
DRAWING: **LEVELING BLOCK PLACEMENT** SHEET NO:

FABRICATION LOCATION: **NASHVILLE** CONTAINER:
USAGE: **TO BE SHIPPED OVERSEAS?**
CAN ELEMENT BE USED IN CA?
DRAWING NO.: **6672-INS-A** DRAWN: **JP** APPR: APPR DATE:

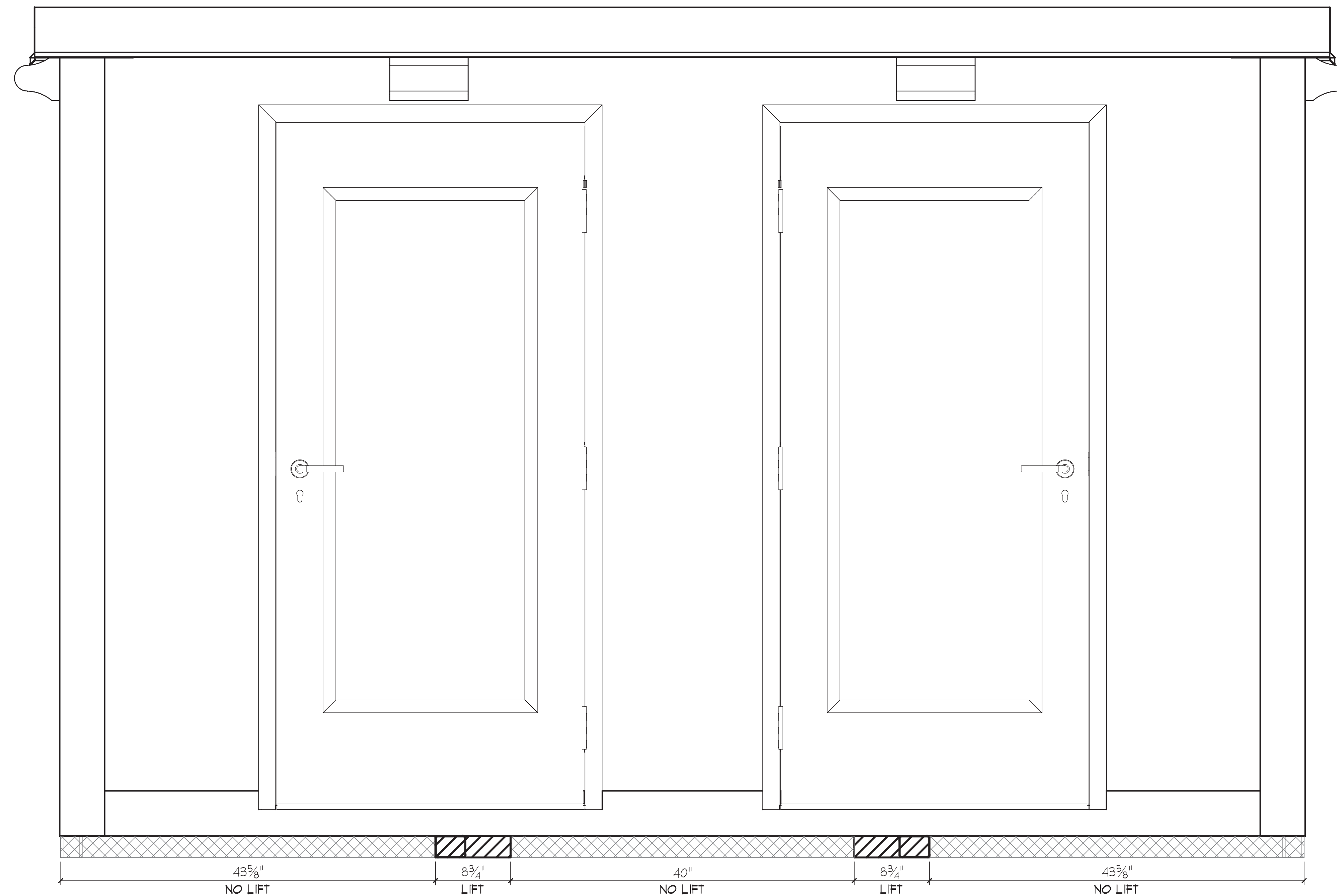
SHOP ORDER NO.: **10006338**

RELEASED



FORK LIFT - 160 VIEW

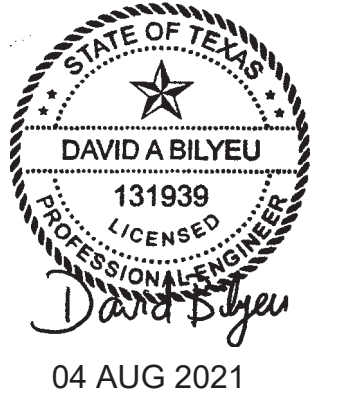
- PLEASE NOTE: FORKLIFT SHOWN IN ILLUSTRATION IS FOR REFERENCE ONLY. PLEASE UTILIZE METHOD THAT CAN ACCOMMODATE PROPER WEIGHT, SIZE, ETC. OF TESTING KIOSK (SEE SPECIFICATION TABLE).
- REMOVE SHIPPING TIE DOWN STRAPS, TAKING CARE NOT TO DAMAGE EXTERIOR SURFACES AND EQUIPMENT.
- IF USING FORKLIFT, PLACE 96" LONG MINIMUM FORKLIFT FORKS, SPACED AT A MINIMUM OF 48", UNDER KIOSK AS SHOWN IN ELEVATION BELOW.
- IF USING FORKLIFT, PROPERLY SECURE KIOSK TO FORKLIFT TO PREVENT UNIT FROM DAMAGE DURING REMOVAL OFF SHIPPING TRUCK AND ON SITE PLACEMENT.
- PLACE TESTING KIOSK ON LEVELING BLOCKS AND LEVEL/ADJUST AS REQUIRED.
- IF USING METHOD OTHER THAN FORKLIFT TO REMOVE AND INSTALL KIOSK, THE UNIT SHOULD BE LIFTED AT POINTS AS SHOWN BELOW. TAKE CARE NOT TO DAMAGE KIOSK OR ROOF FASCIA.



FORK LIFT - LIFT LOCATION
SCALE: 1-1/2" = 1'-0"

PLEASE NOTE: 48" MINIMUM FORK OR STRAP SPAN

UNIT SPECIFICATIONS
 LENGTH - 12'-8"
 WIDTH - 86"
 HEIGHT - 8'-3"
 WEIGHT - 3400 LBS



DO NOT SCALE DRAWINGS

GENERAL NOTE
 This drawing is the property of, and contains design data which is proprietary to George P. Johnson. Reproduction, use, or transfer of this drawing, or any information contained herein, to others, except as specifically authorized in connection with this project only, is NOT permitted without written approval of George P. Johnson.
 COPYRIGHT 2021 GEORGE P. JOHNSON



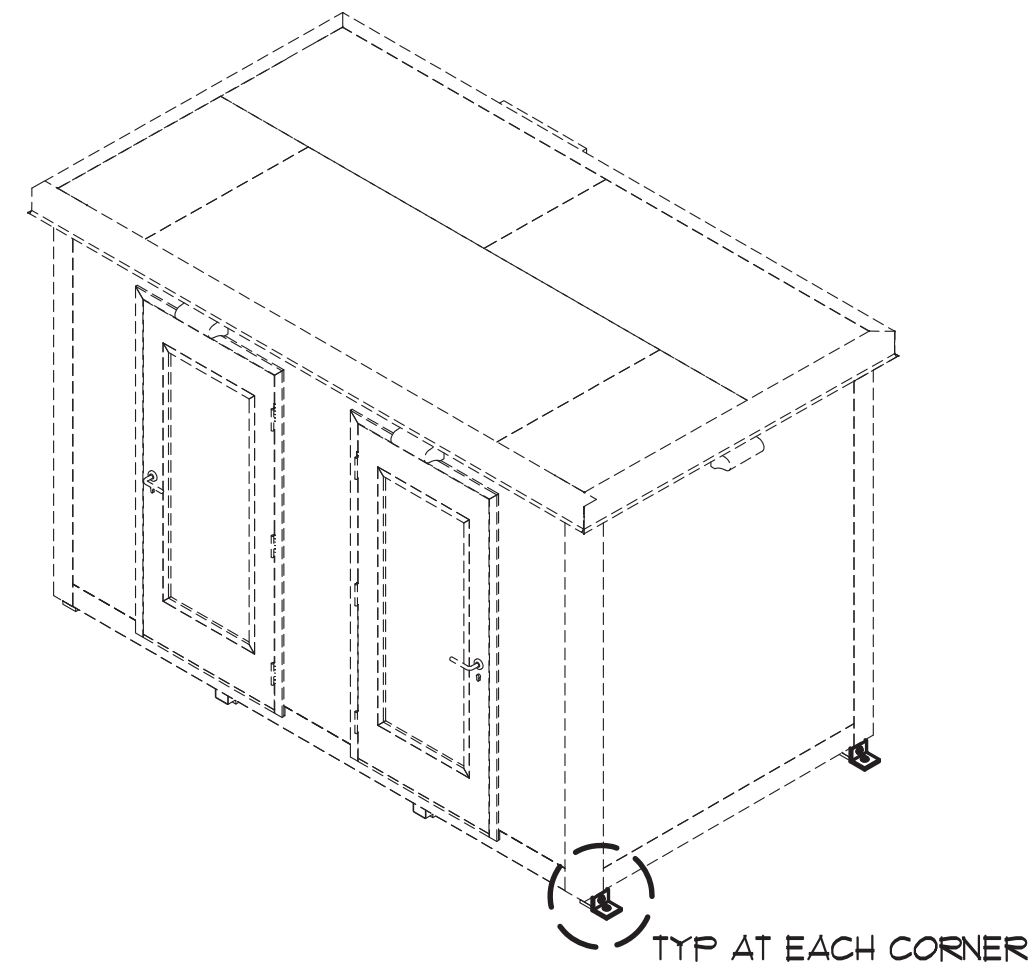
CLIENT: **CVS HEALTH**
 PROJECT: **TESTING BOOTH BUILD TN FA**
 ELEMENT:
 DRAWING: **FORK LIFT LOCATION** SHEET NO:

FABRICATION LOCATION: **NASHVILLE** CONTAINER:
 USAGE: **TO BE SHIPPED OVERSEAS?**
 CAN ELEMENT BE USED IN CA:
 DRAWING NO.: **6672-INS-B** DRAWN: **JP** APPR: APPR DATE:

SHOP ORDER NO.: **10006338**

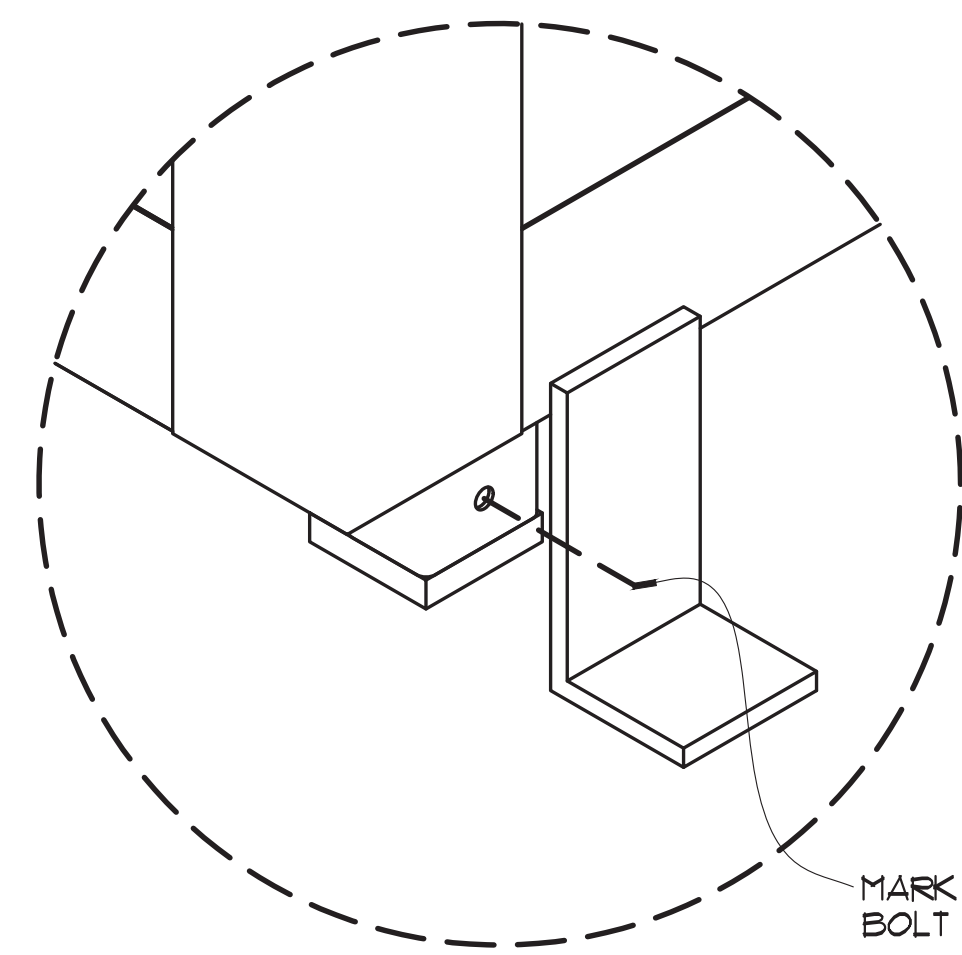
RELEASED

ISSUE DATE:



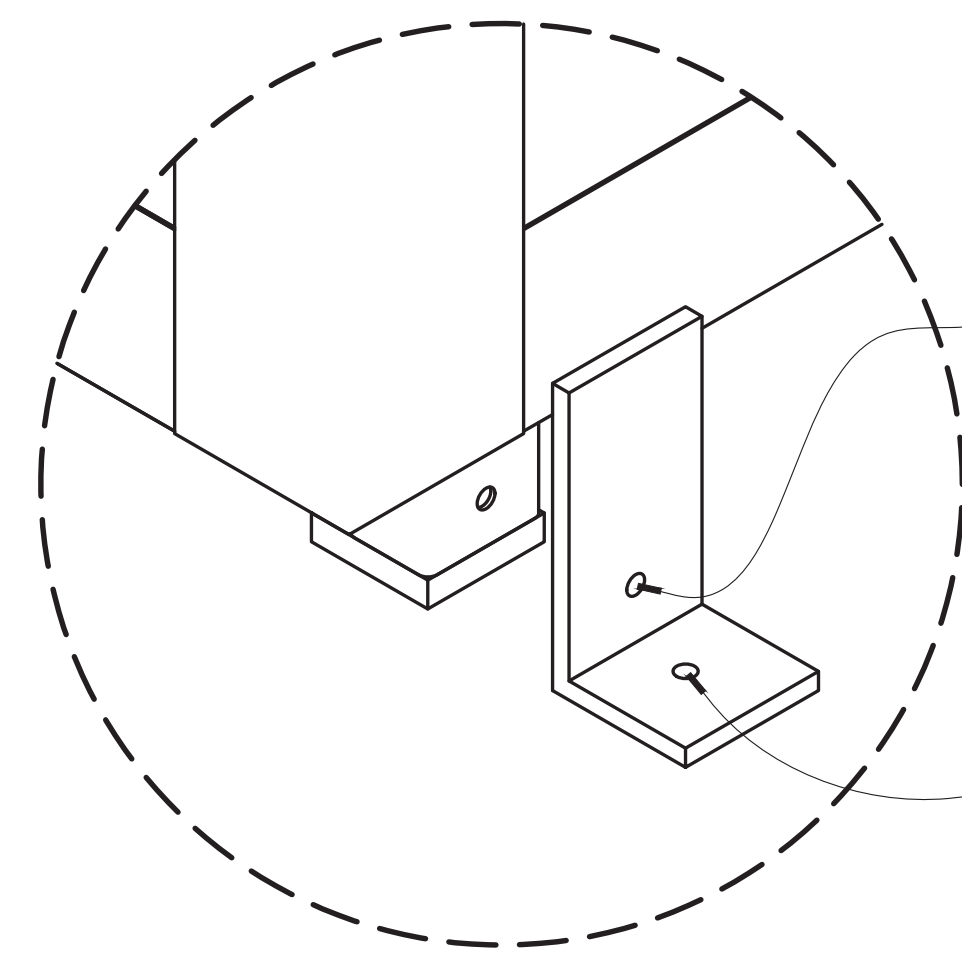
ANCHOR SYSTEM - ISO VIEW

-PLEASE NOTE: GROUND ANCHOR (BY GENERAL CONTRACTOR) TO BE DESIGNED FOR MINIMUM OF 400 LBS. SHEAR CAPACITY AND 800 LBS. UPLIFT CAPACITY FOR SERVICE WIND LOADS.



STEP #1

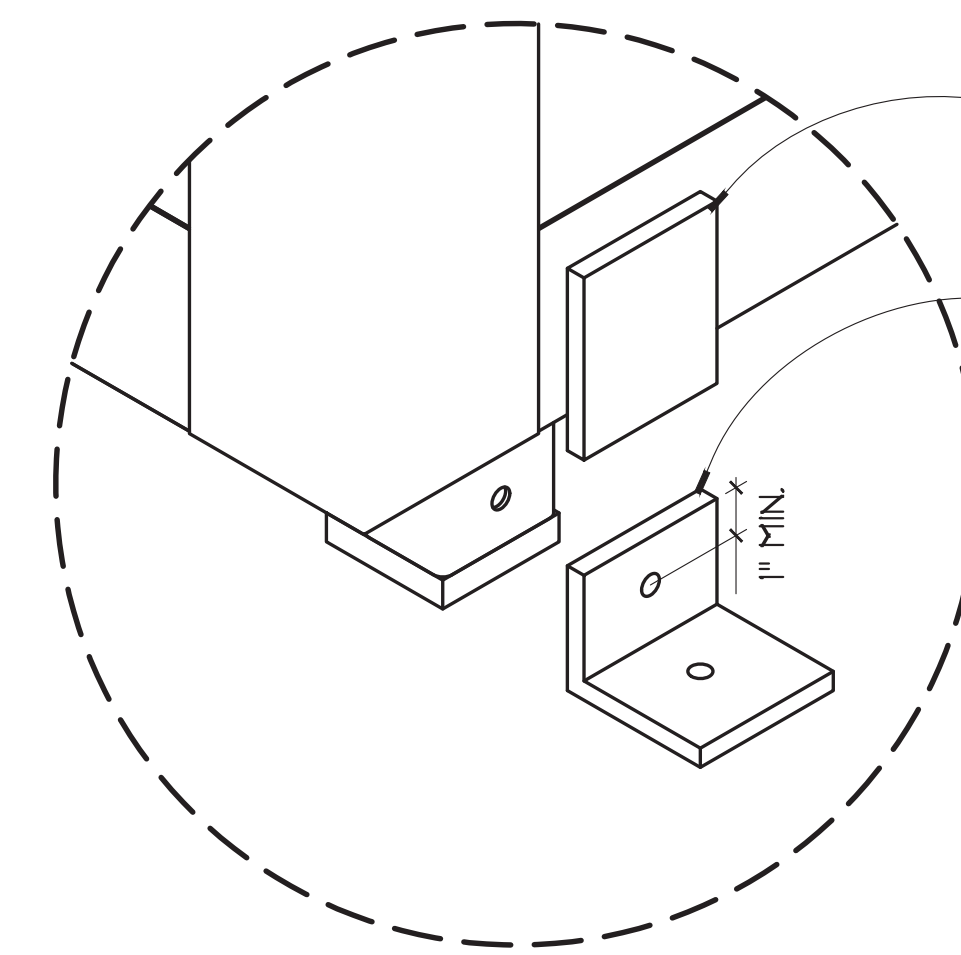
MARK 1/2" ANGLE WITH BOLT HOLE LOCATION



STEP #2

DRILL 1/2" DIA. THRU HOLE

DRILL THRU HOLE PER ANCHOR MANUFACTURER REQUIREMENTS

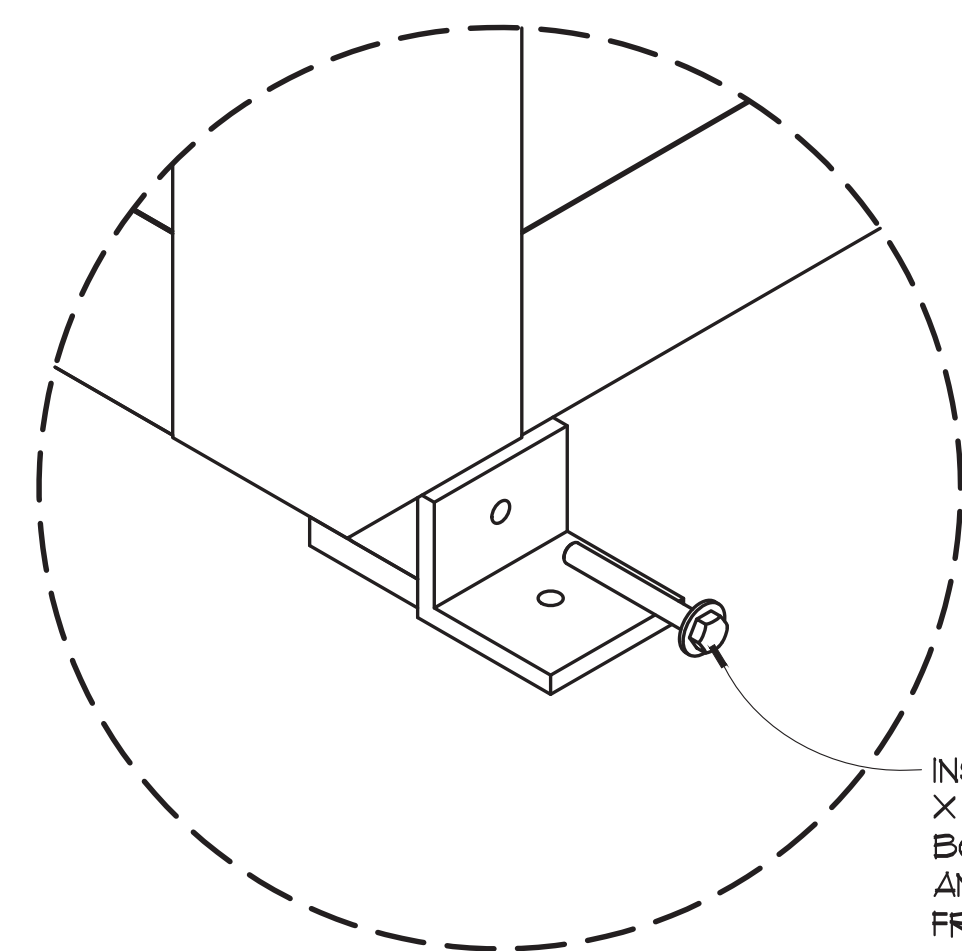


STEP #3

DISCARD EXCESS

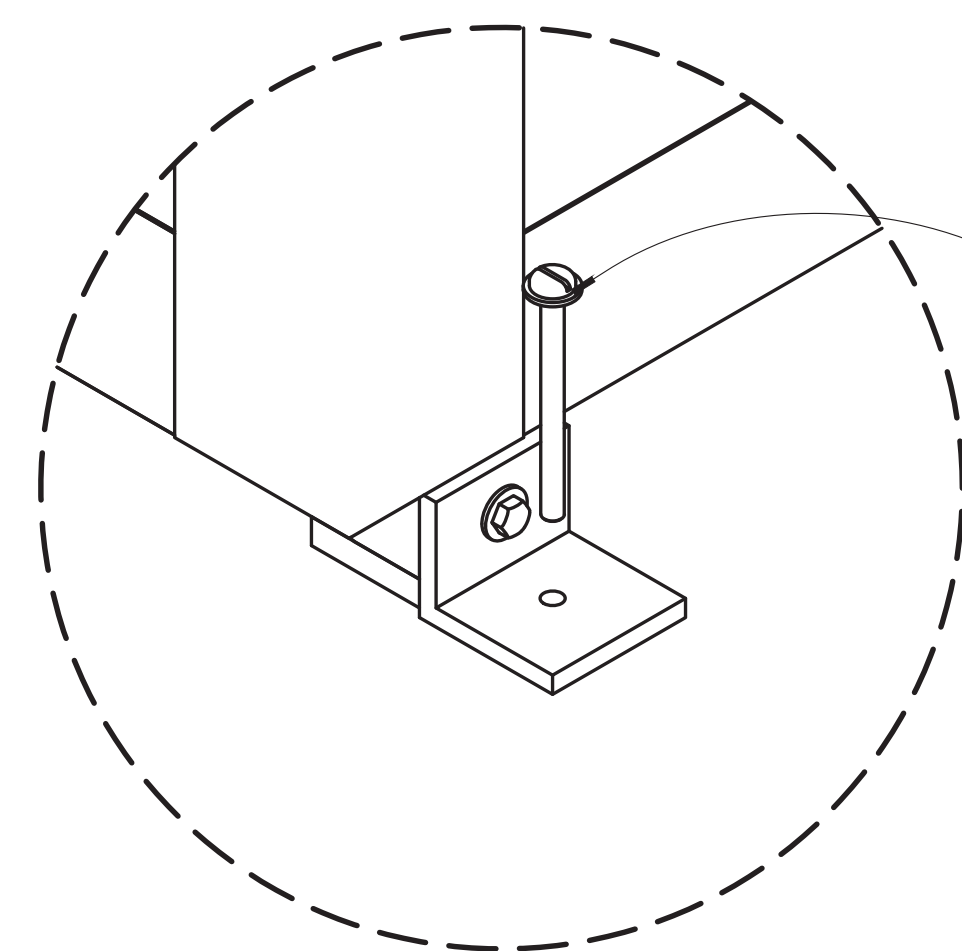
CUT ANGLE TO MATCH BASE FRAME HEIGHT

1" MIN.



STEP #4

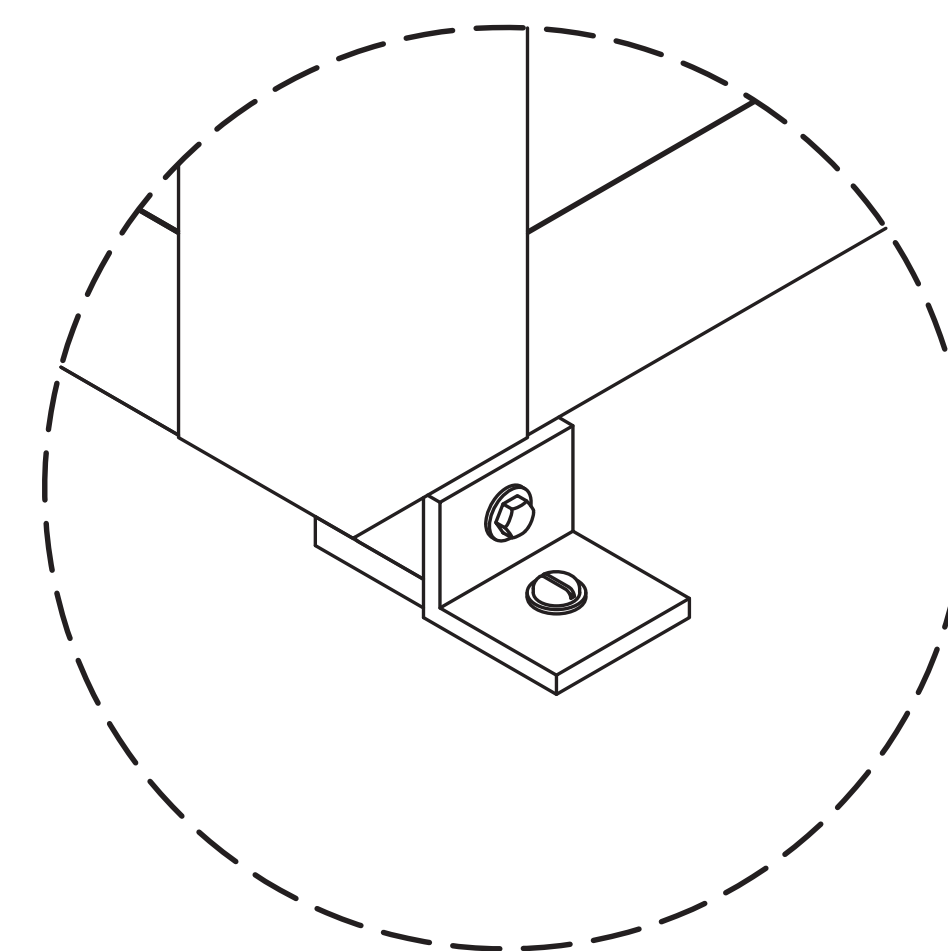
INSERT GALVANIZED 1/2" X 6" A325 HEX HEAD BOLT WITH WASHER THRU ANGLE INTO BASE FRAME



STEP #5

(12) ASPHALT CONDITIONS OR (122) FOR CONCRETE CONDITIONS (MIN 4" DEEP CONCRETE)

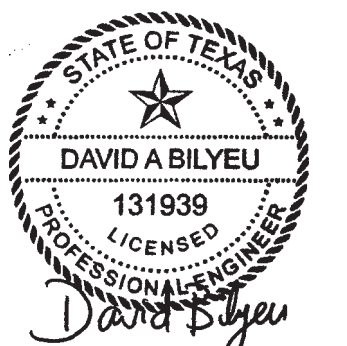
INSERT GROUND ANCHOR (BY GENERAL CONTRACTOR) PER MANUFACTURER SPECIFICATIONS



COMPLETED ANCHOR

ANCHOR SYSTEM - INSTALLATION STEPS
SCALE: NONE

KEYNOTING SCHEDULES		
HARDWARE SCHEDULE		
MARK	MFG. CAT. NO.	DESCRIPTION
(121)	PE18	AM. EARTH ANCHORS 18" PENETRATOR W HX 10
(122)		STRONG BOLT 2 WEDGE ANCHOR



04 AUG 2021

DO NOT SCALE DRAWINGS

GENERAL NOTE
This drawing is the property of, and contains design data which is proprietary to George P. Johnson. Reproduction, use, or transfer of this drawing, or any information contained herein, to others, except as specifically authorized in connection with this project only, is NOT permitted without written approval of George P. Johnson.
COPYRIGHT 2021 GEORGE P. JOHNSON



GEORGE P. JOHNSON
experience marketing
A PROJECT WORLDWIDE AGENCY

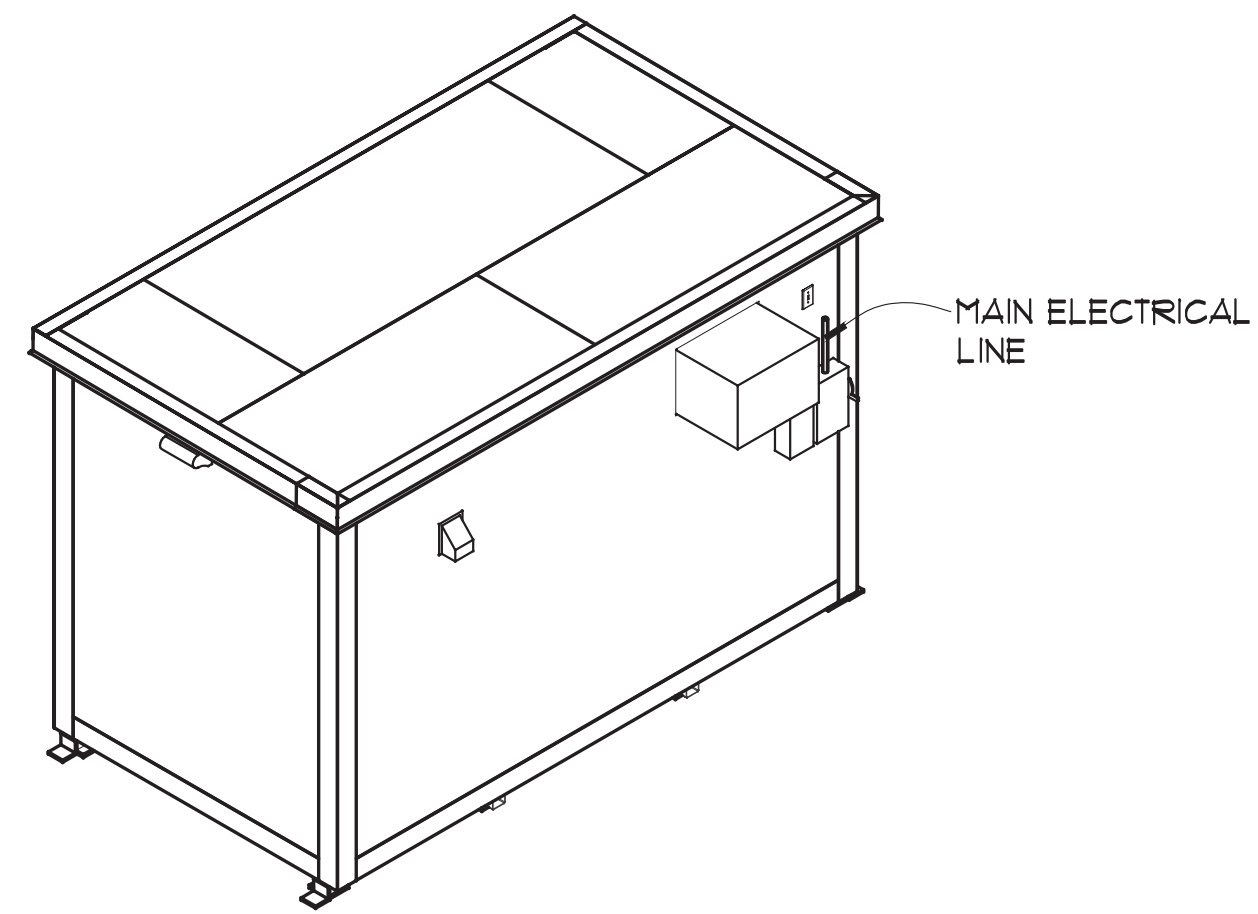
CLIENT	CVS HEALTH
PROJECT	TESTING BOOTH BUILD TN FA
ELEMENT	
DRAWING	UNIT ANCHORING
SHEET NO.	

FABRICATION LOCATION	CONTAINER
NASHVILLE	
USAGE	TO BE SHIPPED OVERSEAS? CAN ELEMENT BE USED IN CA?
DRAWING NO.	6672-INS-C
DRAWN	JP
APPR	
APPX DATE	

SHOP ORDER NO. **10006338**

RELEASED

ISSUE DATE:



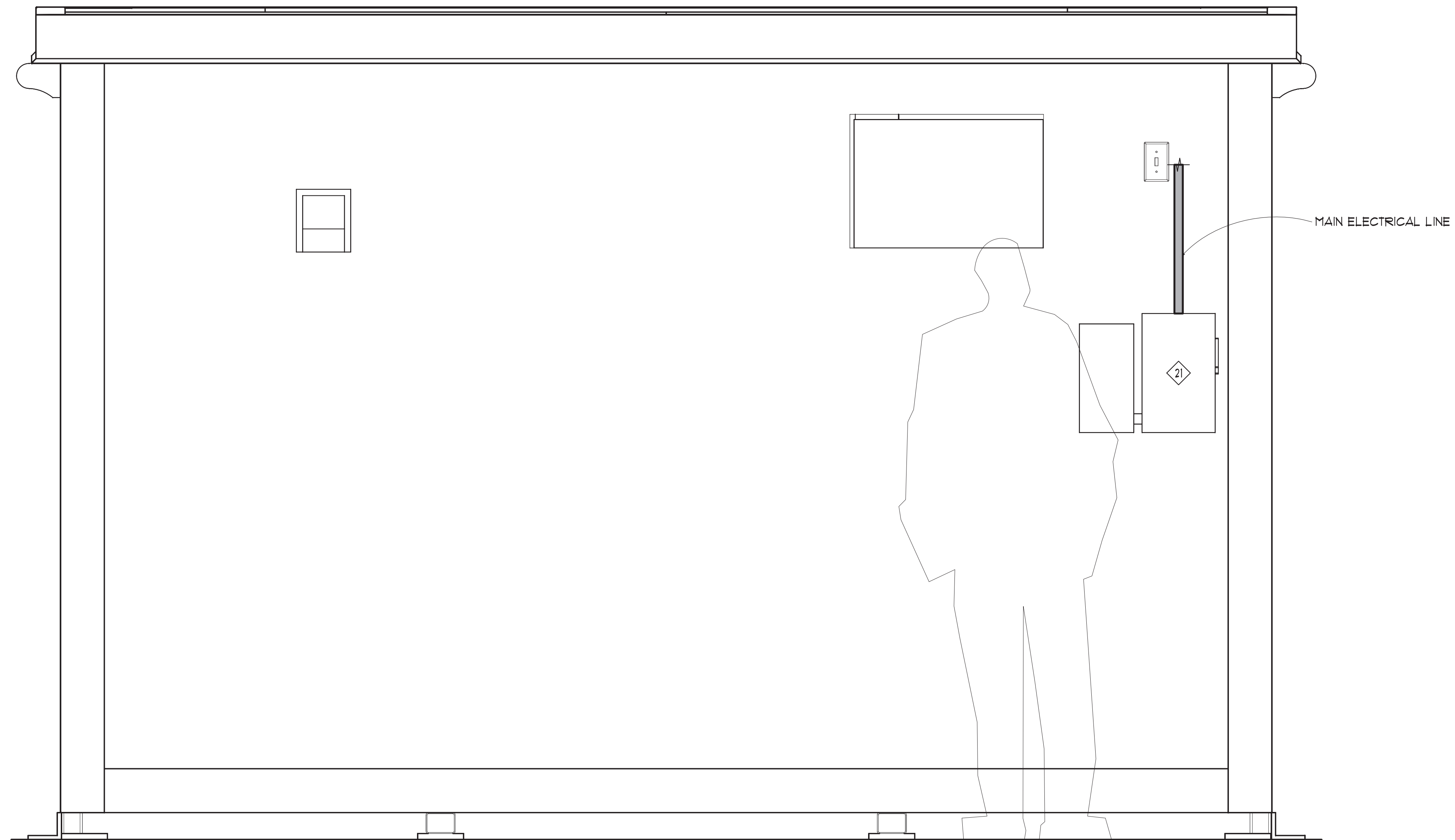
MAIN ELECTRICAL LINE

ELECTRICAL CONNECTION - ISO VIEW

-PLEASE NOTE: MAIN ELECTRICAL CONNECTION TO BE MADE AFTER TESTING KIOSK HAS BEEN PLACED AND ANCHORED IN LOCATION.

-PLEASE NOTE: SITE CONDITIONS AND ELECTRICAL ACCESS WILL DETERMINE HOW MAIN LINE IS INSTALLED TO MAIN POWER BOX.

-CERTIFIED ELECTRICIAN TO MAKE FINAL DETERMINATION AND INSTALLATION OF REQUIRED ELECTRICAL NEEDS FOR TESTING UNIT BASED ON LOCAL AND STATE CODE REQUIREMENTS.



MAIN ELECTRICAL LINE

TESTING KIOSK - MAIN ELECTRIC CONNECTION
SCALE: 1-1/2" = 1'-0"

KEYNOTING SCHEDULES

ELECTRICAL SCHEDULE		
MARK	MFG. CAT. NO.	DESCRIPTION
21	DC22URB	Eaton SUB PANEL DISCONNECT



DO NOT SCALE DRAWINGS

GENERAL NOTE
This drawing is the property of, and contains design data which is proprietary to George P. Johnson. Reproduction, use, or transfer of this drawing, or any information contained herein, to others, except as specifically authorized in connection with this project only, is NOT permitted without written approval of George P. Johnson.
COPYRIGHT 2021 GEORGE P. JOHNSON



CLIENT: **CVS HEALTH**
PROJECT: **TESTING BOOTH BUILD TN FA**
ELEMENT:
DRAWING: **ELECTRICAL CONNECTION** SHEET NO:

FABRICATION LOCATION: **NASHVILLE** CONTAINER:
USAGE: **TO BE SHIPPED OVERSEAS? CAN ELEMENT BE USED IN CA?**
DRAWING NO.: **6672-INS-D** DRAWN: **JP** APPR: APPR DATE:

SHOP ORDER NO.: **10006338**

RELEASED



COUNCIL AGENDA BRIEFING SHEET

Meeting Date:

December 13, 2021

Agenda Item:

Discuss and consider action on a request from K&P Signs, on behalf of Mod Pizza, appealing the Building Official's denial of a sign permit and requesting a variance from the sign regulations to allow for approximately 47.25 total square feet of signage on the rear of a strip building.

Prepared by:

Rodney Patterson, Building Official

Description:

The applicant, K&P Signs is requesting a variance on behalf of their tenant, Mod Pizza. The tenant, located at 11650 US Hwy 380 Suite #400, would like to install a 47.25 sq. ft. sign on the rear of the building adjacent to their suite. The application was denied due to the fact that it exceeded the maximum allowed sign area for the rear of the building.

In accordance with Section 4.05.011, the Applicant has the ability to appeal the decision of the Building Official and request a variance. The Town Council shall have the power to authorize, upon appeal, in specific cases such variances that will not be contrary to the public interest, where owing to special conditions, a literal enforcement of the provisions of the code would result in unnecessary hardship, and so that the spirit of the code shall be observed and substantial justice done.

Recommended Action:

Staff is recommending denial; however, the Council has historically approved similar variance requests. A recent variance granted was to allow for a twenty-five (25) foot sign on the rear of the building.

Attachments:

Building Official Review Letter – 11/9/21

Application

Plans



**TOWN OF CROSS ROADS
SIGN PERMIT APPLICATION**
3201 US HWY 380, STE 105, Cross Roads, Texas 76227
applications@crossroadstx.gov
940-365-9693



Date Submitted: _____

ONE APPLICATION PER SIGN IS REQUIRED.

SIGN INFORMATION

Name of Proposed Sign: _____

Address & Location of Proposed Sign: _____

Temporary:

Permanent:

Type of Sign:

Style of Sign:

Commercial:

Construction:

Free Standing (\$250): Wall (\$100)

Political:

Special Event:

Monument (\$250):

Real Estate:

Banner (Temporary only, no charge):

BUSINESS / PROPERTY INFORMATION

Business Name: _____

Daytime Phone: _____

Owners Address: _____

City, State & Zip: _____

Email Address: _____

APPLICANT INFORMATION

Name: _____

Daytime Phone: _____

Address: _____

City, State & Zip: _____

Email Address: _____

Status of Applicant: Owner

Agent

ITEMS REQUIRED AT TIME OF SUBMISSION

1. Map - a 1/4" scaled location map clearly showing the placement of the proposed sign in relation to adjacent streets and distance to adjacent streets
2. 1/4" Scaled colored drawing with dimensions, including wall dimensions for wall signs
3. Description of materials used in construction of sign
4. Digital copy of ALL submitted items
5. Application fee

Application fee is due, in full, at time of submission. Application fee is non-refundable.

Cody Dishman

Signature of Applicant

Date

Office Use Only

Date completed application received: _____

Amount Due: _____

Receipt Number: _____

Expiration Date: _____

Permit Number: _____



MOD PIZZA

11650 US-380 Suite 400
Crossroads, TX

SCHEDULE

N2 - (1) SIGN TYPE: **CUSTOM** MOD-CR-B-33 ILLUMINATED CHANNEL LETTERS ON BACKER PANEL

LEGEND

N1 NEW PROPOSED



LOREN INDUSTRIES

12226 Coast Drive
Whittier, CA 90601
Tel: (562) 946-7545
Fax: (562) 949-5707
St. Lic.: 455415

Los Angeles, CA



DRAWING/REVISION NO.:

03-21-0026R7

PAGE NO.:

1 OF **13**

CLIENT:

MOD PIZZA

ADDRESS

11650 US-380 Suite 400
Crossroads, TX

DATE:

03/25/2021

PROJECT MANAGER

Carla T

DESIGNER:

Adrian C.

REVISION DATE:

10/18/2021

REVISION BY:

Adrian C.

ALL IDEAS, PLANS, AND ELECTRONIC ART INDICATED ON THIS DRAWING ARE COPYRIGHTED AND OWNED BY LOREN ELECTRIC SIGN CORPORATION AND SHALL NOT BE REPRODUCED, USED BY OR DISCLOSED TO ANY PERSONS, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT PERMISSION OF LOREN ELECTRIC SIGN CORPORATION.

SQUARE FOOTAGE INFORMATION

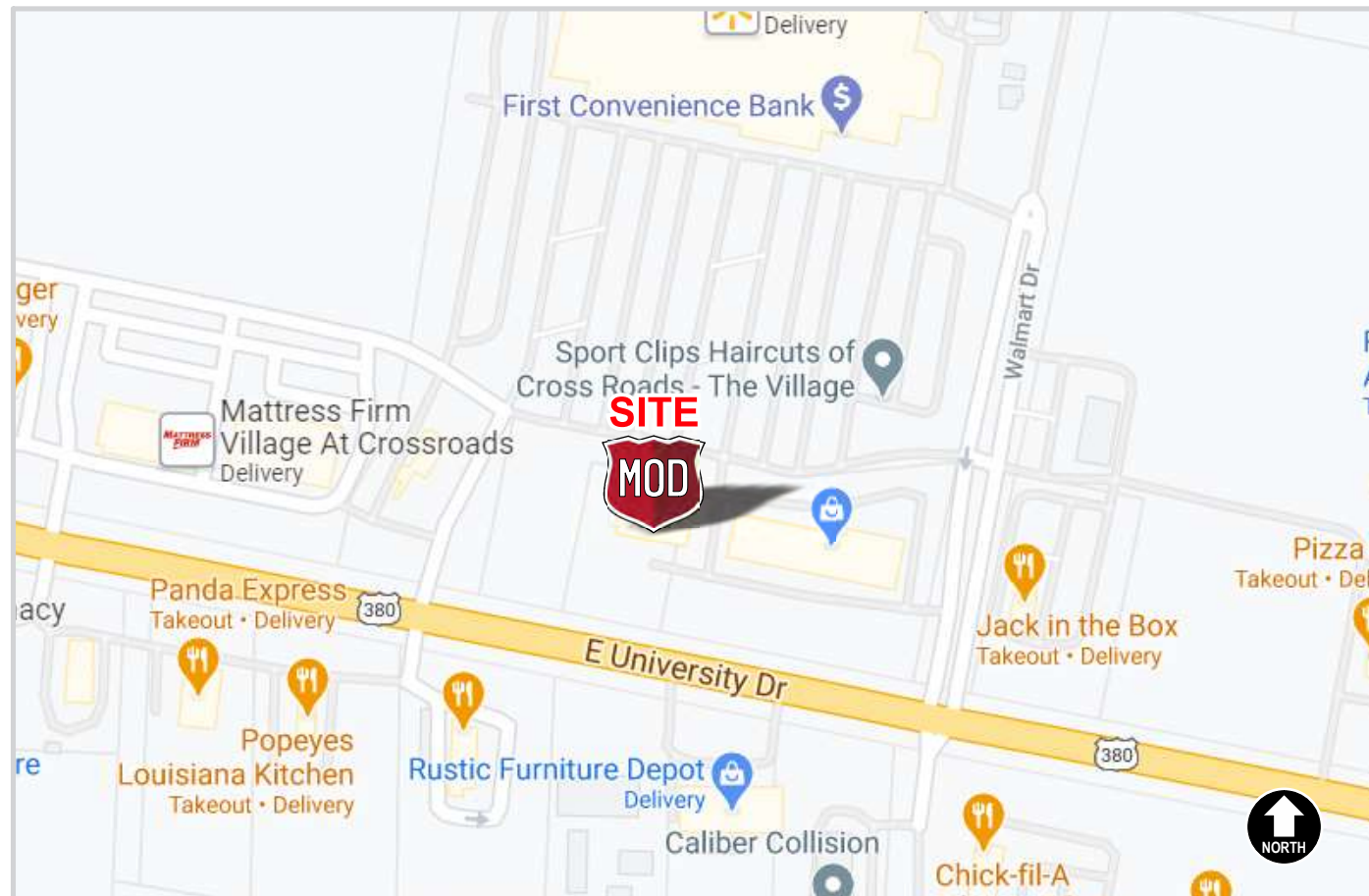
PROPOSED SQ. FT. 158.25

APPROVAL

X

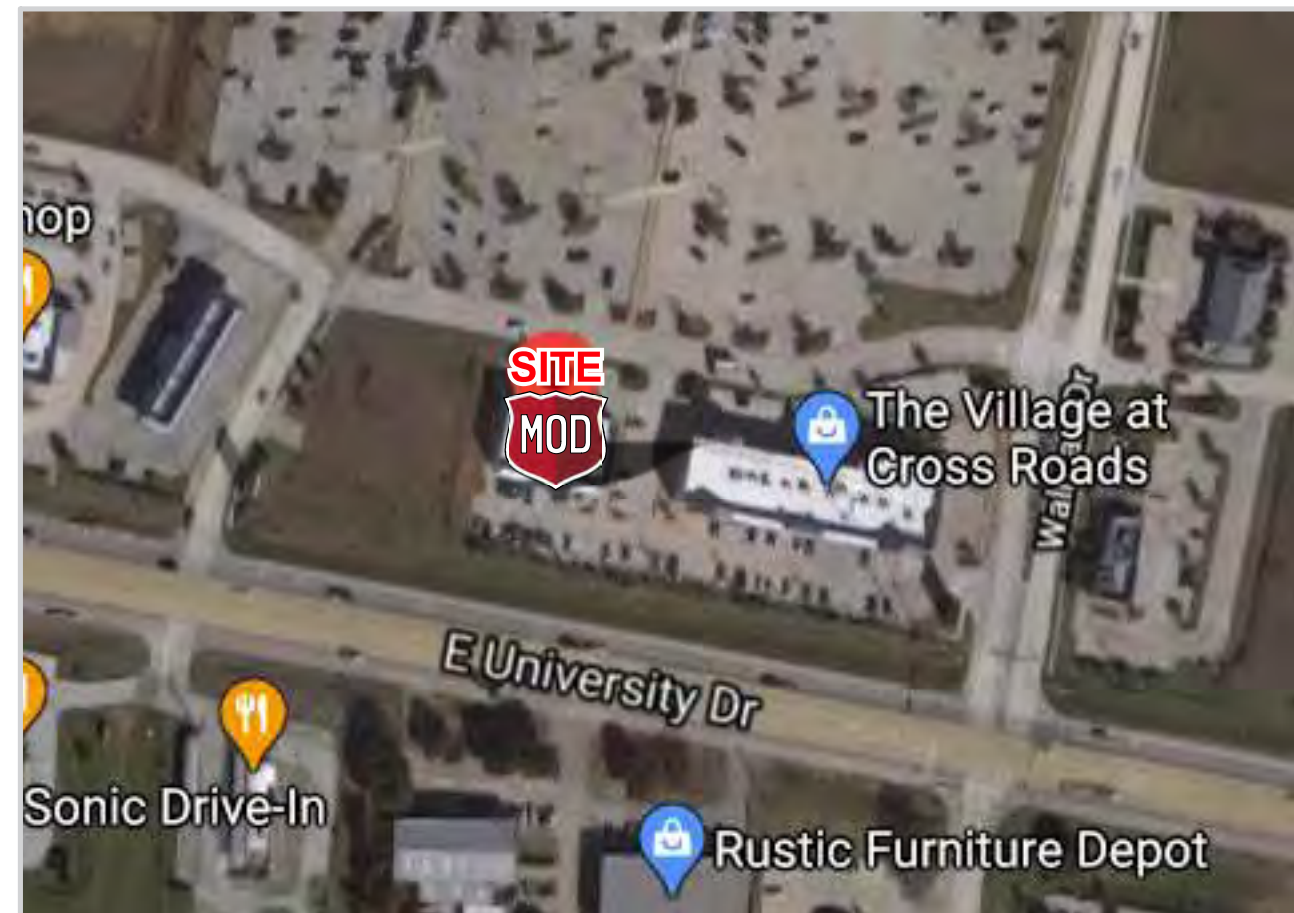
Title

Date



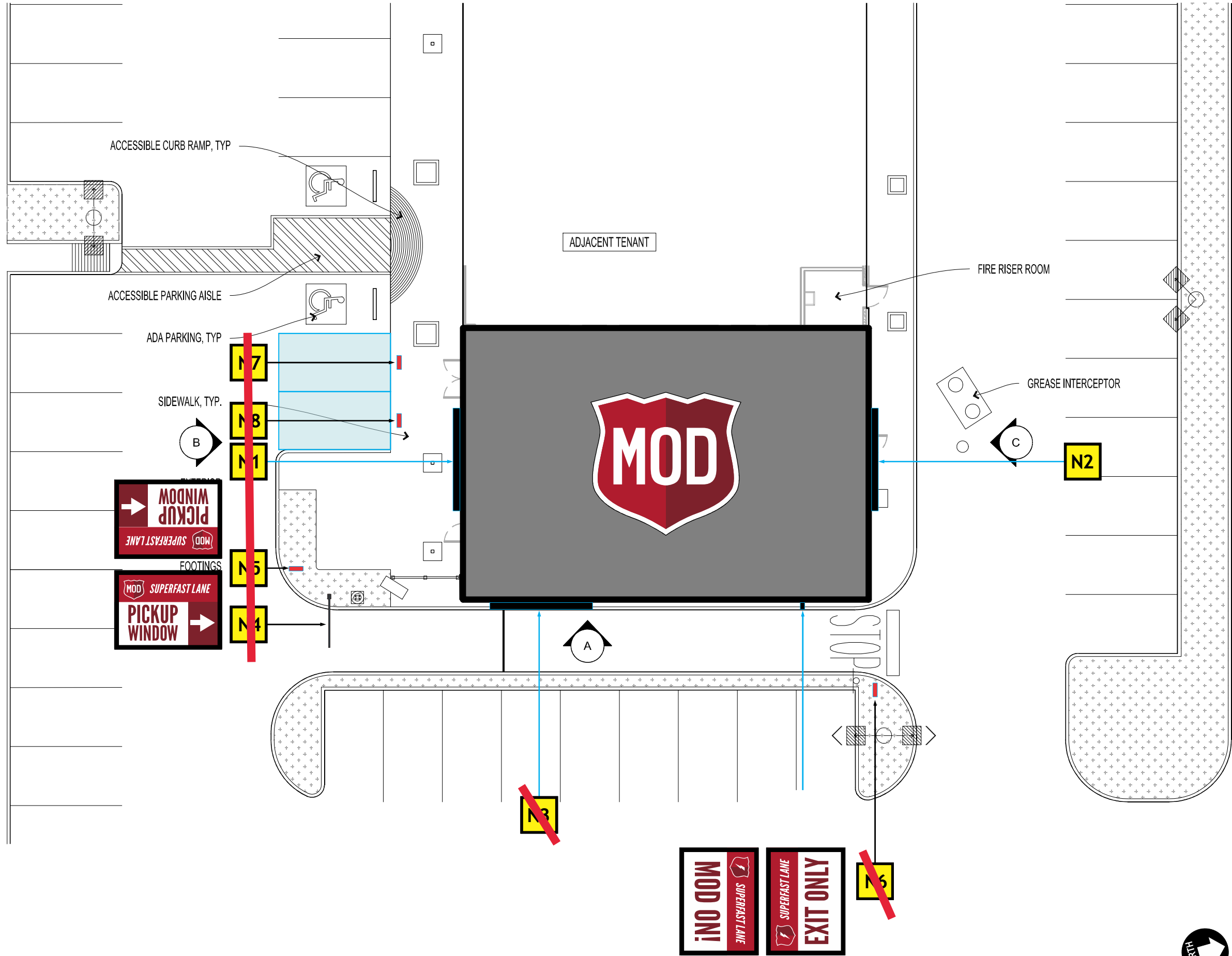
VICINITY MAP

NOT TO SCALE



AERIAL MAP SITE PLAN

NOT TO SCALE



 SITE PLAN

Scale: 1/16" = 1'-0"



LOREN INDUSTRIES

12226 Coast Drive
Whittier, CA 90601
Tel: (562) 946-7545
Fax: (562) 949-5707
St. Lic.: 455415
Los Angeles, CA



DRAWING/REVISION NO.:
03-21-0026R7

PAGE NO.:
2 OF **13**

CLIENT:
MOD PIZZA

ADDRESS
**11650 US-380 Suite 400
Crossroads, TX**

DATE:
03/25/2021

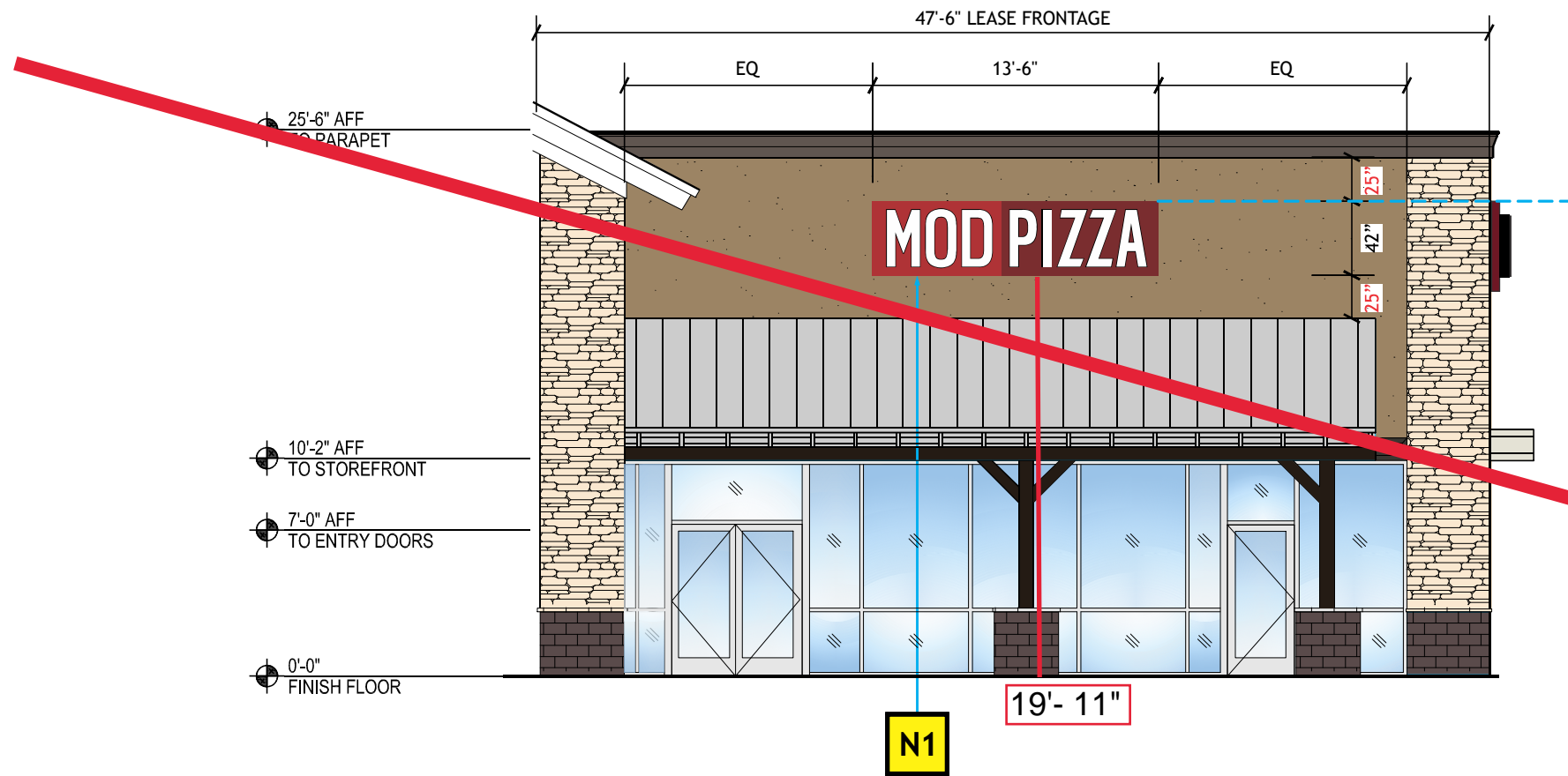
PROJECT MANAGER
Carla T

DESIGNER:
Adrian C.

REVISION DATE:
10/18/2021

REVISION BY:
Adrian C.

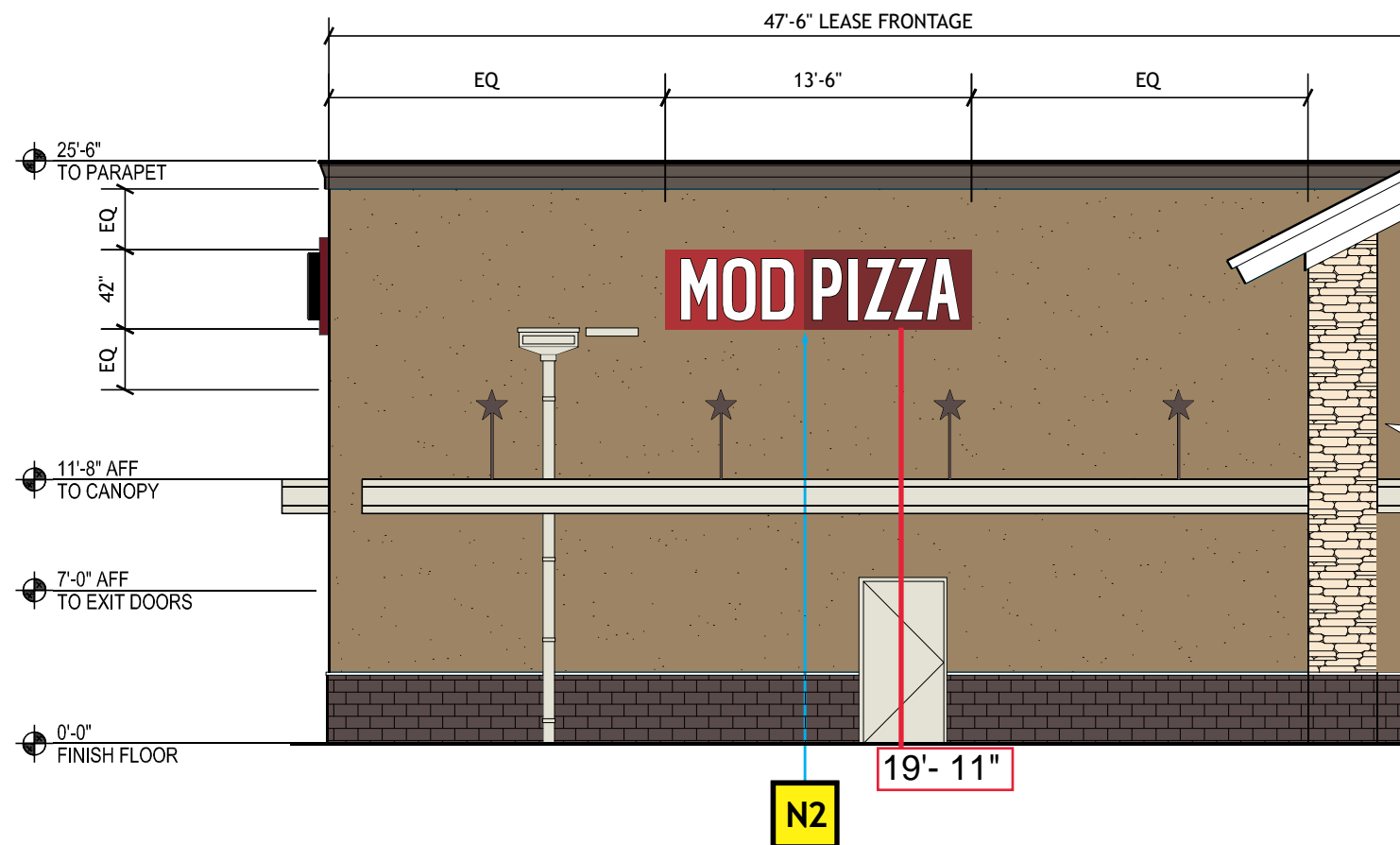
ALL IDEAS, PLANS, AND ELECTRONIC ART INDICATED ON THIS DRAWING ARE COPYRIGHTED AND OWNED BY LOREN ELECTRIC SIGN CORPORATION AND SHALL NOT BE REPRODUCED, USED BY OR DISCLOSED TO ANY PERSONS, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT PERMISSION OF LOREN ELECTRIC SIGN CORPORATION.



**INSTALLER TO VERIFY DIMENSIONS
PRIOR TO INSTALLATION**

SOUTH ELEVATION
TOTAL AREA: 47.25 SQ. FT.

Scale: 1/8" = 1'-0"



NORTH ELEVATION
TOTAL AREA: 47.25 SQ. FT.

Scale: 1/8" = 1'-0"



LOREN

LOREN INDUSTRIES

12226 Coast Drive
Whittier, CA 90601
Tel: (562) 946-7545
Fax: (562) 949-5707
St. Lic.: 455415

Los Angeles, CA



DRAWING/REVISION NO.:

03-21-0026R7

PAGE NO.:

3 OF 13

CLIENT:

MOD PIZZA

ADDRESS

**11650 US-380 Suite 400
Crossroads, TX**

DATE:

03/25/2021

PROJECT MANAGER

Carla T

DESIGNER:

Adrian C.

REVISION DATE:

10/18/2021

REVISION BY:

Adrian C.

ALL IDEAS, PLANS, AND ELECTRONIC ART INDICATED ON THIS DRAWING ARE COPYRIGHTED AND OWNED BY LOREN ELECTRIC SIGN CORPORATION AND SHALL NOT BE REPRODUCED, USED BY OR DISCLOSED TO ANY PERSONS, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT PERMISSION OF LOREN ELECTRIC SIGN CORPORATION.

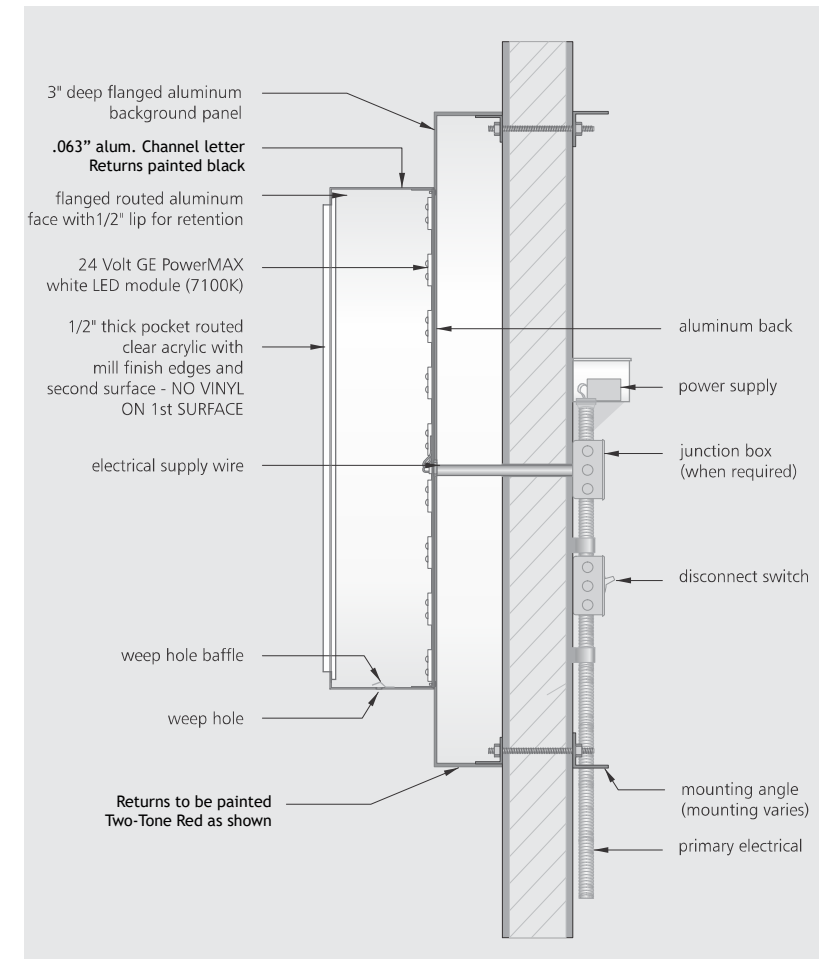


ALUMINUM BACKER PANEL
TWO-TONE PAINT
ON BACKER PANEL

CHANNEL LETTERS "PUSH THRU" ACRYLIC
ROUTED ALUMINUM FACE

4" * 3" *

* These dimensions
do not change with
sign size



SECTION DETAIL (REVERSE CHANNEL LETTERS)

N1 N2 N3

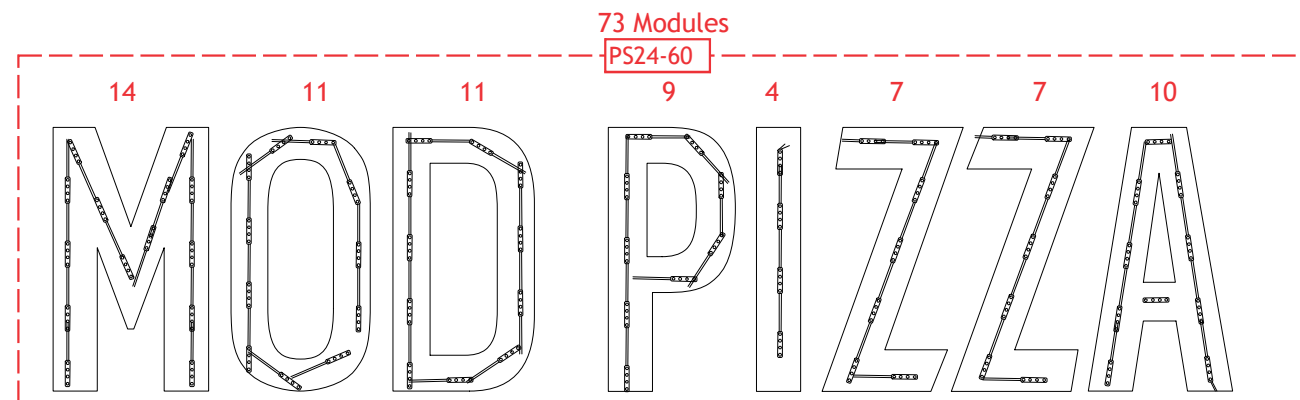
CUSTOM

SIGN TYPE: MOD-CR-B-33 ILLUMINATED CHANNEL LETTERS ON BACKER PANEL

AREA: 47.25 SQ FT

FRONT VIEW

SCALE: 1/2" = 1'-0"



LED LAYOUT AND WIRING DIAGRAM

SCALE: 1/2" = 1'-0"



NOTES:
ELECTRICAL COMPONENTS TO BE UL LISTED AND INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE (NEC)
ALL WIRING SHALL BE 12 GA
(1) 20 AMP-120V CIRCUIT TO BE BROUGHT TO JOB SITE BY LICENCED ELECTRICIAN.
THE LOCATION OF THE DISCONNECT SWITCH AFTER INSTALLATION SHALL COMPLY WITH ARTICAL 600.6(A)(1) OF THE NATIONAL ELECTRICAL CODE.
ALL SIGNAGE WILL BE UL2161 COMPLIANT AND CARRY UL LABELS.

ELECTRICAL SPECIFICATIONS:

(73) GE WHITE LED MODULES @ 0.62W EA= 45.26W TOTAL
(1) 24V 60W POWER SUPPLIES @ 1.2 AMPS EA.
(1) CUSTOMER PROVIDED 120V/20A/60HZ DEDICATED CIRCUIT REQUIRED
TOTAL CIRCUIT LOAD:
1.2 AMPS @ 120 VAC

	Akzo Nobel PMS (Backer Panel) 188 Red (semi-gloss)		Clear Acrylic
	Akzo Nobel PMS (Backer Panel) 187 Red (semi-gloss)		Diffuser Vinyl (2nd surface of push-thru letters)
	Pre Coat Coil Stock: Black/White		White Polycarbonate
	Channel Letter Returns painted Black		



As Seen at Nighttime



LOREN

LOREN INDUSTRIES

12226 Coast Drive
Whittier, CA 90601
Tel: (562) 946-7545
Fax: (562) 949-5707
St. Lic.: 455415

Los Angeles, CA



DRAWING/REVISION NO.:

03-21-0026R7

PAGE NO.:

5 OF 13

CLIENT:

MOD PIZZA

ADDRESS

11650 US-380 Suite 400
Crossroads, TX

DATE:

03/25/2021

PROJECT MANAGER

Carla T

DESIGNER:

Adrian C.

REVISION DATE:

10/18/2021

REVISION BY:

Adrian C.

ALL IDEAS, PLANS, AND ELECTRONIC ART INDICATED ON THIS DRAWING ARE COPYRIGHTED AND OWNED BY LOREN ELECTRIC SIGN CORPORATION AND SHALL NOT BE REPRODUCED, USED BY OR DISCLOSED TO ANY PERSONS, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT PERMISSION OF LOREN ELECTRIC SIGN CORPORATION.



COUNCIL AGENDA BRIEFING SHEET

Meeting Date:

December 13, 2021

Agenda Item:

Discuss and consider action on Amendment One of the Professional Services Agreement between the Town of Cross Roads and SAFEbuilt, Texas, LLC.

Prepared by:

Kristi Gilbert, Town Administrator

Description:

On May 18, 2021, the Town executed a professional services agreement with SAFEbuilt Texas, LLC for the plan review, permitting and inspections for on-site sewage systems. During the Fiscal Year 2022 budget process, Staff recommended contracting for building inspection services with SAFEbuilt to allow Rodney Patterson, the Building Official to take on development coordination duties. Rodney will still be responsible for plan review of all permits; however, the inspections will be performed by SAFEbuilt. This transition will also provide a back-up for plan review in the event Rodney is out of the office for more than a few days. The past several months, the Town Administrator has coordinated development activities. By transitioning these duties to the Building Official, the Town Administrator will have more time to focus on finance and overall management responsibilities. The cost of the third-party inspections was contemplated when the fee schedule was amended on September 7, 2021. A cost comparison is attached for your reference.

If approved, the transition would take place as new permits are submitted. Rodney would perform inspections for any permits issued prior to the contract amendment date. Permits submitted after the contract amendment date would be reviewed and issued by Rodney, and inspected by SAFEbuilt under Rodney's direction. Since Staff will still be involved in the permitting process, we expect to see the same level of professional customer service.

Staff Recommended Action:

Staff recommends approval of Amendment One of the Professional Services Agreement.

Attachments:

Cost and Permit Fee Comparison

Proposed Agreement

COMPARISON OF FEES

EXAMPLES

Residence

Residence

Large Commercial

Small Commercial

Tenant Finish Out

Old Fee Schedule					
Square Footage	4,039	3,207	60,446	3,608	1,745
Plan Review Fee	\$ 386.00	\$ 241.00	4835.68	\$ 288.64	\$ 130.88
Permit Fee	\$ 1,781.00	\$ 1,066.00	24589.28	\$ 1,435.19	\$ 436.25
Inspection Fees	\$ 900.00	\$ 600.00	13600.35	\$ 811.80	\$ 600.00
Permit Fees Collected	\$ 3,067.00	\$ 1,907.00	\$ 43,025.31	\$ 2,535.63	\$ 1,167.13
	6 hrs	6 hrs	22 hrs	13 hrs	10 hrs
Cost of Building Official Time for Inspections	\$ 229.50	\$ 229.50	\$ 841.50	\$ 497.25	\$ 382.50
Retained by Town for Soft Costs	\$ 2,837.50	\$ 1,677.50	\$ 42,183.81	\$ 2,038.38	\$ 784.63

New Fee Schedule					
Square Footage	5,143	3,207	60,446	3,608	1,745
Plan Review Fee	\$1,234.12	\$748.07	\$30,494.25	\$2,083.89	\$465.00
Permit Fee	\$3,526.05	\$2,137.35	\$60,988.50	\$4,167.78	\$930.00
Inspection Fees	\$1,028.60	\$900.00			
Permit Fees Collected	\$5,788.77	\$3,785.42	\$91,482.75	\$6,251.67	\$3,140.00
# of Re-inspections	6	4	4	4	2
Reinspection fees collected	\$320.00	\$160.00	\$160.00	\$160.00	\$0.00
Total Fees Collected	\$6,108.77	\$3,945.42	\$91,642.75	\$6,411.67	\$3,140.00
Fees Due to Safebuilt	\$1,120.00	\$980.00	\$2,890.26	\$2,244.04	\$469.56
Retained by Town for Soft Costs	\$4,988.77	\$2,965.42	\$88,752.49	\$4,167.63	\$2,670.44

Difference Retained by Town for Soft Costs	\$2,151.27	\$1,287.92	\$46,568.68	\$2,129.25	\$1,885.81
---	-------------------	-------------------	--------------------	-------------------	-------------------

**AMENDMENT ONE
PROFESSIONAL SERVICES AGREEMENT
BETWEEN TOWN OF CROSS ROADS, TEXAS
AND SAFEbuilt TEXAS, LLC**

This Amendment is entered into to amend the Professional Services Agreement previously entered into on May 18, 2021, by and between Town of Cross Roads, Texas, (Municipality) and SAFEbuilt Texas, LLC, a wholly owned subsidiary of SAFEbuilt, LLC, (Consultant). Municipality and Consultant shall be jointly referred to as the “Parties”.

Amendment Effective Date: This Amendment shall be effective on the latest date fully executed by both Parties.

RECITALS AND REPRESENTATIONS

Parties entered into a Professional Services Agreement (Agreement), by which both Parties established the terms and conditions for service delivery on May 18, 2021; and

Parties hereto now desire to amend the Agreement as set forth herein; and

NOW, THEREFORE

Agreement is hereby amended as set forth below:

1. Agreement, Exhibit A - List of Services and Fee Schedule is hereby amended by adding the Supplemental and Turnkey Inspection Services.

Building, Electrical, Plumbing, Mechanical Inspection Services

- ✓ Consultant utilizes an educational, informative approach to improve the customer’s experience.
- ✓ Perform code compliant inspections to determine that construction complies with approved plans
- ✓ Meet or exceed agreed upon performance metrics regarding inspections
- ✓ Provide onsite inspection consultations to citizens and contractors while performing inspections
- ✓ Return calls and emails from permit holders in reference to code and inspection concerns
- ✓ Identify and document any areas of non-compliance
- ✓ Leave a copy of the inspection ticket and discuss inspection results with site personnel

2. Agreement, Exhibit A, 4. Fee Schedule shall be replaced with and read in its entirety as follows:
 - ✓ Beginning January 01, 2022 and annually thereafter, the rates listed shall be increased based upon the annual increase in the Department of Labor, Bureau of Labor Statistics or successor thereof, Consumer Price Index (United States City Average, All Items (CPI-U), Not Seasonally adjusted, All Urban Consumers, referred to herein as the “CPI”) for the Municipality or, if not reported for the Municipality the CPI for cities of a similar size within the applicable region from the previous calendar year, such increase, however, not to exceed 4% per annum. The increase will become effective upon publication of the applicable CPI data. If the index decreases, the rates listed shall remain unchanged.
 - ✓ Consultant fees for Services provided pursuant to this Agreement will be as follows:

Supplemental Inspection Services Fee Schedule	
Single Family Residential Construction Inspection	\$70.00 per stop (address, building or unit)
Commercial/Multi-Family Construction Inspection	\$85.00 per stop (address, building or unit)
Above rates include inspection of all disciplines at address	
OSSF PLAN REVIEW AND INSPECITON Fees	
Type	Fee
OSSF Plan Review and Inspection	\$450.00 per OSSF system; includes one reinspection each visit
• Commercial and Residential	\$70.00 per trip for second/subsequent reinspection & site visits

One & Two Family Residential Construction Plan Review and Inspection	
Square Footage	Fee
0 to 1500 square feet	\$750.00
1501 to 10,000 square feet	\$750.00 for the first 1500 square feet plus \$0.33 for each additional square

	foot up to and including 10,000 square feet
Over 10,000 square feet	\$3,700.00 for the first 10,000 square feet plus \$0.13 for each additional square foot over 10,000 square feet
One & Two Family Residential Construction Plan Review Only	
\$125.00 per residential dwelling for first comments plus one revision, thereafter \$88.80 per hour	
One & Two Family Residential Additional Fees	
Service Description	Fee
Remodels and accessory structures that include electrical, plumbing, and mechanical will be billed at \$.32 per SF	
Accessory structures not including electrical, plumbing, and mechanical will be billed at a flat rate of \$60.00	
Trade Permits - Residential Remodel/Addition • Mechanical, Electrical, Plumbing	\$70.00 per inspection – includes re-inspection
Swimming Pools Plan Review & Inspections	\$475.00 Plan Review & inspections
After Hours/Emergency Inspection Services	\$100.00 per hour – two (2) hour minimum

Commercial and Multi-Family Construction Plan Review	
Project Valuation	Fee
\$1.00 to \$10,000	\$40.00
\$10,001 to \$25,000	\$61.63 for the first \$10,000 plus \$4.76 for each additional \$1,000; or fraction thereof, to and including \$25,000
\$25,001 to \$50,000	\$133.03 for the first \$25,000 plus \$3.43 for each additional \$1,000; or fraction thereof, to and including \$50,000
\$50,001 to \$100,000	\$218.88 for the first \$50,000 plus \$2.38 for each additional \$1,000; or fraction thereof, to and including \$100,000
\$100,001 to \$500,000	\$337.88 for the first \$100,000 plus \$1.90 for each additional \$1,000; or fraction thereof, to and including \$500,000
\$500,001 to \$1,000,000	\$1,099.46 for the first \$500,000 plus \$1.62 for each additional \$1,000; or fraction thereof, to and including \$1,000,000
\$1,000,001 and up	\$1,906.98 for the first \$1,000,000 plus \$1.07 for each additional \$1,000; or fraction thereof
Commercial and Multi-Family Construction Inspection	
Project Valuation	Fee
\$1.00 to \$10,000	\$70.00
\$10,001 to \$25,000	\$99.67 for the first \$10,000 plus \$7.70 for each additional \$1,000; or fraction thereof, to and including \$25,000
\$25,001 to \$50,000	\$215.19 for the first \$25,000 plus \$5.56 for each additional \$1,000; or fraction thereof, to and including \$50,000
\$50,001 to \$100,000	\$354.06 for the first \$50,000 plus \$3.85 for each additional \$1,000; or fraction thereof, to and including \$100,000
\$100,001 to \$500,000	\$546.56 for the first \$100,000 plus \$3.03 for each additional \$1,000; or fraction thereof, to and including \$500,000
\$500,001 to \$1,000,000	\$1,778.56 for the first \$500,000 plus \$2.61 for each additional \$1,000; or fraction thereof, to and including \$1,000,000
\$1,000,001 and up	\$3,084.81 for the first \$1,000,000 plus \$1.73 for each additional \$1,000; or fraction thereof

All other provisions of the original Agreement shall remain in effect, to the extent not modified by Amendment.

IN WITNESS HEREOF, the undersigned have caused this Amendment to be executed in their respective names on the dates hereinafter enumerated.

Avner Alkhas, Chief Financial Officer
SAFEbuilt Texas, LLC

Date

Signature
Town of Cross Roads, Texas

Date

Name & Title
Town of Cross Roads, Texas



COUNCIL AGENDA BRIEFING SHEET

Meeting Date:

December 13, 2021

Agenda Item:

Discuss and consider approval of a resolution authorizing appointments to the Cross Roads Municipal Development District.

Prepared by:

Kristi Gilbert, Town Administrator

Description:

Per the Cross Roads Municipal Development District (MDD) by-laws, Board Members are appointed for two-year terms ending on September 30th. Places 1, 3 and 5 have terms expiring on September 30th in even numbered years. Places 2 and 4 have terms expiring on September 30th of odd numbered years. Below is a list of current board members and their initial years of appointment.

Name	Year Appointed	Place	Term Expires
Greg Gaalema	2021	1	2022
LQ Vann	2013	2	2021
Allan Neubauer	2020	3	2022
John Knox	2021	4	2021
Mady Killfoil	2020	5	2022

This year John Knox and LQ Vann's terms expire.

Additionally, Section 2.3(g) of the MDD Bylaws indicate that the Council is to be notified when a Board Member has been absent from three consecutive meetings. Board Member Vann has missed the past three meetings.

- (g) Attendance. Each Director has a duty to attend all regular and special meetings of the Board. In the event of the failure of a Director to attend at least three consecutive regular meetings without excuse approved by the Board, or the failure to attend at least half of all regular and special meetings over a period of six months, the Board shall report this fact to the Town Council.

Staff has included attendance of board members for reference.

Staff Recommended Action:

Staff would defer to Council on the appointments/reappointments.

Attachments:

Resolution

Attendance Record

Applications (Attached Under Separate Cover)

APPROVED AS TO FORM

Matthew C.G. Boyle, Town Attorney

Attendance from October 2020 to October 2021

MDD Meeting	Zoom or In-Person	John Knox	LQ Vann	Allan Neubauer	Mady Killfoil	Greg Gaalema
October 2020	cancelled					
November 2020	cancelled					
December 2020	Zoom	n/a	absent	present	present	n/a
January 2021	Zoom	n/a	absent	present	present	n/a
February 2021	Zoom	appointment	present	absent	present	n/a
February 2021	Zoom	present	present	present	present	n/a
March 2021	Zoom	present	present	present	present	n/a
April 2021	cancelled					
May 2021	Zoom	present	present	absent	present	n/a
June 2021	Zoom	present	present	present	present	n/a
July 2021	Zoom	present	present	present	absent	n/a
August 2021	Zoom	present	present	present	present	n/a
September 2021	cancelled					
October 2021	In Person	present	absent	absent	present	present
November 2021	In Person	present	absent	present	present	present
November Called	In Person	present	absent	present	present	present
Attendance		10 out of 10	7 out of 12	9 out of 12	11 out of 12	3 out of 3
		100%	58%	75%	92%	100%