



**NOTICE OF TOWN COUNCIL MEETING
FOR THE TOWN OF CROSS ROADS
MONDAY, July 25, 2022 at 7:00 P.M.**

LOCATION:

IN PERSON at 1401 FM 424, CROSSROADS, TEXAS 76227

Or

View via Zoom Meeting

<https://us02web.zoom.us/j/82462747510>

Meeting ID: 824 6274 7510

One tap mobile

+13462487799,,82462747510# US (Houston)

***Note: All applicants should attend in person.**

1. Call to Order.
2. Roll Call.
3. Invocation – Lesly Louis, Charisma City
4. Pledge of Allegiance – Chris Paus
5. Citizens Input (Items on the agenda and not on the agenda).
If commenting via Zoom, please use the Raise Your Hand feature. Please state your full name before speaking. Please limit your comments to three minutes in duration. You are restricted from passing your time or any portion of unused minutes to another citizen for comment.
6. Council Members' announcements and updates.
7. Mayor's announcements and updates.
8. Updates; Discussion of Same.
 - a. Town Administrator Announcements and Updates – Kristi Gilbert
 - b. Financial Reports – Kristi Gilbert
 - c. Building Permits and Development – Kristi Gilbert
 - d. Law Enforcement – Shaun Short
 - e. Fire Department – Paul Rust
 - f. Committee Reports – MDD, Parks, Connectivity Committee, Historical Committee

CONSENT AGENDA

9. Consider approval of the June 20, 2022, Council Meeting Minutes.
10. Consider approval of the June 24 – 26, 2022 Council Retreat Minutes
11. Consider approval of the June 2022 Financials.
12. Consider approval of a final plat application for Block B, Lots 1 and 2 of the Oak Bluff Addition, comprised of property located at 60 Cedar Lane, within the Town of Cross Roads. (2022-0606-04FPLAT)

13. Consider approval of an application for a tree removal permit submitted by Rick Davis, for property located at 2051 Oak Point Dr. Applicant is requesting permission to remove a tree which is over 18" diameter at breast height which is located near a swimming pool in the back yard at the above address.

CONVENE INTO BOARD OF ADJUSTMENTS

14. CONDUCT A PUBLIC HEARING, discuss and consider action on a request from property owner Anibal Garcia requesting a variance from the setback regulations established per Section 14.03.074(b)(14)(c) and Section 14.03.074(d)(2) of the Code of Ordinances to allow for the placement of a detached garage ten (10) feet from the side property line where a 15 foot setback is required for a pool located at 183 Las Colinas. (2022-0622-01VARIANCE)

RECONVENE INTO REGULAR TOWN COUNCIL MEETING

REGULAR SESSION

15. CONDUCT A PUBLIC HEARING, discuss and consider a recommendation on a replat application for Lot 3R2, Block A of the Volunteer Enterprises Addition for property generally located at the southeast corner of US 380 and Naylor Road within the Town of Cross Roads, also referred to as Cross Roads Market Square. (2022-0404-02REPLAT)
16. CONDUCT A PUBLIC HEARING, discuss and consider a recommendation to the Town Council on a request by applicant Andrew Burke on behalf of owner Margarito Espinoza for a special use permit to allow for outdoor retail sales for property located at 8801 US 380, Cross Roads, Denton County, Texas. (2022-0404-08SUP)
17. Discuss and consider approval of a civil/landscape plan and technical site plan application submitted by Dutch Bros Coffee Shop for property located at 11950 US Hwy 380 within the Town of Cross Roads. (2022-0606-02TSP)
18. Discuss and consider action on a request by Daniel Manks on behalf of property owner Brittney Samford for an exception from the Town's noise restrictions to allow for a fireworks display at 11:45 p.m. on December 31, 2023 at The Hillside Estate located at 901 Moseley Road.
19. Discuss and consider items related to the Fiscal Year 2022-2023 budget.
20. Consider approval of an ordinance limit traffic on the bridges on Historic Lane to two axles.
21. Discuss and consider approval of a resolution establishing the Historic Advisory Committee and making appointments to said committee.

22. Discuss and consider approval of a resolution establishing the Road Maintenance Advisory Committee and making appointments to said committee.
23. Discuss and consider action on cleanout and repairs to the Tipps Road culvert east of Moseley including taking action on the bid for repairs or modifying the scope of work.

EXECUTIVE SESSION

24. The Town Council will convene into Executive Session pursuant to Texas Government Code, annotated, Chapter 551, Subchapter D for the following:
 - a. Section 551.071 Consultation with Attorney – Pending litigation James Edland v. Town of Cross Roads, Texas, Case No. 22-0056-362.
 - b. Section 551.074 Personnel – Town Administrator Performance Evaluation
25. Take action as may be necessary or appropriate on matters discussed in Executive Session.

ADJOURN

Future Meetings and Events:

All citizens are invited to participate; schedule may change.

- *Planning and Zoning Commission Meeting – Tuesday, August 2, 2022 at 7:00 p.m.*
- *Parks and Recreation Board Meeting – Wednesday, August 3, 2022 at 7:00 p.m.*
- *Municipal Development District Meeting – Thursday, August 11, 2022 at 7:00 p.m.*
- *Town Council Meeting – Monday, August 15, 2022 at 7:00 p.m.*

CERTIFICATION

I, the undersigned authority, do hereby certify that this Public Meeting Notice was posted on the official bulletin board at the Town Hall of the Town of Cross Roads, Texas on or before Friday, July 22, 2022 by 5:00 p.m., in accordance with Chapter 551, Texas Government Code.

As authorized by Section 551.071 of the Texas Government Code, this meeting may be convened into closed executive session for seeking confidential legal advice from the Town Attorney on any agenda item listed herein. This facility is wheelchair accessible and accessible parking spaces are available. For requests, please contact Town Hall at 940-365-9693. Reasonable accommodations will be made to assist your needs.

Donna Butler, Town Secretary

I certify that the attached notice and agenda of items to be considered by the Town Council of the Town of Cross Roads was removed by me from the front window of the Town of Cross Roads Town Hall, 1401 FM 424, Cross Roads, Texas, on the _____ day of _____, 2022.

_____, Title: _____

CROSS ROADS POLICE DEPARTMENT



Police Department Council Report

Chief Shaun Short

July 25, 2022

Police Operations

➤ May Police Reports

- **6 Crash Investigations**
 - 5 - US380
 - 1 - Other
- **2 Persons Crimes**
 - 2 Stranger
 - 0 Family Violence
- **9 Property Crime**
 - 5 Retail Theft
 - 2 Property Damage
 - 1 Construction Vehicle
 - 1 Theft - Deception
- **16 - Society**
 - 4 Intoxicated Driving
 - 12 Drugs Paraphernalia / MIP / PI

➤ May Incident Type Summary

- **33 Agency Assist**
- **18 Alarm**
- **7 Animal Complaint**
- **9 Disturbance**
- **14 Motorist Assist**
- **2 Open Door**
- **10 Road Blockage**
- **20 Suspicious Person**
- **568 Traffic Stop**
- **15 Welfare Concern**
- **214 Unclassified**

989 Total Incidents

Police Operations Monthly Comparison

■ January ■ February ■ March ■ April ■ May ■ June



A blurred background image of a police car's light bar with blue and red lights. The light bar is mounted on a white surface, and the background shows a blurred scene of a police officer in uniform.

Police – Administrative

- **Training**
 - **Firearms training.**
 - **IACP Training Vicarious Trauma**
 - **Interview training**
- **New Officer – Kevin Sheppard**
- **Denton County Drug Destruction.**
- **Coffee with a Cop – Starbucks.**
- **Draut recognized by MADD for activity to curb impaired drivings.**



INTEGRITY

CUSTOMER
SERVICE

EFFICIENCY

INNOVATION

Town of Cross Roads Monthly Report

June 2022



Average
Emergency
Call
Processing:
Unknown

Average
Emergency
Response:
7 mins, 51 secs

33 Incidents

Incident Count Breakdown

Fires:	0
EMS/Rescues:	23 (19 medical calls and 4 MVAs)
Hazardous Conditions:	1
Service Calls:	2
Good Intentions:	4
False Alarms:	3

Incident Date	NFIRS Number	Incident Address	Incident Type	Apparatus	Priority	PSAP Received	Dispatched	Arrival	Call Processing	Response Time
6/3/2022	0002345	3401 S HWY 377	Flammable liquid spill	LEQ3	Non-Emergent	6:55:06 PM	6:57:12 PM	7:10:45 PM		
6/9/2022	0002416	3401 S HWY 377	Dispatched & canceled en route	LEBAT1	Cancelled	7:34:25 AM	7:35:15 AM			
6/13/2022	0002470	11700 E UNIVERSITY DR	EMS call	LEM1	Non-Emergent	7:11:57 AM	7:13:52 AM	7:28:24 AM		
6/17/2022	0002543	E UNIVERSITY DR / FISHTRAP RD	Dispatched & canceled en route	LEBAT1	Cancelled		3:35:22 PM			
6/24/2022	0002646	3901 OAK POINT DR	Dispatched & canceled en route	LEM3	Cancelled		3:26:30 AM			
6/25/2022	0002671	3800 S HWY 377	Good intent call, other	LEQ3	Non-Emergent		7:39:02 PM	7:51:10 PM		
6/2/2022	0002330	1601 OAK SHORES CT	EMS call	LEM3	Emergent	12:55:49 PM	12:55:49 PM	1:05:33 PM	0:00:00	0:09:44
6/2/2022	0002332	11350 -100 E UNIVERSITY DR	EMS call	LEE3	Emergent	3:10:26 PM	3:11:20 PM	3:16:29 PM	0:00:54	0:05:09
6/3/2022	0002338	11700 E UNIVERSITY DR	EMS call	LEM3	Emergent	10:51:46 AM	10:52:24 AM	10:58:56 AM	0:00:38	0:06:32
6/4/2022	0002353	15000 E UNIVERSITY DR	False call	LEQ3	Emergent	12:50:26 PM	12:51:21 PM	12:58:07 PM	0:00:55	0:06:46
6/4/2022	0002360	3000 MOSELEY RD	EMS call	LEQ3	Emergent	11:42:33 PM	11:43:59 PM	11:55:15 PM	0:01:26	0:11:16
6/5/2022	0002362	3000 MOSELEY RD	EMS call	LEM3	Emergent	4:41:04 AM	4:42:10 AM	4:52:07 AM	0:01:06	0:09:57
6/6/2022	0002381	1400 FM 424	EMS call	LEM3	Emergent	2:12:59 PM	2:13:14 PM	2:20:57 PM	0:00:15	0:07:43
6/6/2022	0002392	11101 E UNIVERSITY DR	Motor vehicle accident	LEM3	Emergent	10:41:49 PM	10:42:28 PM	10:49:07 PM	0:00:39	0:06:39
6/8/2022	0002405	11920 E UNIVERSITY DR	EMS call	LEQ3	Emergent	9:12:45 AM	9:13:23 AM	9:20:40 AM	0:00:38	0:07:17
6/8/2022	0002408	11501 NORCROSS DR	Detector activation	LEE3	Emergent	1:39:35 PM	1:40:10 PM	1:51:18 PM	0:00:35	0:11:08
6/11/2022	0002444	11700 E UNIVERSITY DR	Motor vehicle accident	LEM3	Emergent	2:56:17 PM	2:57:21 PM	3:04:18 PM	0:01:04	0:06:57
6/13/2022	0002477	FM 424 / HWY 377	Assist police	LEM3	Emergent		3:52:36 PM	4:02:34 PM		0:09:58
6/13/2022	0002480	1400 FM 424	EMS call	LEQ3	Emergent		5:18:16 PM	5:26:14 PM		0:07:58
6/14/2022	0002486	6501 FISHTRAP RD	EMS call	LEM3	Emergent		1:19:27 AM	1:27:15 AM		0:07:48
6/14/2022	0002495	11151 TANAGER LN	EMS call	LEM3	Emergent		1:07:54 PM	1:16:58 PM		0:09:04
6/14/2022	0002496	11700 E UNIVERSITY DR	EMS call	LEE3	Emergent		1:38:37 PM	1:41:41 PM		0:03:04
6/15/2022	0002512	1400 OAK POINT DR	EMS call	LEM3	Emergent		1:07:14 PM	1:20:40 PM		0:13:26
6/16/2022	0002522	11700 E UNIVERSITY DR	EMS call	LEE1	Emergent		11:11:52 AM	11:18:56 AM		0:07:04
6/16/2022	0002525	1400 OAK POINT DR	EMS call	LEM3	Emergent		2:57:01 PM	3:08:52 PM		0:11:51
6/18/2022	0002558	11350 -100 E UNIVERSITY DR	EMS call	LEQ3	Emergent		6:40:21 PM	6:44:52 PM		0:04:31
6/19/2022	0002563	3001 E UNIVERSITY DR	Assist police	LEM3	Emergent		7:15:35 AM	7:24:32 AM		0:08:57
6/19/2022	0002571	11951 TANAGER LN	EMS call	LEQ3	Emergent		9:29:48 PM	9:40:15 PM		0:10:27
6/22/2022	0002614	11350 -100 E UNIVERSITY DR	EMS call	LEM3	Emergent		3:28:15 PM	3:35:22 PM		0:07:07
6/22/2022	0002621	E UNIVERSITY DR / NAYLOR RD	Motor vehicle accident	LEQ3	Emergent		8:03:07 PM	8:04:00 PM		0:00:53
6/23/2022	0002637	E UNIVERSITY DR / HWY 377	Motor vehicle accident	LEM3	Emergent		2:02:26 PM	2:09:55 PM		0:07:29
6/24/2022	0002649	3001 E UNIVERSITY DR	Alarm system malfunction	LEE1	Non-Emergent		10:42:19 AM	10:44:18 AM		0:01:59
6/24/2022	0002658	11301 E UNIVERSITY DR	EMS call	LEM3	Emergent		9:01:19 PM	9:12:44 PM		0:11:25



Org Chart

71 Full-Time Funded
Positions



- 5 Firefighters completing Paramedic Training in August
- Expected to add 4 full-time positions in December 2022



**MINUTES OF TOWN COUNCIL MEETING
FOR THE TOWN OF CROSS ROADS
MONDAY, June 20, 2022 at 7:00 P.M.**

LOCATION:

IN PERSON at 1401 FM 424, CROSSROADS, TEXAS 76227

Or

View via Zoom

1. Call to Order – **7:00 P.M.**
2. Roll Call – **Mayor Tompkins, Council Members Neubauer, Meek, King, Gaalema, and White-Stevens.**
3. Invocation – **Ron King**
4. Pledge of Allegiance – **Dave Meek**
5. Citizens Input (Items on the agenda and not on the agenda).
 - **Bob Gorton – Concerned with the item regarding two axles being on the Consent Agenda because it has not been previously discussed; concerned with the number of agricultural vehicles and waste management trucks that must drive on Historic Lane.**
 - **Randy Wicker – Congratulated newly and reelected Council members, and thanked Town Council for doing a good job.**
 - **Dave Murphy – Informed Council of unpermitted broadband solicitation in the Stone Mountain Estates and expressed concern for where the solicitors received their information.**
6. Council Members' announcements and updates.
 - **Wendy White-Stevens announced the Community Market, stating the variety of artisan products available, and encouraged people to attend.**
 - **Ron King announced he was excited to attend the upcoming Council retreat.**
7. Mayor's announcements and updates.

Mayor Tompkins elaborated on the Community Market, announced Town Hall will be closed July 4th, and stated there was a 22% increase in sales tax revenue
8. Updates; Discussion of Same.
 - a. Town Administrator Announcements and Updates – **Kristi Gilbert stated the speed limit signs have been delivered but not the poles; she explained the Town will be replacing some stop signs, as well; the Town received TXDOT letter for easement on Town's 5 acre property; and explained bids will be taken for Tipps Road project**
 - b. Financial Reports – **Kristi Gilbert gave a financial overview which included the dissolution of the NEPD and NEMC accounts.**
 - c. Building Permits and Development – **Kristi Gilbert stated permit fees are**

tracking lower than expected but expenditures have been adjusted accordingly, and staff is adjusting to a new finance software. She gave a developmental update based on the latest P&Z meeting and new submissions, and ended with the current construction update.

- d. Law Enforcement – Shaun Short gave the accident report for May, including a monthly comparison; he stated staff has been participating in training and receiving certifications; he announced the addition of a new officer, stating the PD is now fully staffed.
- e. Fire Department – Paul Rust gave the May incident report, including response times; he displayed the organization chart for the fire department and map location of the future fire station, stating they are hoping for an April 1st, 2025 opening date.
- f. Committee Reports – MDD, Parks, Connectivity Committee, Historical Committee **There were no reports from Committees.**

CONSENT AGENDA

- 9. Consider approval of the May 16, 2022, Council Meeting Minutes.
- 10. Consider approval of the May 2022 Financials.
- ~~11. Consider approval of an ordinance limit traffic on the bridges on Historic Lane to two axles. **Removed from Consent.**~~
- 12. Consider approval of a final plat application for the Causseaux Addition located at 3713 Red Mesa Trail, within the extraterritorial jurisdiction of the Town of Cross Roads. (2022-0509-01FPLAT)
- 13. Consider approval of an Interlocal Agreement with Denton County for Public Safety Application Support and Maintenance for FY 2022-2023 and authorize the Mayor to execute the same.
- 14. Consider approval of a tree removal permit for a new house located at 1900 Forest Hills.
- 15. Consider approval of a resolution suspending the effective date of the Oncor's rate increase for the maximum period permitted by law to allow the City, working in conjunction with the Steering Committee of Cities Served by Oncor, to evaluate the filing, determine whether the filing complies with law, and if lawful, to determine what further strategy, including settlement, to pursue.
- 16. Consider approval of an ordinance adopting the 2022 Service and Assessment Plan and updated assessment roll for the Cross Roads Public Improvement District #1.
- 17. Consider approval of authorizing the Mayor to enter into an agreement with the Texas Department of Transportation for the Furnishing, Installing and Maintenance of Traffic Signal Preemption Equipment to allow for the installation of Opticom at certain intersections within the Town.
- ~~18. Consider approval of a resolution authorizing participation in the TexPool investment pools and designating authorized representatives and authorizing the Mayor to execute the participation agreement. **Removed from Consent.**~~

**Motion to approve the Consent Agenda (only Items 9, 10, 12, 13, 14, 15, 16, and 17) made by Gaalema;
Second by Meek;
Passed unanimously.**

Item 11, pulled from Consent: Consider approval of an ordinance limit traffic on bridges on Historic Lane to two axles.

Mayor Tompkins tabled Item 11 until a later date in order to get engineer comments.

Item 18, pulled from Consent: Consider approval of a resolution authorizing participation in the TexPool investment pools and designating authorized representatives and authorizing the Mayor to execute the participation agreement.

Motion to approve, excluding TexPool Prime, made by Gaalema;

Second by Meek;

Passed unanimously.

REGULAR SESSION

19. CONDUCT A PUBLIC HEARING, discuss and consider a request by applicant Wylie Dailey on behalf of SitePro Equipment for an amendment to Exhibit B on a Special Use Permit (Ordinance 2021-0719-02) to allow for the removal of the new building and relocation of the fence for Tract 84 and 84B, of the H. White Abstract A1332A, generally located at 7557 US 377, Cross Roads, Denton County, Texas. (2022-0404-05SUP)
Mayor Tompkins opened the Public Hearing at 7:51 P.M.
_____, Engineer for Applicant
Mayor Tompkins closed the Public Hearing at 8:00 P.M.
Motion to approve made by Meek;
Second by Neubauer;
Passed unanimously.
20. Discuss and consider approval of an ordinance amending the Fiscal Year 2021-2022 Adopted Budget.
Motion to approve made by White-Stevens;
Second by Neubauer;
Passed unanimously.
21. Discuss and consider items related to the Fiscal Year 2022-2023 budget.
Kristi Gilbert gave a first glance at the Fiscal Year 2022 to 2023 budget.
22. Discuss and consider approval of the scope of services and associated costs for construction plans, specifications, and estimates for Phase 1 of the Street Rehabilitation Program and authorize the Mayor to execute associated documents.
Motion to approve mad by White-Stevens;
Second by Meek;
Passed unanimously.
23. Discuss and consider an ordinance changing the speed limits for roadways included in the Oak Shores subdivision.
Motion to approve made by Gaalema;
Second by Meek;
Neubauer voted no;
Passed 4 to 1.

24. Discuss and consider approval of a resolution authorizing appointments to the Cross Roads Parks and Recreation Board.

Motion to approve the resolution appointing the following:

Ron Zohfeld, Seat 2

James Knicker, Seat 4

Paula Paus, Seat 6

Shelly Huss, Alternate 2

Made by White-Stevens;

Second by Gaalema;

Passed unanimously.

EXECUTIVE SESSION – 8:40 P.M. to 10:32 P.M.

25. The Town Council will convene into Executive Session pursuant to Texas Government Code, annotated, Chapter 551, Subchapter D for the following:

- a. Section 551.071 Consultation with Attorney –
1. Pending litigation James Edland v. Town of Cross Roads, Texas, Case No. 22-0056-362.
 2. Lovett 380 Agreement
 3. Code Enforcement – Short Term Rentals
- b. Section 551.074 Personnel – Town Administrator Annual Performance Evaluation

26. Take action as may be necessary or appropriate on matters discussed in Executive Session.

Council discussed approval of compensation and benefit adjustments for the Town Administrator, to include a cpi merit salary adjustment and a 457 contribution (get clarification because the audio is jumpy)

Motion to approve made by Gaalema;

Second by Meek;

Approved unanimously.

ADJOURN – 10:33 P.M.

T. Lynn Tompkins, Jr., Mayor

Donna Butler, Town Secretary



MINUTES OF TOWN COUNCIL RETREAT FOR THE TOWN OF CROSS ROADS

FRIDAY, June 24, 2022 at 5:00 P.M. TO 7:30 P.M.
SATURDAY, June 25, 2022 at 8:00 A.M. TO 7:30 P.M.
SUNDAY, June 26, 2022 at 8:00 A.M. TO 12:00 P.M.

LOCATION:

The Fredonia Hotel – Renault Room
200 N. Fredonia St, Nacogdoches, TX 75961

Friday, June 24, 2022

Call to Order – 5:17 p.m.

Mayor Tompkins called the retreat to order with Mayor Pro Tem Meek and Council Member Neubauer, King and Gaalema present. Council Member White-Stevens was not in attendance.

After a brief welcome and introduction on the goals of the retreat, the Mayor adjourned the meeting for the evening at approximately 5:35 p.m. to attend a social teambuilding event.

Saturday, June 25, 2022

Call to Order – 8:45 a.m.

Mayor Tompkins called the retreat to order with Mayor Pro Tem Meek and Council Member Neubauer, King and Gaalema present. Council Member White-Stevens was not in attendance.

The Council held open discussions on the goals, objectives, priorities and cost implications for the Parks and Recreation Board and the Municipal Development District.

Council took a break from approximately 11:45 a.m. – 2:45 p.m. for lunch and a teambuilding event.

The Council reconvened and discussed items related to road improvements, police and emergency services and other community services including budget requirements. Discussion continued on responsibilities of the various boards and commissions including the Council liaisons. A brief review of past Town products was discussed.

The Council adjourned at 6:15 p.m.

Sunday, June 26, 2022

Call to Order – 8:05 a.m.

Mayor Tompkins called the retreat to order with Mayor Pro Tem Meek and Council Member Neubauer, King and Gaalema present. Council Member White-Stevens was not in attendance.

The Council reviewed discussions from Saturday, discussed communication efforts for the Town and reviewed communication styles of each of the members. The Council determined priorities to discuss at future retreats.

The retreat adjourned at approximately 11:15 a.m.

T. Lynn Tompkins, Jr., Mayor

Donna Butler, Town Secretary



COUNCIL AGENDA BRIEFING SHEET

Meeting Date:
July 25, 2022

Agenda Item:
Consider action on the Town's monthly financial reports – June 2022.

Prepared by:
Kristi Gilbert, Town Administrator

Budget versus Actuals Report:

The attached financials are the unaudited financials as of June 30, 2022 compared to the FY 22 budget as amended on June 20, 2022. The report is reflective of nine months (75%) of the fiscal year. Most revenues should be tracking at 25% or lower, indicative of revenues at or exceeding budget projections. Most expenses should be tracking at 25% or higher, indicative of expenses at or lower than budget projections. In June, over \$2.6 million was transferred out of the General Fund per the FY 22 Budget Amendment as follows:

Legal Contingency Fund	\$250,000.00
Road Improvement Fund 14.29% of sales tax revenue from 10.01.2021 to 06.30.2022	\$344,277.98
Road Improvement Fund	\$1,100,000.00
Capital Improvement Fund	\$625,000.00
Park Improvement Fund	\$75,000.00
Vehicle & Equipment Replacement Fund	\$275,000.00

Overall, general fund revenues are tracking at 19.3% of the amended FY 22 budget and expenses are tracking at 9.26% with \$905,197.38 in excess expenditures over revenue after the \$2.6 million transfer.

Recommended Action:
Staff recommends approval.

Attachments:
June Finance Report
Transaction Detail

Town of Cross Roads
 Revenue And Expense Report
 As of June 30, 2022

7/14/2022 2:36 PM

100 - General	Current Month Expense/Rev	Year To Date Expense/Rev	Current Year Budget	Budget Balance Remaining	% Balance Remaining	Prior Year YTD Balance	Prior Year FY End Bal.
Revenue Summary							
-	<u>324,674.94</u>	<u>3,407,071.38</u>	<u>4,222,190.90</u>	<u>815,119.52</u>	<u>19.31%</u>	<u>2,806,974.95</u>	<u>3,806,822.12</u>
Revenue Totals	<u><u>324,674.94</u></u>	<u><u>3,407,071.38</u></u>	<u><u>4,222,190.90</u></u>	<u><u>815,119.52</u></u>	<u><u>19.31%</u></u>	<u><u>2,806,974.95</u></u>	<u><u>3,806,822.12</u></u>
Expense Summary							
110-Administration	86,187.67	1,004,187.08	1,416,095.00	411,907.92	29.09%	964,390.92	1,396,627.49
210-Municipal Court	4,382.71	23,777.25	39,385.00	15,607.75	39.63%	0.00	0.00
310-Police	105,516.77	925,215.68	1,400,100.00	474,884.32	33.92%	747,333.00	1,133,597.33
410-Parks & Recreation	2,890.72	8,680.81	27,500.00	18,819.19	68.43%	13,609.83	19,875.95
510-Community Development	550.00	600.00	0.00	(600.00)	0.00%	0.00	950.00
520-Inspection	7,956.90	16,416.90	29,000.00	12,583.10	43.39%	9,952.00	16,122.00
610-Public Works	598.83	23,179.65	99,000.00	75,820.35	76.59%	306,677.60	316,734.93
710-Transfers Out	<u>2,663,187.23</u>	<u>2,650,495.26</u>	<u>2,116,308.28</u>	<u>(534,186.98)</u>	<u>(25.24%)</u>	<u>0.00</u>	<u>0.00</u>
Expense Totals	<u><u>2,871,270.83</u></u>	<u><u>4,652,552.63</u></u>	<u><u>5,127,388.28</u></u>	<u><u>474,835.65</u></u>	<u><u>9.26%</u></u>	<u><u>2,071,963.35</u></u>	<u><u>283,907.70</u></u>
Revenues Over(Under) Expenditures	<u><u>(2,546,595.89)</u></u>	<u><u>(1,245,481.25)</u></u>	<u><u>(905,197.38)</u></u>	<u><u>0.00</u></u>	<u><u>0.00%</u></u>	<u><u>765,011.60</u></u>	<u><u>922,914.42</u></u>

Town of Cross Roads Revenue and Expense Report As of June 30, 2022

100 - General	Department Reven	Current Month Expense/Rev	Year To Date Expense/Rev	Current Year Budget	Budget Balance Remaining	% Balance Remaining

Sales Taxes						
-40100	Sales Tax Revenue	276,820.20	2,409,223.06	2,975,000.00	565,776.94	19.02%
-40110	Mixed Beverage Tax Revenue	2,021.44	15,576.17	18,375.00	2,798.83	15.23%
	Total Sales Taxes	278,841.64	2,424,799.23	2,993,375.00	568,575.77	18.99%
Franchise Taxes						
-40120	Franchise Tax Telecom	10.95	2,803.04	4,750.00	1,946.96	40.99%
-40121	Franchise Tax Waste	0.00	11,613.95	24,750.00	13,136.05	53.07%
-40122	Franchise Tax Electric	743.73	97,122.66	96,000.00	(1,122.66)	(1.17%)
-40123	Franchise Tax Gas	0.00	19,620.64	19,500.00	(120.64)	(0.62%)
-40124	Franchise Tax Mustang SUD	0.00	14,163.41	19,000.00	4,836.59	25.46%
	Total Franchise Taxes	754.68	145,323.70	164,000.00	18,676.30	11.39%
Licenses & Permits						
-40200	Development/Plattng/Permit Fees	2,621.26	30,989.79	35,000.00	4,010.21	11.46%
-40201	Infrastructure Inspection Fees	3,000.00	27,184.44	45,000.00	17,815.56	39.59%
-40202	Residential Bldg Permits and Inspections	7,854.74	97,856.10	115,000.00	17,143.90	14.91%
-40203	Commercial Bldg Permits and Inspections	10,809.64	47,723.10	100,000.00	52,276.90	52.28%
-40204	Septic Permits and Fees	0.00	5,790.00	8,000.00	2,210.00	27.63%
-40206	Health Inspection and Fees	0.00	15,450.00	16,000.00	550.00	3.44%
-40207	Alcohol Permit/License	0.00	1,320.00	1,350.00	30.00	2.22%
-40208	Signs Permit and Fees	0.00	2,750.00	4,250.00	1,500.00	35.29%
	Total Licenses & Permits	24,285.64	229,063.43	324,600.00	95,536.57	29.43%
Court Revenue						
-40210	Municipal Court Fines	16,483.47	137,220.50	175,000.00	37,779.50	21.59%
	Total Court Revenue	16,483.47	137,220.50	175,000.00	37,779.50	21.59%
Fines and Fees						
-40300	Administrative Fees	3,264.85	13,933.74	15,000.00	1,066.26	7.11%

-40314 Credit Card Processing Fee	236.09	2,360.22	2,500.00	139.78	5.59%
Total Fines and Fees	<u>3,500.94</u>	<u>16,293.96</u>	<u>17,500.00</u>	<u>1,206.04</u>	<u>6.89%</u>
Contributions					
-40304 MDD Contribution	6,090.75	18,272.25	24,363.00	6,090.75	25.00%
Total Contributions	<u>6,090.75</u>	<u>18,272.25</u>	<u>24,363.00</u>	<u>6,090.75</u>	<u>25.00%</u>
Investment Income					
-40306 Interest Revenue	858.57	6,075.24	7,000.00	924.76	13.21%
Total Investment Income	<u>858.57</u>	<u>6,075.24</u>	<u>7,000.00</u>	<u>924.76</u>	<u>13.21%</u>
Miscellaneous					
-40315 Miscellaneous Income	0.00	4,852.60	4,800.00	(52.60)	(1.10%)
Total Miscellaneous	<u>0.00</u>	<u>4,852.60</u>	<u>4,800.00</u>	<u>(52.60)</u>	<u>(1.10%)</u>
Intergovernmental					
-40410 Intergovernmental Revenue	0.00	192.27	0.00	(192.27)	0.00%
-40412 NEMC Disbursement	0.00	134,710.84	201,102.41	66,391.57	33.01%
-40413 NEPD Disbursement	0.00	328,375.07	316,850.49	(11,524.58)	(3.64%)
-40419 NEMC Personnel Reimbursement	0.00	1,748.00	0.00	(1,748.00)	0.00%
Total Intergovernmental	<u>0.00</u>	<u>465,026.18</u>	<u>517,952.90</u>	<u>52,926.72</u>	<u>10.22%</u>
Transfers					
-40910 Transfers In	(6,140.75)	(39,855.71)	(6,400.00)	33,455.71	(522.75%)
Total Transfers	<u>(6,140.75)</u>	<u>(39,855.71)</u>	<u>(6,400.00)</u>	<u>33,455.71</u>	<u>(522.75%)</u>
Total	<u>324,674.94</u>	<u>3,407,071.38</u>	<u>4,222,190.90</u>	<u>815,119.52</u>	<u>19.31%</u>
Total Revenue	<u>324,674.94</u>	<u>3,407,071.38</u>	<u>4,222,190.90</u>	<u>815,119.52</u>	<u>19.31%</u>

100 - General	Department Expen	Current Month Expense/Rev	Year To Date Expense/Rev	Current Year Budget	Budget Balance Remaining	% Balance Remaining
110-Administration						
Personnel and Benefits						
110-51101	Payroll Expenses: Wages	28,943.10	305,523.54	424,600.00	119,076.46	28.04%
110-51102	Overtime	0.00	0.00	500.00	500.00	100.00%
110-51105	Longevity Pay	0.00	795.00	795.00	0.00	0.00%
110-51109	Auto Allowance	150.00	1,350.00	1,800.00	450.00	25.00%
110-51210	Payroll Expenses: Company Contributions: Retirement	2,087.80	22,849.36	32,150.00	9,300.64	28.93%
110-51215	Payroll Expenses: Taxes	2,225.62	23,497.01	37,050.00	13,552.99	36.58%

110-51216 Employee Health Benefits	2,938.91	30,862.86	44,000.00	13,137.14	29.86%
110-51220 Workers Compensation	0.00	4,460.96	6,450.00	1,989.04	30.84%
110-51230 Unemployment	1.44	347.03	500.00	152.97	30.59%
110-51250 Mileage Reimbursements-Non Tax	0.00	0.00	100.00	100.00	100.00%
110-51255 Miscellaneous Reimbursements	0.00	0.00	100.00	100.00	100.00%
Total Personnel and Benefits	36,346.87	389,685.76	548,045.00	158,359.24	28.90%
Supplies					
110-52014 Office Supplies	922.31	5,312.91	7,500.00	2,187.09	29.16%
110-52030 Postage	0.00	613.73	1,500.00	886.27	59.08%
110-52100 Minor Tools and Equipment	818.41	1,840.53	1,900.00	59.47	3.13%
Total Supplies	1,740.72	7,767.17	10,900.00	3,132.83	28.74%
Contractual Services					
110-53001 Accounting and Auditing Fees	0.00	3,673.45	7,500.00	3,826.55	51.02%
110-53002 Advertising and Promotion	0.00	3,782.48	12,000.00	8,217.52	68.48%
110-53004 Software	302.42	24,880.74	27,000.00	2,119.26	7.85%
110-53006 Codification Services	0.00	0.00	2,000.00	2,000.00	100.00%
110-53010 Property and Liability Insurance	0.00	6,895.28	8,500.00	1,604.72	18.88%
110-53012 Legal Fees	16,879.43	50,823.97	60,000.00	9,176.03	15.29%
110-53015 Dues and Subscriptions	0.00	146.00	900.00	754.00	83.78%
110-53016 Public Notices/Dues	0.00	578.75	1,200.00	621.25	51.77%
110-53022 Training and Travel	250.00	3,338.30	12,000.00	8,661.70	72.18%
110-53030 PayPal Charge	188.70	2,354.72	2,500.00	145.28	5.81%
110-53045 Lease and CAM Pmts - Town Hall	4,851.77	44,936.18	68,900.00	23,963.82	34.78%
110-53050 Careflite Services	0.00	1,944.00	2,000.00	56.00	2.80%
110-53055 City of Aubrey Library Fund	0.00	0.00	21,500.00	21,500.00	100.00%
110-53065 Mowing and ROW Cleanup	0.00	5.82	0.00	(5.82)	0.00%
110-53080 Engineering Services	3,916.29	38,646.03	60,000.00	21,353.97	35.59%
110-53083 Professional Services	14,520.32	36,141.89	50,000.00	13,858.11	27.72%
110-53084 Code Enforcement Services	0.00	0.00	2,000.00	2,000.00	100.00%
110-53110 Utilities	426.08	3,801.92	6,600.00	2,798.08	42.40%
110-53225 Interlocal Fire	0.00	339,225.00	452,830.00	113,605.00	25.09%

110-53610 Election Expense	4,321.88	4,604.13	8,000.00	3,395.87	42.45%
110-53800 Sales Tax Overpmt 12/21 to 5/25 Payback	1,692.00	11,844.00	16,920.00	5,076.00	30.00%
Total Contractual Services	47,348.89	577,622.66	822,350.00	244,727.34	29.76%
<u>Maintenance</u>					
110-54010 Building Maintenance/Cleaning	670.00	3,798.01	5,500.00	1,701.99	30.95%
110-54018 Repair and Maintenance	0.00	995.55	0.00	(995.55)	0.00%
110-54020 Vehicles Maintenance	81.19	1,679.17	2,300.00	620.83	26.99%
Total Maintenance	751.19	6,472.73	7,800.00	1,327.27	17.02%
<u>Capital Outlay</u>					
110-58007 Capital Improvements	0.00	22,638.76	27,000.00	4,361.24	16.15%
Total Capital Outlay	0.00	22,638.76	27,000.00	4,361.24	16.15%
Total Administration	86,187.67	1,004,187.08	1,416,095.00	411,907.92	29.09%
<u>210-Municipal Court - - - - -</u>					
<u>Personnel and Benefits</u>					
210-51101 Payroll Expenses: Wages	800.00	4,300.00	7,500.00	3,200.00	42.67%
210-51215 Payroll Expenses: Taxes	61.20	321.30	575.00	253.70	44.12%
210-51230 Unemployment	0.80	5.00	10.00	5.00	50.00%
Total Personnel and Benefits	862.00	4,626.30	8,085.00	3,458.70	42.78%
<u>Supplies</u>					
210-52014 Office Supplies	80.00	1,210.73	3,500.00	2,289.27	65.41%
210-52020 Court Supplies	225.00	445.00	1,250.00	805.00	64.40%
210-52030 Postage	0.00	1,169.14	1,000.00	(169.14)	(16.91%)
210-52100 Minor Tools and Equipment	128.42	890.34	1,000.00	109.66	10.97%
Total Supplies	433.42	3,715.21	6,750.00	3,034.79	44.96%
<u>Contractual Services</u>					
210-53001 Accounting and Auditing Fees	0.00	1,400.00	1,400.00	0.00	0.00%
210-53004 Software	0.00	562.95	650.00	87.05	13.39%
210-53015 Dues and Subscriptions	0.00	13.00	250.00	237.00	94.80%
210-53022 Training and Travel	0.00	250.00	500.00	250.00	50.00%
210-53075 Prosecutor	3,087.29	11,759.79	18,000.00	6,240.21	34.67%
210-53076 Jury	0.00	0.00	500.00	500.00	100.00%
210-53077 Interpreter	0.00	200.00	750.00	550.00	73.33%
210-53078 Arrest/Jail Fees	0.00	0.00	1,250.00	1,250.00	100.00%

Total Contractual Services	3,087.29	14,185.74	23,300.00	9,114.26	39.12%
<u>Capital Outlay</u>					
210-58010 Capital Equipment	0.00	1,250.00	1,250.00	0.00	0.00%
Total Capital Outlay	0.00	1,250.00	1,250.00	0.00	0.00%
Total Municipal Court	4,382.71	23,777.25	39,385.00	15,607.75	39.63%
<u>310-Police</u>					
<u>Personnel and Benefits</u>					
310-51101 Payroll Expenses: Wages	60,522.01	574,848.11	815,000.00	240,151.89	29.47%
310-51102 Overtime	3,476.74	19,953.74	35,000.00	15,046.26	42.99%
310-51105 Longevity Pay	0.00	400.00	400.00	0.00	0.00%
310-51108 Incentive Pay	0.00	0.00	6,000.00	6,000.00	100.00%
310-51210 Payroll Expenses: Company Contributions: Retirement	4,831.90	44,669.09	61,700.00	17,030.91	27.60%
310-51215 Payroll Expenses: Taxes	4,895.90	45,536.89	65,000.00	19,463.11	29.94%
310-51216 Employee Health Benefits	7,081.57	62,934.85	93,000.00	30,065.15	32.33%
310-51220 Workers Compensation	0.00	3,238.90	38,300.00	35,061.10	91.54%
310-51230 Unemployment	0.00	2,160.23	3,500.00	1,339.77	38.28%
Total Personnel and Benefits	80,808.12	753,741.81	1,117,900.00	364,158.19	32.58%
<u>Supplies</u>					
310-52005 Uniforms	863.06	16,989.98	20,000.00	3,010.02	15.05%
310-52010 Law Enforcement Supplies	1,764.97	3,758.42	5,000.00	1,241.58	24.83%
310-52014 Office Supplies	375.98	4,097.87	5,000.00	902.13	18.04%
310-52015 Evidence Supplies	11.28	1,764.37	2,000.00	235.63	11.78%
310-52030 Postage	47.70	858.97	1,250.00	391.03	31.28%
310-52050 Fuel	4,330.37	21,741.11	40,000.00	18,258.89	45.65%
310-52100 Minor Tools and Equipment	246.32	5,191.96	3,500.00	(1,691.96)	(48.34%)
Total Supplies	7,639.68	54,402.68	76,750.00	22,347.32	29.12%
<u>Contractual Services</u>					
310-53004 Software	0.00	1,371.92	18,400.00	17,028.08	92.54%
310-53010 Property and Liability Insurance	0.00	5,634.02	15,000.00	9,365.98	62.44%
310-53012 Legal Fees	0.00	618.75	2,500.00	1,881.25	75.25%
310-53015 Dues and Subscriptions	0.00	285.00	1,500.00	1,215.00	81.00%
310-53022 Training and Travel	905.00	3,682.99	11,500.00	7,817.01	67.97%
310-53033 Community Events	104.40	4,553.23	5,000.00	446.77	8.94%

310-53081 Information Technology Services	625.00	19,498.99	16,750.00	(2,748.99)	(16.41%)
310-53083 Professional Services	1,455.00	12,875.80	22,800.00	9,924.20	43.53%
310-53091 Landscaping	0.00	0.00	3,500.00	3,500.00	100.00%
310-53110 Utilities	805.52	5,217.47	7,500.00	2,282.53	30.43%
310-53130 Telephone Mobile	651.96	5,656.02	13,000.00	7,343.98	56.49%
310-53210 Animal Control	1,150.00	10,350.00	14,500.00	4,150.00	28.62%
310-53230 Dispatch Fees	6,157.25	24,629.00	32,500.00	7,871.00	24.22%
Total Contractual Services	<u>11,854.13</u>	<u>94,373.19</u>	<u>164,450.00</u>	<u>70,076.81</u>	<u>42.61%</u>
<u>Maintenance</u>					
310-54010 Building Maintenance/Cleaning	800.00	7,908.11	20,000.00	12,091.89	60.46%
310-54018 Repair and Maintenance	0.00	1,139.77	0.00	(1,139.77)	0.00%
310-54020 Vehicles Maintenance	4,414.84	13,650.12	21,000.00	7,349.88	35.00%
Total Maintenance	<u>5,214.84</u>	<u>22,698.00</u>	<u>41,000.00</u>	<u>18,302.00</u>	<u>44.64%</u>
Total Police	<u>105,516.77</u>	<u>925,215.68</u>	<u>1,400,100.00</u>	<u>474,884.32</u>	<u>33.92%</u>
<u>410-Parks & Recreation Contractual Services</u>					
410-53035 Park Events	649.17	4,597.92	15,000.00	10,402.08	69.35%
410-53110 Utilities	54.05	472.89	1,000.00	527.11	52.71%
Total Contractual Services	<u>703.22</u>	<u>5,070.81</u>	<u>16,000.00</u>	<u>10,929.19</u>	<u>68.31%</u>
<u>Maintenance</u>					
410-54030 Park Maintenance	2,187.50	3,610.00	11,500.00	7,890.00	68.61%
Total Maintenance	<u>2,187.50</u>	<u>3,610.00</u>	<u>11,500.00</u>	<u>7,890.00</u>	<u>68.61%</u>
Total Parks & Recreation	<u>2,890.72</u>	<u>8,680.81</u>	<u>27,500.00</u>	<u>18,819.19</u>	<u>68.43%</u>
<u>510-Community Development Contractual Services</u>					
510-53084 Code Enforcement Services	550.00	600.00	0.00	(600.00)	0.00%
Total Contractual Services	<u>550.00</u>	<u>600.00</u>	<u>0.00</u>	<u>(600.00)</u>	<u>0.00%</u>
Total Community Development	<u>550.00</u>	<u>600.00</u>	<u>0.00</u>	<u>(600.00)</u>	<u>0.00%</u>
<u>520-Inspection Contractual Services</u>					
520-53080 Engineering Services	2,626.90	2,626.90	0.00	(2,626.90)	0.00%
520-53085 Res & Com Building Review & Insp	0.00	350.00	15,000.00	14,650.00	97.67%
520-53090 Sanitation Services	5,330.00	13,440.00	14,000.00	560.00	4.00%

Total Contractual Services	<u>7,956.90</u>	<u>16,416.90</u>	<u>29,000.00</u>	<u>12,583.10</u>	<u>43.39%</u>
Total Inspection	<u>7,956.90</u>	<u>16,416.90</u>	<u>29,000.00</u>	<u>12,583.10</u>	<u>43.39%</u>
610-Public Works					
<u>Personnel and Benefits</u>					
610-51101 Payroll Expenses: Wages	<u>16.88</u>	<u>16.88</u>	<u>0.00</u>	<u>(16.88)</u>	<u>0.00%</u>
Total Personnel and Benefits	<u>16.88</u>	<u>16.88</u>	<u>0.00</u>	<u>(16.88)</u>	<u>0.00%</u>
<u>Contractual Services</u>					
610-53060 Street Materials and Signs	<u>322.50</u>	<u>4,579.82</u>	<u>8,000.00</u>	<u>3,420.18</u>	<u>42.75%</u>
610-53065 Mowing and ROW Cleanup	<u>67.05</u>	<u>16,779.87</u>	<u>38,500.00</u>	<u>21,720.13</u>	<u>56.42%</u>
610-53070 Street Contract/Repairs	<u>0.00</u>	<u>181.66</u>	<u>50,000.00</u>	<u>49,818.34</u>	<u>99.64%</u>
610-53110 Utilities	<u>192.40</u>	<u>1,621.42</u>	<u>2,500.00</u>	<u>878.58</u>	<u>35.14%</u>
Total Contractual Services	<u>581.95</u>	<u>23,162.77</u>	<u>99,000.00</u>	<u>75,837.23</u>	<u>76.60%</u>
Total Public Works	<u>598.83</u>	<u>23,179.65</u>	<u>99,000.00</u>	<u>75,820.35</u>	<u>76.59%</u>
710-Transfers Out					
<u>Capital Outlay</u>					
710-59100 Transfers Out	<u>2,663,187.23</u>	<u>2,650,495.26</u>	<u>2,116,308.28</u>	<u>(534,186.98)</u>	<u>(25.24%)</u>
Total Capital Outlay	<u>2,663,187.23</u>	<u>2,650,495.26</u>	<u>2,116,308.28</u>	<u>(534,186.98)</u>	<u>(25.24%)</u>
Total Transfers Out	<u>2,663,187.23</u>	<u>2,650,495.26</u>	<u>2,116,308.28</u>	<u>(534,186.98)</u>	<u>(25.24%)</u>
Total Expense	<u>2,871,270.83</u>	<u>4,652,552.63</u>	<u>5,127,388.28</u>	<u>474,835.65</u>	<u>9.26%</u>

Town of Cross Roads
 Transaction Detail Report
 6/1/2022 - 6/30/2022

7/15/2022 12:01 PM

100 - General Account 100-110-52014

Post Date	Tran Date	Line Description	Vendor	Invoice #	Check #	Debit	Credit	Balance
6/2/2022	6/2/2022	Amazon May purchase - Cables/Spiral pads/office supplies	Amazon Capital Services	May 2022 purchas	10886	35.96	0.00	35.96
6/20/2022	6/16/2022	Motorola, Amazon, Nametag Wizard				845.40	0.00	881.36
Total						<u>881.36</u>	<u>0.00</u>	

100 - General Account 100-110-52100

Post Date	Tran Date	Line Description	Vendor	Invoice #	Check #	Debit	Credit	Balance
6/2/2022	6/2/2022	Amazon May purchase Scansnap Document Scanner	Amazon Capital Services	May 2022 purchas	10886	449.99	0.00	449.99
6/13/2022	6/13/2022	Service 4-21 to 05-21-22 Town Hall Cust 726102197 inv 016344077	Xerox Corporation	CRPD \$229.07 Adr	10903	322.42	0.00	772.41
6/29/2022	6/29/2022	May June July 2022 Postage Meter Machine Lease Admin 24%	Pitney Bowes Global Financial Services LLC	Lease 0018464310	10934	46.00	0.00	818.41
Total						<u>818.41</u>	<u>0.00</u>	

100 - General Account 100-110-53004

Post Date	Tran Date	Line Description	Vendor	Invoice #	Check #	Debit	Credit	Balance
6/13/2022	6/13/2022	Remote Desktop Issue on 5-13-2022 Inv 12564	The Core Technology Group	12564	10905	48.75	0.00	48.75
6/20/2022	6/16/2022	Intuit, GoDaddy, Apple				253.67	0.00	302.42
6/20/2022	6/20/2022	Clearview Service / STARS Jan-Feb-March 2022	Avenu Insights & Analytics	06-013972	10919	977.45	0.00	1,279.87
6/20/2022	6/21/2022	Crctn to coding on Ck#10919 Avenu-s/be 100-110-53083 debit STARS Jan Feb Mar 2022				0.00	977.45	302.42
Total						<u>1,279.87</u>	<u>977.45</u>	

100 - General Account 100-110-53012

Post Date	Tran Date	Line Description	Vendor	Invoice #	Check #	Debit	Credit	Balance
6/1/2022	6/1/2022	Legal bill stmt thru 05-25-2022	Boyle & Lowry, L.L.P.	Stmt thru 05/25/2	10872	3,104.28	0.00	3,104.28
6/1/2022	6/1/2022	Legal bill stmt thru 05-25-2022	Boyle & Lowry, L.L.P.	Stmt thru 05/25/2	10872	893.75	0.00	3,998.03
6/1/2022	6/1/2022	Legal bill stmt thru 05-25-2022	Boyle & Lowry, L.L.P.	Stmt thru 05/25/2	10872	11,566.75	0.00	15,564.78

Post Date	Tran Date	Line Description	Vendor	Invoice #	Check #	Debit	Credit	Balance
6/1/2022	6/27/2022	Legal bill stmt thru 05-25-2022				1,100.00	0.00	16,664.78
6/13/2022	6/13/2022	To manage rate review cases - year 2022 membership assessment	Atmos Cities Steering Committee	22-166	10897	71.55	0.00	16,736.33
6/13/2022	6/13/2022	Legal Bill - stmt to 05-26-22 General Legal	Boyle & Lowry, L.L.P.	stmt to 5-26-2022	10902	1,100.00	0.00	17,836.33
6/13/2022	6/13/2022	Legal Bill - stmt to 05-26-22 General Legal	Boyle & Lowry, L.L.P.	stmt to 5-26-2022	10902	3,241.78	0.00	21,078.11
6/13/2022	6/13/2022	Legal Bill - stmt to 05-26-22 General Legal	Boyle & Lowry, L.L.P.	stmt to 5-26-2022	10902	756.25	0.00	21,834.36
6/13/2022	6/13/2022	Legal Bill - stmt to 05-26-22 General Legal	Boyle & Lowry, L.L.P.	stmt to 5-26-2022	10902	11,566.75	0.00	33,401.11
6/13/2022	6/30/2022	*VOID* Legal Bill - stmt to 05-26-22	Boyle & Lowry, L.L.P.	stmt to 5-26-2022	10902	0.00	1,100.00	32,301.11
6/13/2022	6/30/2022	*VOID* Legal Bill - stmt to 05-26-22	Boyle & Lowry, L.L.P.	stmt to 5-26-2022	10902	0.00	3,241.78	29,059.33
6/13/2022	6/30/2022	*VOID* Legal Bill - stmt to 05-26-22	Boyle & Lowry, L.L.P.	stmt to 5-26-2022	10902	0.00	756.25	28,303.08
6/13/2022	6/30/2022	*VOID* Legal Bill - stmt to 05-26-22	Boyle & Lowry, L.L.P.	stmt to 5-26-2022	10902	0.00	11,566.75	16,736.33
6/15/2022	6/15/2022	Year 2022 Membership-to manage rate review cases	Oncor Cities Steering Committee	22-151	10914	143.10	0.00	16,879.43
Total						<u>33,544.21</u>	<u>16,664.78</u>	

100 - General Account 100-110-53022

Post Date	Tran Date	Line Description	Vendor	Invoice #	Check #	Debit	Credit	Balance
6/20/2022	6/16/2022	Virtual Lear				250.00	0.00	250.00
Total						<u>250.00</u>	<u>0.00</u>	

100 - General Account 100-110-53030

Post Date	Tran Date	Line Description	Vendor	Invoice #	Check #	Debit	Credit	Balance
6/6/2022	6/7/2022	Kristi reimbmt personal chg's on CC - Paypal related fee				8.62	0.00	8.62
6/8/2022	6/7/2022	Paypal to 06-07-22 Total sales \$1404.00 Fees \$49.59 net from Paypal \$1354.41				49.59	0.00	58.21
6/29/2022	6/29/2022	Paypal to 06-28-22 Total sales \$3681.40 Fees \$130.49 net from Paypal \$3550.91				130.49	0.00	188.70
Total						<u>188.70</u>	<u>0.00</u>	

100 - General

Account 100-110-53045

Post Date	Tran Date	Line Description	Vendor	Invoice #	Check #	Debit	Credit	Balance
6/15/2022	6/15/2022	Lease & Cam Pmt's - Town Hall July 2022 rent reduced for cost of Cleaning Fees	West Crossroads LTD	2115	10915	0.00	365.00	(365.00)
6/15/2022	6/15/2022	Lease & Cam Pmt's - Town Hall July 2022 Operating Exp	West Crossroads LTD	2115	10915	1,769.27	0.00	1,404.27
6/15/2022	6/15/2022	Lease & Cam Pmt's - Town Hall July 2022 rent	West Crossroads LTD	2115	10915	3,447.50	0.00	4,851.77
Total						<u>5,216.77</u>	<u>365.00</u>	

100 - General

Account 100-110-53080

Post Date	Tran Date	Line Description	Vendor	Invoice #	Check #	Debit	Credit	Balance
6/15/2022	6/15/2022	Engineering serv thru 5-31-2022 General Engineering	Halff Associates, Inc.	10074228	10913	3,916.29	0.00	3,916.29
Total						<u>3,916.29</u>	<u>0.00</u>	

100 - General

Account 100-110-53083

Post Date	Tran Date	Line Description	Vendor	Invoice #	Check #	Debit	Credit	Balance
6/2/2022	6/2/2022	Local Circuit Inv 3500 June 2022 Services pd in advance - City Hall IT Services	Local Circuit	3500	10885	238.00	0.00	238.00
6/2/2022	6/2/2022	Local Circuit Inv 3500 June 2022 Services pd in advance - PC's and Cloud Bkup - Admin	Local Circuit	3500	10885	150.00	0.00	388.00
6/13/2022	6/13/2022	FY 2021 recons, audit adjmts, Account Recons	Eddie Peacock PLLC	EPPLLC-1643	10896	2,437.50	0.00	2,825.50
6/13/2022	6/13/2022	Parks Event 04-23-22 Hazardous Waste Collection	Upper Trinity Regional Water District	HHW352205	10904	2,912.00	0.00	5,737.50
6/15/2022	6/15/2022	Maintenance of Code of Ordinances on Server June 2022 to May 2023	Franklin Legal Publishing	2008351	10916	395.00	0.00	6,132.50
6/20/2022	6/16/2022	Goodhire, Ziprecruiter				1,170.44	0.00	7,302.94
6/20/2022	6/21/2022	Crctn to coding on Ck#10919 Avenu-s/be 100-110-53083 debit				977.45	0.00	8,280.39
6/28/2022	6/28/2022	STARS Jan Feb Mar 2022 Changes to Settings on 2 extensions for Town Hall - phone lines	Protel	25749	10927	47.50	0.00	8,327.89
6/28/2022	6/28/2022	Consulting for Town Council Retreat June 2022	Greater Yield LLC	22-0326	10930	6,192.43	0.00	14,520.32
Total						<u>14,520.32</u>	<u>0.00</u>	

100 - General

Account 100-110-53110

Post Date	Tran Date	Line Description	Vendor	Invoice #	Check #	Debit	Credit	Balance
6/20/2022	6/16/2022	Intermedia				239.15	0.00	239.15
6/20/2022	6/20/2022	Acct 314371029 service to 07/05/2022 - Town Hall internet	AT&T	acct 314371029	10921	145.16	0.00	384.31

6/29/2022	6/29/2022	07/05/2022 - Town Hall internet Service May 8 - June 7 CRPD phones hot spots and 1 Admin Town phone	AT&T Mobility	287310473254 to 10935		41.77	0.00	426.08
Total						<u>426.08</u>	<u>0.00</u>	

100 - General Account 100-110-53610

Post Date	Tran Date	Line Description	Vendor	Invoice #	Check #	Debit	Credit	Balance
6/13/2022	6/13/2022	05-07-2022 Elections Services	Denton County Elections	May 2022 election	10908	4,321.88	0.00	4,321.88
Total						<u>4,321.88</u>	<u>0.00</u>	

100 - General Account 100-110-53800

Post Date	Tran Date	Line Description	Vendor	Invoice #	Check #	Debit	Credit	Balance
6/10/2022	6/14/2022	Record 100-40100 Rev with Sales Tax Overpmt Payback - March 2022 Rev and Payback				1,692.00	0.00	1,692.00
Total						<u>1,692.00</u>	<u>0.00</u>	

100 - General Account 100-110-54010

Post Date	Tran Date	Line Description	Vendor	Invoice #	Check #	Debit	Credit	Balance
6/13/2022	6/13/2022	Cleaning on 05-30-2022 and on 06-06-2022 - Town Hall	Amanda Escovedo	995683	10907	380.00	0.00	380.00
6/20/2022	6/16/2022	Maid Up Cleaners				100.00	0.00	480.00
6/28/2022	6/28/2022	Amanda Escovedo cleaning Town Hall : 06-20-2022 Inv 995684	Amanda Escovedo	995684	10924	190.00	0.00	670.00
Total						<u>670.00</u>	<u>0.00</u>	

100 - General Account 100-110-54020

Post Date	Tran Date	Line Description	Vendor	Invoice #	Check #	Debit	Credit	Balance
6/2/2022	6/2/2022	Wex Bank charges May 2022 Acct 0496-00-810428-3 - Town of Cross Roads gas in truck	WEX Bank	May 2022	10884	57.39	0.00	57.39
6/20/2022	6/16/2022	7-Eleven				23.80	0.00	81.19
Total						<u>81.19</u>	<u>0.00</u>	

100 - General Account 100-210-52014

Post Date	Tran Date	Line Description	Vendor	Invoice #	Check #	Debit	Credit	Balance
6/20/2022	6/16/2022	Intuit				80.00	0.00	80.00
Total						<u>80.00</u>	<u>0.00</u>	

100 - General Account 100-210-52020

Post Date	Tran Date	Line Description	Vendor	Invoice #	Check #	Debit	Credit	Balance
6/28/2022	6/28/2022	Fee Sheets printed - court supplies - Qty 2000	Nu-Art Printing Company	12882	10923	225.00	0.00	225.00

Total 225.00 0.00

100 - General Account 100-210-52100

Post Date	Tran Date	Line Description	Vendor	Invoice #	Check #	Debit	Credit	Balance
6/29/2022	6/29/2022	May June July 2022 Postage Meter Machine Lease Court 67%	Pitney Bowes Global Financial Services LLC	Lease 001846431C	10934	128.42	0.00	128.42
						Total	<u>128.42</u>	<u>0.00</u>

100 - General Account 100-210-53075

Post Date	Tran Date	Line Description	Vendor	Invoice #	Check #	Debit	Credit	Balance
6/1/2022	6/1/2022	Legal bill stmt thru 05-25-2022 - Court Legal Bill	Boyle & Lowry, L.L.P.	Stmt thru 05/25/2	10872	3,087.29	0.00	3,087.29
6/13/2022	6/13/2022	Legal Bill - stmt to 05-26-22 Court	Boyle & Lowry, L.L.P.	stmt to 5-26-2022	10902	3,087.29	0.00	6,174.58
6/13/2022	6/30/2022	*VOID* Legal Bill - stmt to 05-26-22 Court	Boyle & Lowry, L.L.P.	stmt to 5-26-2022	10902	0.00	3,087.29	3,087.29
						Total	<u>6,174.58</u>	<u>3,087.29</u>

100 - General Account 100-310-52005

Post Date	Tran Date	Line Description	Vendor	Invoice #	Check #	Debit	Credit	Balance
6/13/2022	6/13/2022	Inv 21273350 \$4.25 nameplate Inv 21366117 \$209.10 Pant, supershirt, belt	Galls LLC	21273350-213661	10898	213.35	0.00	213.35
6/28/2022	6/28/2022	Radio Holder (Qty 3)	Impact Promotional Services LLC	31738	10931	179.55	0.00	392.90
6/28/2022	6/28/2022	Magazine Pouch (Qty 2)	Impact Promotional Services LLC	31738	10931	90.90	0.00	483.80
6/28/2022	6/28/2022	Belt Qty 1	Galls LLC	021457564	10932	61.16	0.00	544.96
6/28/2022	6/28/2022	Expandable Baton (Qty 2)	Galls LLC	021457564	10932	318.10	0.00	863.06
						Total	<u>863.06</u>	<u>0.00</u>

100 - General Account 100-310-52010

Post Date	Tran Date	Line Description	Vendor	Invoice #	Check #	Debit	Credit	Balance
6/2/2022	6/2/2022	Stand 1 Armory Inv CRD052022 \$670.00 - 7 boxes Range Ammo	Stand 1 Armory	CRD052022	10881	670.00	0.00	670.00
6/2/2022	6/2/2022	Amazon May purchase - Batteries, antennae, clamps	Amazon Capital Services	May 2022 purchas	10886	81.75	0.00	751.75
6/9/2022	6/9/2022	Applicant Drug Test - Jason Wright Inv 166	CommunityMed PLLC	166	10893	150.00	0.00	901.75
6/20/2022	6/16/2022	Atwood, CMI, Vistaprint				553.22	0.00	1,454.97
6/20/2022	6/20/2022	Qty 1 - 9mm Ammo	Stand 1 Armory	946	10920	310.00	0.00	1,764.97
						Total	<u>1,764.97</u>	<u>0.00</u>

100 - General

Account 100-310-52014

Post Date	Tran Date	Line Description	Vendor	Invoice #	Check #	Debit	Credit	Balance
6/2/2022	6/2/2022	Amazon May purchase - office supplies: envelopes, paper, paper cutter	Amazon Capital Services	May 2022 purchas	10886	179.19	0.00	179.19
6/20/2022	6/16/2022	Wal Mart, Home Goods				196.79	0.00	375.98
					Total	375.98	0.00	

100 - General

Account 100-310-52015

Post Date	Tran Date	Line Description	Vendor	Invoice #	Check #	Debit	Credit	Balance
6/2/2022	6/2/2022	Amazon May purchase - pouch envelopes	Amazon Capital Services	May 2022 purchas	10886	11.28	0.00	11.28
					Total	11.28	0.00	

100 - General

Account 100-310-52030

Post Date	Tran Date	Line Description	Vendor	Invoice #	Check #	Debit	Credit	Balance
6/20/2022	6/16/2022	USPS				47.70	0.00	47.70
					Total	47.70	0.00	

100 - General

Account 100-310-52050

Post Date	Tran Date	Line Description	Vendor	Invoice #	Check #	Debit	Credit	Balance
6/2/2022	6/2/2022	Wex Bank charges May 2022 Acct 0496-00-810428-3 - CRPD auto GAS	WEX Bank	May 2022	10884	4,330.37	0.00	4,330.37
					Total	4,330.37	0.00	

100 - General

Account 100-310-52100

Post Date	Tran Date	Line Description	Vendor	Invoice #	Check #	Debit	Credit	Balance
6/13/2022	6/13/2022	Service 4-21 to 05-21-22 CRPD Cust 101342699 Inv 016344072	Xerox Corporation	CRPD \$229.07	Adr 10903	229.07	0.00	229.07
6/29/2022	6/29/2022	May June July 2022 Postage Meter Machine Lease CRPD 9%	Pitney Bowes Global Financial Services LLC	Lease 001846431	10934	17.25	0.00	246.32
					Total	246.32	0.00	

100 - General

Account 100-310-53012

Post Date	Tran Date	Line Description	Vendor	Invoice #	Check #	Debit	Credit	Balance
6/1/2022	6/1/2022	Legal bill stmt thru 05-25-2022 - CRPD General Legal	Boyle & Lowry, L.L.P.	Stmt thru 05/25/2	10872	1,100.00	0.00	1,100.00
6/1/2022	6/27/2022	This line item originally coded on invoice entry to 100-310-53012 but s/be 100-110-53012 Boyle stmt to 05-25-22				0.00	1,100.00	0.00
					Total	1,100.00	1,100.00	

100 - General

Account 100-310-53022

Post Date	Tran Date	Line Description	Vendor	Invoice #	Check #	Debit	Credit	Balance
6/2/2022	6/2/2022	Class-Eli-F.W TX July 2022 Inv 200070040	FBI-LEEDA	200070040	10880	695.00	0.00	695.00
6/20/2022	6/16/2022	Collin College				210.00	0.00	905.00
Total						<u>905.00</u>	<u>0.00</u>	

100 - General

Account 100-310-53033

Post Date	Tran Date	Line Description	Vendor	Invoice #	Check #	Debit	Credit	Balance
6/20/2022	6/16/2022	Kroger				104.40	0.00	104.40
Total						<u>104.40</u>	<u>0.00</u>	

100 - General

Account 100-310-53081

Post Date	Tran Date	Line Description	Vendor	Invoice #	Check #	Debit	Credit	Balance
6/2/2022	6/2/2022	Local Circuit Inv 3500 June 2022 Services pd in advance - CRPD - IT Services	Local Circuit	3500	10885	625.00	0.00	625.00
Total						<u>625.00</u>	<u>0.00</u>	

100 - General

Account 100-310-53083

Post Date	Tran Date	Line Description	Vendor	Invoice #	Check #	Debit	Credit	Balance
6/2/2022	6/2/2022	Property/Evidence 14 hours 5/17/2022 to 5/25/2022	Joshua Wayne Lyon	2022-007	10877	560.00	0.00	560.00
6/9/2022	6/9/2022	Psyche Test - Applicant 06/05/2022 - Kevin Sheppard	Pro Wellness Services PLLC	004-CRPD	10891	300.00	0.00	860.00
6/9/2022	6/9/2022	Acct 6265812 May billing - Computer search service to access info on individuals	Transunion Risk and Alternative Data Solutions Inc	May billing acct 62	10892	75.00	0.00	935.00
6/28/2022	6/28/2022	Property/Evidence (13 hours) 06/01/2022 to 06/22/2022	Joshua Wayne Lyon	2022-008	10933	520.00	0.00	1,455.00
Total						<u>1,455.00</u>	<u>0.00</u>	

100 - General

Account 100-310-53110

Post Date	Tran Date	Line Description	Vendor	Invoice #	Check #	Debit	Credit	Balance
6/2/2022	6/2/2022	service 4/27/22 to 5/17/22 CRPD water bill acct 002-0077400-001	Mustang Special Utility District	acct 002-0077400	10883	81.03	0.00	81.03
6/13/2022	6/13/2022	ACC Business May 2022 Inv 221510465 \$176.95	ACC Business	221510465	10899, 10900	176.95	0.00	257.98
6/13/2022	6/13/2022	Lights and CRPD and Parks 4-26-22 to 5-25-22 CRPD	CoServ	various - service to	10901	388.10	0.00	646.08
6/20/2022	6/16/2022	Intermedia				159.44	0.00	805.52
Total						<u>805.52</u>	<u>0.00</u>	

100 - General

Account 100-310-53130

Post Date	Tran Date	Line Description	Vendor	Invoice #	Check #	Debit	Credit	Balance
6/29/2022	6/29/2022	Service May 8 - June 7 CRPD phones hot spots	AT&T Mobility	287310473254 to	10935	651.96	0.00	651.96
Total						<u>651.96</u>	<u>0.00</u>	

100 - General

Account 100-310-53210

Post Date	Tran Date	Line Description	Vendor	Invoice #	Check #	Debit	Credit	Balance
6/9/2022	6/9/2022	Service for month : May 2022 Animal Control Inv 4742	All American Dogs	4742	10894	1,150.00	0.00	1,150.00
Total						<u>1,150.00</u>	<u>0.00</u>	

100 - General

Account 100-310-53230

Post Date	Tran Date	Line Description	Vendor	Invoice #	Check #	Debit	Credit	Balance
6/21/2022	6/21/2022	Denton County Qtrly pmt \$6157.25 Dispatch fees Due 07-05-22 Pmt 4 of 4 Sheriff's office Communications agreement	Denton County	Pmt 4 of 4 FY 2022	10922	6,157.25	0.00	6,157.25
Total						<u>6,157.25</u>	<u>0.00</u>	

100 - General

Account 100-310-54010

Post Date	Tran Date	Line Description	Vendor	Invoice #	Check #	Debit	Credit	Balance
6/9/2022	6/9/2022	CRPD: Mowing, Weed Eat Dates: 05/27/2022 06/03/2022 Inv 156342	Billy Joe Lerma	156342	10890	200.00	0.00	200.00
6/20/2022	6/16/2022	Maid Up Cleaners				600.00	0.00	800.00
Total						<u>800.00</u>	<u>0.00</u>	

100 - General

Account 100-310-54020

Post Date	Tran Date	Line Description	Vendor	Invoice #	Check #	Debit	Credit	Balance
6/2/2022	6/2/2022	The Reinalt-Thomas Corp/Discount Tire \$1,110.00 May 2022 Inv 8714414 - 2 tires 2020 Chev Tahoe	The Reinalt-Thomas Corp.	8714054 8714414	10878, 10879	370.00	0.00	370.00
6/2/2022	6/2/2022	The Reinalt-Thomas Corp/Discount Tire \$1,110.00 May 2022 Inv 8714054 - 4 tires 2018 Chev Tahoe	The Reinalt-Thomas Corp.	8714054 8714414	10878, 10879	740.00	0.00	1,110.00
6/2/2022	6/2/2022	May invoice 45241378 05-25-22 Oil Change 2018 Chev Tahoe Unit 8418	BS Retail Operations LLC	May 2022 invoices	10882	84.29	0.00	1,194.29
6/2/2022	6/2/2022	May invoice 45235048 05-24-22 Oil Change 2020 Chev Tahoe Unit 8620	BS Retail Operations LLC	May 2022 invoices	10882	84.29	0.00	1,278.58
6/2/2022	6/2/2022	May invoice 45144647 05-10-22 front 2 rear 2 Brakes 2020 Chev	BS Retail Operations LLC	May 2022 invoices	10882	730.00	0.00	2,008.58

		Tahoe Unit 8620						
6/20/2022	6/16/2022	Car Wash, James Wood Chevrolet				2,406.26	0.00	4,414.84
						<u>Total</u>	<u>4,414.84</u>	<u>0.00</u>

100 - General Account 100-410-53035

Post Date	Tran Date	Line Description	Vendor	Invoice #	Check #	Debit	Credit	Balance
6/13/2022	6/13/2022	Inv A-114415 Parks Dept 6-8-22 to 7-5-22 4 wee rental	Texas Johns	A-114415	10909	89.25	0.00	89.25
6/20/2022	6/16/2022	Vistaprint				559.92	0.00	649.17
						<u>Total</u>	<u>649.17</u>	<u>0.00</u>

100 - General Account 100-410-53110

Post Date	Tran Date	Line Description	Vendor	Invoice #	Check #	Debit	Credit	Balance
6/2/2022	6/2/2022	Mustang SUD - Parks Dept \$29.09 Service 4/27 to 5/17/2022 water	Mustang Special Utility District	002-0081400-002	10876	29.09	0.00	29.09
6/13/2022	6/13/2022	Lights and CRPD and Parks 4-26-22 to 5-25-22 Parks - FM 424	CoServ	various - service to	10901	24.96	0.00	54.05
						<u>Total</u>	<u>54.05</u>	<u>0.00</u>

100 - General Account 100-410-54030

Post Date	Tran Date	Line Description	Vendor	Invoice #	Check #	Debit	Credit	Balance
6/7/2022	6/7/2022	Parks: Mow, Weed Eat, Trash pickup on: 05-27-2022, 06-03-2022	Billy Joe Lerma	156341	10888	350.00	0.00	350.00
6/7/2022	6/7/2022	Inv 16724-Apply dirt to washout areas 05/20/2022	Metro Grounds Maintenance	16724	10889	1,650.00	0.00	2,000.00
6/14/2022	6/14/2022	Repair light in Park Pavillion 06-01-2022 Inv 40332	C & G Electric Inc	40332	10911	187.50	0.00	2,187.50
						<u>Total</u>	<u>2,187.50</u>	<u>0.00</u>

100 - General Account 100-510-53084

Post Date	Tran Date	Line Description	Vendor	Invoice #	Check #	Debit	Credit	Balance
6/28/2022	6/28/2022	Town of Providence Village Inv 21-01074 thru 22-01378 11 invoices \$550 21-01074 21-01075 21-01076 22-00167 22-00210 22-01214 22-01215 22-01231 22-01232 22-013778 22-01378	Town of Providence Village	Town of Providence	10925	550.00	0.00	550.00
						<u>Total</u>	<u>550.00</u>	<u>0.00</u>

100 - General Account 100-520-53080

Post Date	Tran Date	Line Description	Vendor	Invoice #	Check #	Debit	Credit	Balance
6/15/2022	6/16/2022	Dev # 2757 orig calc to Dev tracking \$172.06 but s/be \$122.91 - offset is 100-520-53080				49.15	0.00	49.15

6/15/2022	6/16/2022	Dev # 2799 orig calc to Dev tracking \$1735.10 but s/be \$323.45 -offset is 100-520-53080				1,411.65	0.00	1,460.80
6/15/2022	6/16/2022	Dev # 2800 orig calc to Dev tracking \$1424.85 but s/be \$258.75 -offset is 100-520-53080				1,166.10	0.00	2,626.90
Total						<u>2,626.90</u>	<u>0.00</u>	

100 - General Account 100-520-53090

Post Date	Tran Date	Line Description	Vendor	Invoice #	Check #	Debit	Credit	Balance
6/1/2022	6/1/2022	John Glover Health Inspections (Qty 37) May 2022 \$2,980.00	John Glover	5-26-2022	10875	2,980.00	0.00	2,980.00
6/13/2022	6/13/2022	Inv86839 Plan Review-3 properties: 1090 Woodland, 1270 Stone Trail, 11601 United States HWY 380 - septic	SAFEbuilt LLC	86839	10906	970.00	0.00	3,950.00
6/28/2022	6/28/2022	Permit Plan Review 02/28/2022 3200 New Hope	SAFEbuilt LLC	84516	10928	450.00	0.00	4,400.00
6/28/2022	6/28/2022	Year 2015 to Year 2021 catchup septic permits - fees for sanitation services	Texas Commission On Environmental Quality	Acct 0620266	10929	930.00	0.00	5,330.00
Total						<u>5,330.00</u>	<u>0.00</u>	

100 - General Account 100-610-51101

Post Date	Tran Date	Line Description	Vendor	Invoice #	Check #	Debit	Credit	Balance
6/13/2022	6/13/2022	Lights and CRPD and Parks 4-26-22 to 5-25-22 FM 424 & Wal Mart	CoServ	various - service to	10901	16.88	0.00	16.88
Total						<u>16.88</u>	<u>0.00</u>	

100 - General Account 100-610-53060

Post Date	Tran Date	Line Description	Vendor	Invoice #	Check #	Debit	Credit	Balance
6/1/2022	6/1/2022	Street Name signs: Historic Lane (2) Keyes Lane (4)	Roadrunner Traffic Supply Inc	44893	10874	322.50	0.00	322.50
Total						<u>322.50</u>	<u>0.00</u>	

100 - General Account 100-610-53065

Post Date	Tran Date	Line Description	Vendor	Invoice #	Check #	Debit	Credit	Balance
6/20/2022	6/16/2022	Arentco, Landfill, Atwood, Circle K, Car Wash				67.05	0.00	67.05
Total						<u>67.05</u>	<u>0.00</u>	

100 - General Account 100-610-53110

Post Date	Tran Date	Line Description	Vendor	Invoice #	Check #	Debit	Credit	Balance
6/13/2022	6/13/2022	Lights and CRPD and Parks 4-26-22 to 5-25-22 Fishtrap Road	CoServ	various - service to	10901	33.76	0.00	33.76
6/13/2022	6/13/2022	Lights and CRPD and Parks 4-26-22	CoServ	various - service to	10901	16.88	0.00	50.64

6/13/2022	6/13/2022	to 5-25-22 HWY 380 and Wal Mart Lights and CRPD and Parks 4-26-22	CoServ	various - service to 10901	12.05	0.00	62.69
6/15/2022	6/15/2022	to 5-25-22 WHY 377 & Griffin Naylor Rd lights to 06-09-22 acct 9000272768	CoServ	acct 9000272768 to 10912	129.71	0.00	192.40
Total					<u>192.40</u>	<u>0.00</u>	

100 - General

Account 100-710-59100

Post Date	Tran Date	Line Description	Vendor	Invoice #	Check #	Debit	Credit	Balance
6/30/2022	6/30/2022	Per FY 22 Budget Amend 06.20.22 from Genl Fund to Fund 330				275,000.00	0.00	275,000.00
6/30/2022	6/30/2022	Per FY 22 Budget Amend 06.20.22 from Genl Fund to Fund 320				75,000.00	0.00	350,000.00
6/30/2022	6/30/2022	Per FY 22 Budget Amend 06.20.22 from Genl Fund to Fund 310				625,000.00	0.00	975,000.00
6/30/2022	6/30/2022	Per FY 22 Budget Amend 06.20.22 from Genl Fund to Fund 370-10054				1,100,000.00	0.00	2,075,000.00
6/30/2022	6/30/2022	14.29 % of sales tax rev from 10.01.2021 to 06.30.2022 From Op'g Cash to Fund 370-10054				344,277.98	0.00	2,419,277.98
6/30/2022	6/30/2022	Per FY 22 Budget Amend 6.20.22 From Op'g cash to Fund 150-10053				250,000.00	0.00	2,669,277.98
6/30/2022	6/30/2022	Qtrly Transfer Apr May June 2022 Salary & Office Exp per FY 22 budget				0.00	6,090.75	2,663,187.23
Total						<u>2,669,277.98</u>	<u>6,090.75</u>	



COUNCIL AGENDA BRIEFING SHEET

Meeting Date:
July 25, 2022

Agenda Item:
Consider approval of a final plat application for property located at 60 Cedar Ln., within the Town of Cross Roads. (2022-0606-04FPLAT)

Prepared by:
Rodney Patterson, Building Official

Description:
Applicant Marc DeGenaro submitted a final plat application on behalf of property owner Brant Weatherford for the Oak Bluff Addition Lots 1 and 2 Block B on June 6, 2022, to plat 2 previously un-platted tracts of land totaling 10.91 acres generally located at 60 Cedar Ln. to create 2 reconfigured residential lots. The Town Engineer performed a technical review of the final plat application and construction drawings on June 8, 2022, which include minor comments of adding notes to the plat and providing a closure report.

Both notes are necessary as the engineer did not require the current property owner to take on the full burden of performing a drainage study at the time of platting due to the size of the development. However, it will be necessary to have a study performed before a permit is issued.

Planning and Zoning Recommendation:
P&Z Recommended approval unanimously based upon the following 3 conditions being met:

1. Providing a closure report;
2. Adding a note that Lot 2, Block B may require a replat prior to development; and
3. Adding Note 9 from the Preliminary Plat.

Recommended Action:
The applicant updated the final plat after the Planning and Zoning Commission to add both notes, however, a closure report is still necessary.

Staff is recommending approval contingent on:

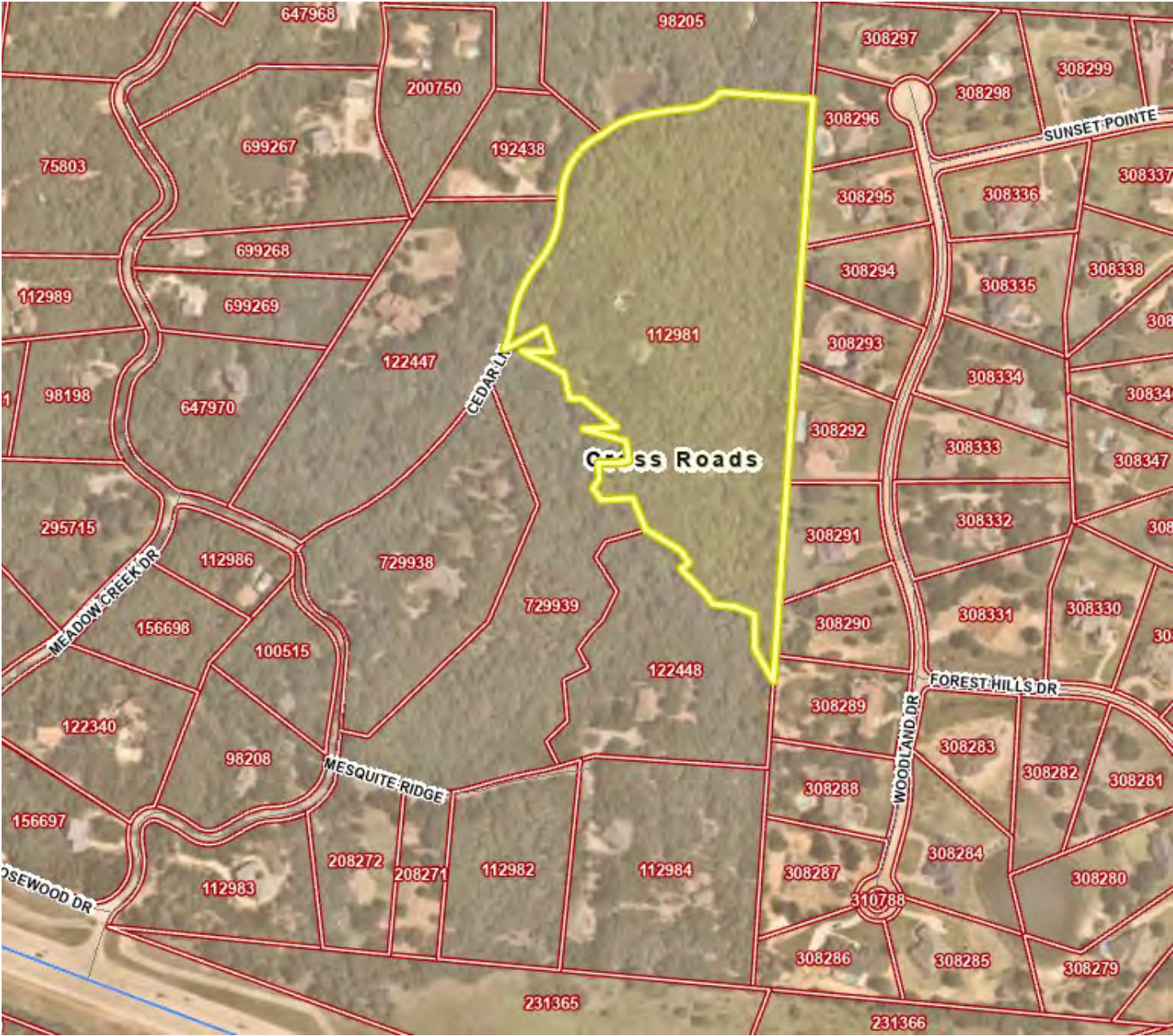
1. Providing a closure report; and,
2. Correcting the spelling error for the drainage easement.

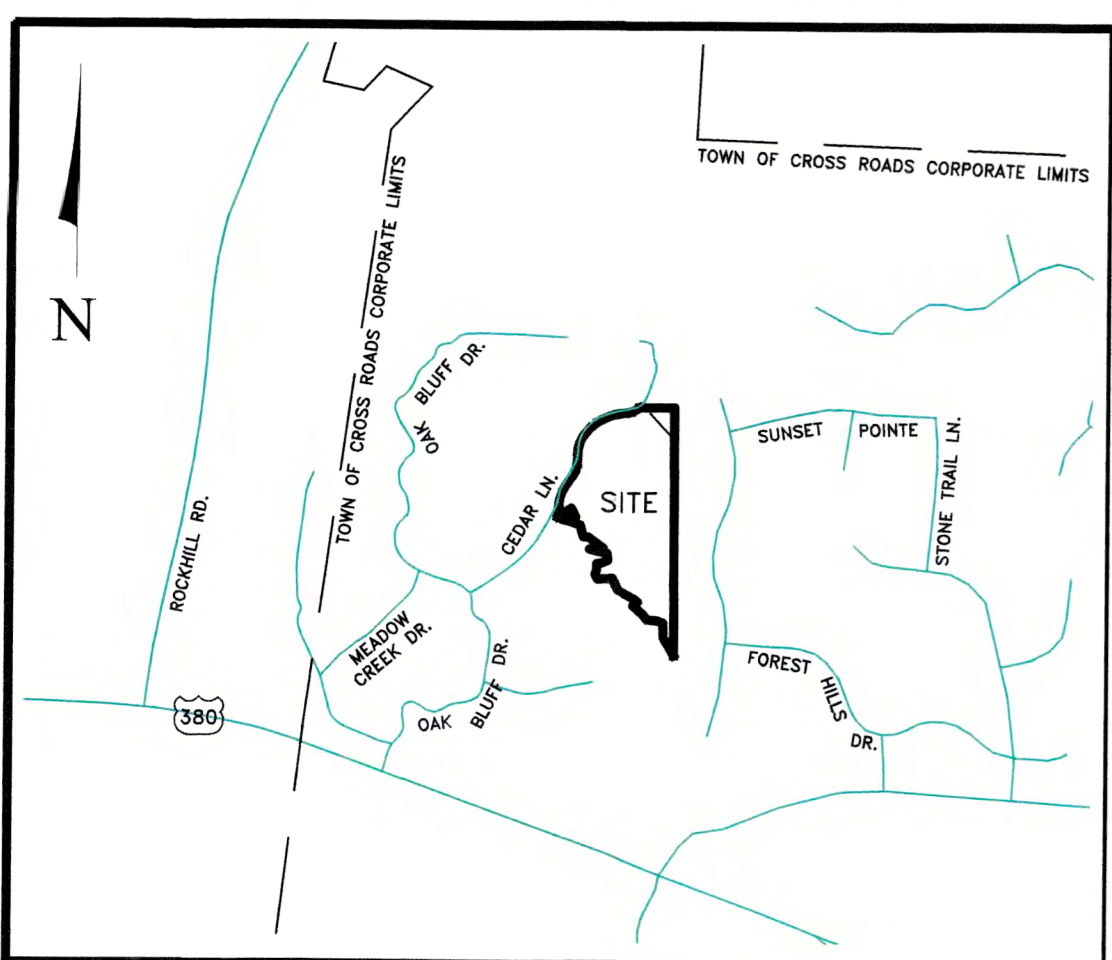
Attachments:
Engineering Comments
Application and supporting documents

Project Aerial

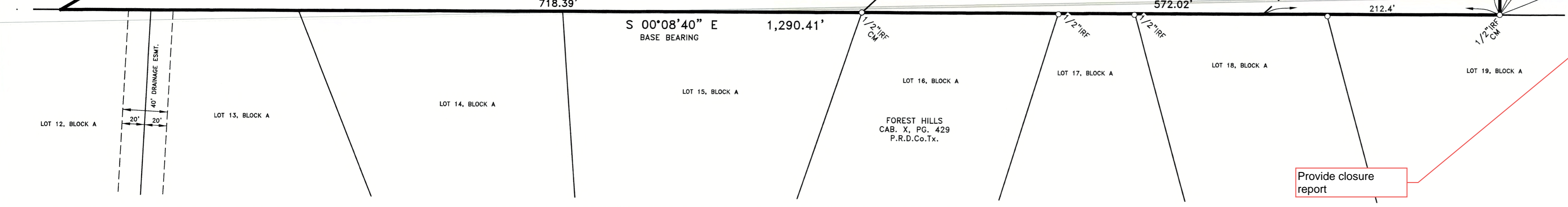
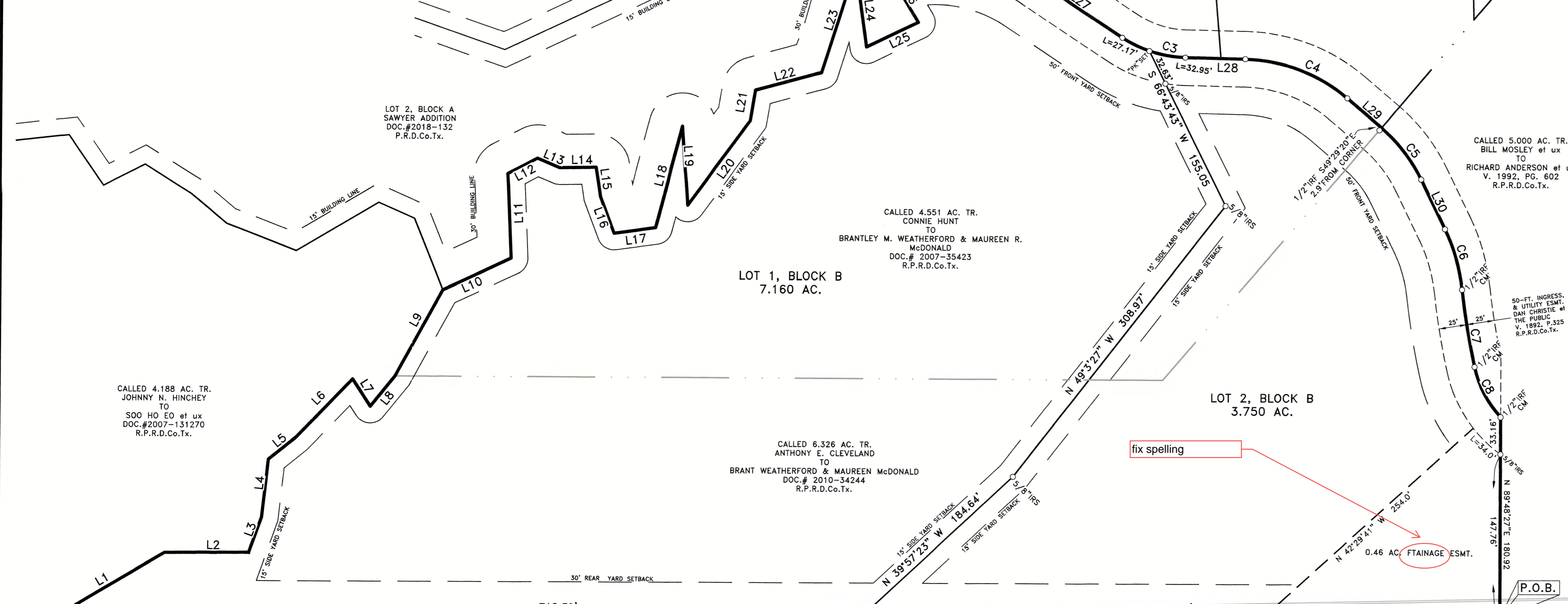
Oak Bluff Addition Lots 1 and 2 Block B - 2022-0606-04FPLAT

60 Cedar Lane





VICINITY MAP SCALE: 1"=1,000'



BOUNDARY LINE TABLE:		BOUNDARY CURVE TABLE:	
L1=N 30°49'51" W	107.64'	C1=R=91.41', L=42.37', CH=N07°11'22"E	41.99'
L2=N 00°17'09" W	75.54'	C2=R=160.54', L=110.82', CH=N13°34'14"E	108.63'
L3=N 70°34'43" W	33.84'	C3=R=106.37', L=60.12', CH=N17°16'03"E	59.32'
L4=N 83°41'37" W	52.53'	C4=R=145.56', L=99.95', CH=N20°44'54"E	98.00'
L5=N 39°04'35" W	31.75'	C5=R=141.57', L=58.77', CH=N52°13'42"E	58.35'
L6=N 46°09'32" E	72.79'	C6=R=167.34', L=56.62', CH=N73°48'49"E	56.35'
L7=N 56°58'23" E	29.28'	C7=R=622.68', L=70.45', CH=N80°25'28"E	70.41'
L8=N 51°11'03" W	35.18'	C8=R=98.48', L=51.51', CH=N62°16'15"E	50.90'
L9=N 81°24'36" W	88.56'		
L10=N 25°11'22" W	67.43'		
L11=S 87°25'18" W	76.11'		
L12=N 27°34'01" W	29.92'		
L13=N 22°40'54" E	21.53'		
L14=N 00°54'00" W	32.79'		
L15=N 81°35'12" E	26.49'		
L16=N 69°13'27" E	35.12'		
L17=N 07°53'16" W	37.42'		
L18=N 75°25'43" W	94.23'		
L19=N 85°55'41" E	70.94'		
L20=N 53°52'17" W	94.25'		
L21=N 80°42'28" W	28.02'		
L22=N 15°21'10" W	61.37'		
L23=N 72°32'00" W	99.53'		
L24=N 81°54'43" E	72.61'		
L25=N 26°09'21" W	51.56'		
L26=S 58°38'06" W	82.41'		
L27=N 33°27'51" W	84.47'		
L28=N 01°04'34" E	53.91'		
L29=N 40°24'39" E	40.58'		
L30=N 64°07'15" E	49.69'		

LEGEND
 --- EASEMENT LINE
 --- PROPERTY LINE
 --- BOUNDARY LINE

DEDICATION
 STATE OF TEXAS
 COUNTY OF DENTON

WHEREAS, BRANTLEY M. WEATHERFORD & MAUREEN R. McDONALD are the owner of all that certain tract of land situated in the J. Williamson Survey Abstract Number 1418, Town of Cross Roads, Denton County, Texas and being all of the called 4.551 acre tract described in the deed from Connie Hunt to Brantley M. Weatherford and Maureen R. McDonald recorded in Document Number 2007-35423 and all of the called 6.326 acre tract described in the deed from Anthony E. Cleveland to Brantley Weatherford and Maureen McDonald recorded in Document Number 2010-34244 of the Real Property Records of Denton County, Texas; the subject tract being more particularly described as follows:

BEGINNING for the Northeast corner of the tract being described herein at a 1/2 inch iron rod found at the Northeast corner of the said 6.326 acre tract and the Southwest corner of the called 5,000 acre tract recorded in the deed from Bill Moseley et ux to Richard Anderson et ux recorded in Volume 1992, Page 602 of the said Real Property Records and in the West Line of Forest Hills as shown by the plat thereof recorded in Cabinet X, Page 429 of the Plat Records of Denton County, Texas;

THENCE South 00 Degrees 08 Minutes 40 Seconds East (base bearing) with the West line of the said Forest Hills and the East line of the 6.326 acre tract a distance of 1,290.41 feet to the Southeast corner thereof and the Northeast corner of the called 4.551 acre tract described in the deed from Anthony E. Cleveland to Brantley Weatherford and Maureen McDonald recorded in Document Number 2007-35423 and all of the called 6.326 acre tract described in the deed from Anthony E. Cleveland to Brantley Weatherford and Maureen McDonald recorded in Document Number 2010-34244 of the Real Property Records of Denton County, Texas; the subject tract being more particularly described as follows:

THENCE North 00 Degrees 08 Minutes 40 Seconds East (base bearing) with the West line of the said Forest Hills and the East line of the 6.326 acre tract a distance of 1,290.41 feet to the Southeast corner thereof and the Northeast corner of the called 4.551 acre tract described in the deed from Anthony E. Cleveland to Brantley Weatherford and Maureen McDonald recorded in Document Number 2007-35423 and all of the called 6.326 acre tract described in the deed from Anthony E. Cleveland to Brantley Weatherford and Maureen McDonald recorded in Document Number 2010-34244 of the Real Property Records of Denton County, Texas; the subject tract being more particularly described as follows:

THENCE North 07 Degrees 24 Minutes 24 Seconds West continuing along the said creek with the common line of the said 4.551 acre tract and the 4.188 acre tract a distance of 88.6 feet to the Northwest corner thereof and the Northeast corner of Lot 2, Block A, Sawyer Addition as shown by the plat thereof recorded in Document Number 2018-132 of the said Plat Records;

THENCE North 07 Degrees 24 Minutes 24 Seconds West continuing along the said creek with the common line of the said 4.551 acre tract and the 4.188 acre tract a distance of 88.6 feet to the Northwest corner thereof and the Northeast corner of Lot 2, Block A, Sawyer Addition as shown by the plat thereof recorded in Document Number 2018-132 of the said Plat Records;

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS: THAT, BRANTLEY M. WEATHERFORD & MAUREEN R. McDONALD do hereby adopt this plat designating the herein described property as LOT 1 AND LOT 2, BLOCK B, OAK BLUFF ADDITION in the Town of Cross Roads, Denton County, Texas and does hereby dedicate to the public use forever the street rights-of-way and public easement shown hereon.

BRANTLEY M. WEATHERFORD
 MAUREEN R. McDONALD

STATE OF TEXAS
 COUNTY OF DENTON

BEFORE ME, the undersigned Notary Public in and for the State of Texas on this day personally appeared BRANTLEY M. WEATHERFORD, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledges to me that he/she executed the same for the purpose and consideration thereon expressed, and in the capacity therein stated:

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS _____ DAY OF _____, 2022.

Notary Public in the State of Texas
 My Commission Expires: _____

STATE OF TEXAS
 COUNTY OF DENTON

BEFORE ME, the undersigned Notary Public in and for the State of Texas on this day personally appeared MAUREEN R. McDONALD, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledges to me that he/she executed the same for the purpose and consideration thereon expressed, and in the capacity therein stated:

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS _____ DAY OF _____, 2022.

Notary Public in the State of Texas
 My Commission Expires: _____

KNOW ALL MEN BY THESE PRESENTS: THAT I, WILLIAM M. COLEMAN, Registered Professional Land Surveyor, do hereby state that this plat was prepared from an actual survey of the land described hereon, and that the corner monuments shown hereon were found or placed under my personal supervision in accordance with the ordinances of the Town of Cross Roads, Texas.

PRELIMINARY, THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE.
 Wm. M. Coleman P.L.S. 4001 DATE _____

DATE: 05-31-22
 REVISIONS:
 07-12-22 COMMENTS

FINAL PLAT
 BRANT WEATHERFORD
 CLIENT



LOT 1 & 2, BLOCK B
 OAK BLUFF ADDITION
 BEING 10.91 ACRES IN THE J. WILLIAMSON SURVEY A-1418
 TOWN OF CROSS ROADS
 DENTON COUNTY, TEXAS

JOB NUMBER
 20-2285
 DRAWN: MCD
 CHECKED: WMC

SCALE
 1" = 60'
 ORIGINAL PAPER
 SIZE = 24"x36"

July 25, 2022 Council Agenda Item 40 of 201

TOWN OF CROSS ROADS
PLATTING APPLICATION



DATE: June 6, 2022
 APPLICATION # 2022-0606-04FPLAT
 PROJECT: Oak Bluff, Lots 1+2
Block B

Completed applications will be considered received on the due date specified on the yearly Submission Schedule.
PLEASE VERIFY MEETING DATES.

TYPE OF PLAT

Preliminary _____ Replat _____
 Final _____ Administrative/Amending _____

PLEASE SPECIFY THE PRIMARY CONTACT

Land Owner Name Weatherford/McDonald Signature BtWf / MRM (BMW)
 Applicant Name Brant Weatherford Signature BtWf
 Project Contact Mailing Address 60 Cedar Lane, Crossroads, TX 76227
 Project Contact Phone 972.415.5322 Email btweatherford@gmail.com
 Proposed Project Name Oak Bluff Location 60 Cedar Lane
 Lot/Block 1+2 / B Abstract J. Williamson Sy
 DCAD ID 112981 A-1418
 Number of Lots Created 2

REQUIRED SUBMISSION DOCUMENTS

Fee _____ Legal Description 10.910 AC IN WILLIAMSON
 Location Map 2 ✓ Drawings (1 full, 2 half) 54.A-1418 ✓
 Site Plan (Commercial) N/A Electronic copy of application _____
 Electronic copy of drawings _____
 OTHER (Specify) _____

APPLICATION EXPLANATION

Explanation and Description of Request or Project

Before submitting an application, the applicant should consult with the Town Administrator to discuss the feasibility of the request and any additional requirements.



COUNCIL AGENDA BRIEFING SHEET

Meeting Date:

July 25, 2022

Agenda Item:

Consider approval of an application for a tree removal permit submitted by Rick Davis, for property located at 2051 Oak Point Dr. Applicant is requesting permission to remove a tree which is over 18" diameter at breast height which is located near a swimming pool in the back yard at the above address.

Prepared by:

Rodney Patterson, Building Official

Description:

Applicant Rick Davis submitted the attached Tree Removal Permit Application to remove an oak tree greater than eighteen (18) inches at diameter breast height (DBH) from a residential lot. Mr. Davis has included a photograph of the subject tree.

Recommended Action:

Staff recommends the approval of the tree removal permit to allow for the removal of the tree.

Attachments:

Tree Removal Permit Application
Photograph



TREE REMOVAL PERMIT APPLICATION

Based on Town of Cross Roads Code of Ordinances
Email applications to: applications@crossroadstx.gov

Date: 6/14/22

Applicant Name: Rick Davis

Property Owner Name and Signature: Rick Davis

Property Address: 2051 Oak Point Dr Crossroads TX 76227

Phone: 214 886 6688 email: davis@ScalantSolutions.com

REASON FOR PERMIT REQUEST

A Tree Preservation and Protection permit is required for the following:

- I have a tree/s 18 inches or greater DBH (diameter at breast height/ 4 1/2 foot height) and must get council permission for removal
- I am a contractor developing a new residential property or lot/s and prior to any clearing of trees over 6" in DBH I am submitting a tree preservation plan
- I own or represent an owner for an agricultural/residential property and need a permit to remove trees 6" or greater DBH including dead trees.
- I am developing a commercial property and **PRIOR** to any clearing or removal of trees or other action that could impact the trees I am submitting a tree preservation plan
- Dead trees over 6" DBH (diameter at breast height/4 1/2 foot height). Describe below
- THERE ARE NO TREES ON MY PROPERTY

Description of Action: Remove tree that is very close to pool
worry about roots will plant new tree farther away

(Please attach an additional sheet if more space needed)

DOCUMENTATION ATTACHED

- Photos
- Tree Preservation Plan
- Tree Location
- Map
- Signed Affidavit
- Other _____

OFFICE USE ONLY			
Rec'd by: _____	Date _____	Time _____	<input type="checkbox"/> Approved <input type="checkbox"/> Denied
Signature: _____			
Date: _____			
Reason: _____			

3201 US HWY 380, STE 105
Cross Roads, TX 76227
940-365-9693





COUNCIL AGENDA BRIEFING SHEET

Meeting Date:
July 25, 2022

Agenda Item:

CONDUCT A PUBLIC HEARING, discuss and consider action on a request from property owner Anibal Garcia requesting a variance from the setback regulations established per Section 14.03.074(b)(14)(c) and Section 14.03.074(d)(2) of the Code of Ordinances to allow for the placement of a detached garage ten (10) feet from the side property line where a 15 foot setback is required for a pool located at 183 Las Colinas. (2022-0622-01VARIANCE)

Prepared by:

Kristi Gilbert, Town Administrator

Description:

The applicant, property owner Anibal Garcia, is requesting a variance from the side setback requirements established in Section 14.03.074(b)(14)(c) of the Code of Ordinances to allow for the construction of a detached garage ten (10) feet from the side property line, less than the required fifteen (15) feet. The applicant has included a document identifying the rationale for the request. The information cites the desire to align the garage with the existing driveway to provide for safer and easier access for his larger trailers and vehicles.

Recommended Action:

When judging whether to approve a variance the key elements include the fact that it was not self-created, that it is unique to the property, that a strict enforcement of the ordinance would result in undue hardship and it is not contrary to the public interest. Members should use this as a guide in determining whether granting the variance is appropriate.

In order for a variance to be approved, it must pass by a supermajority vote (4 out of 5 Council Members).

Attachments:

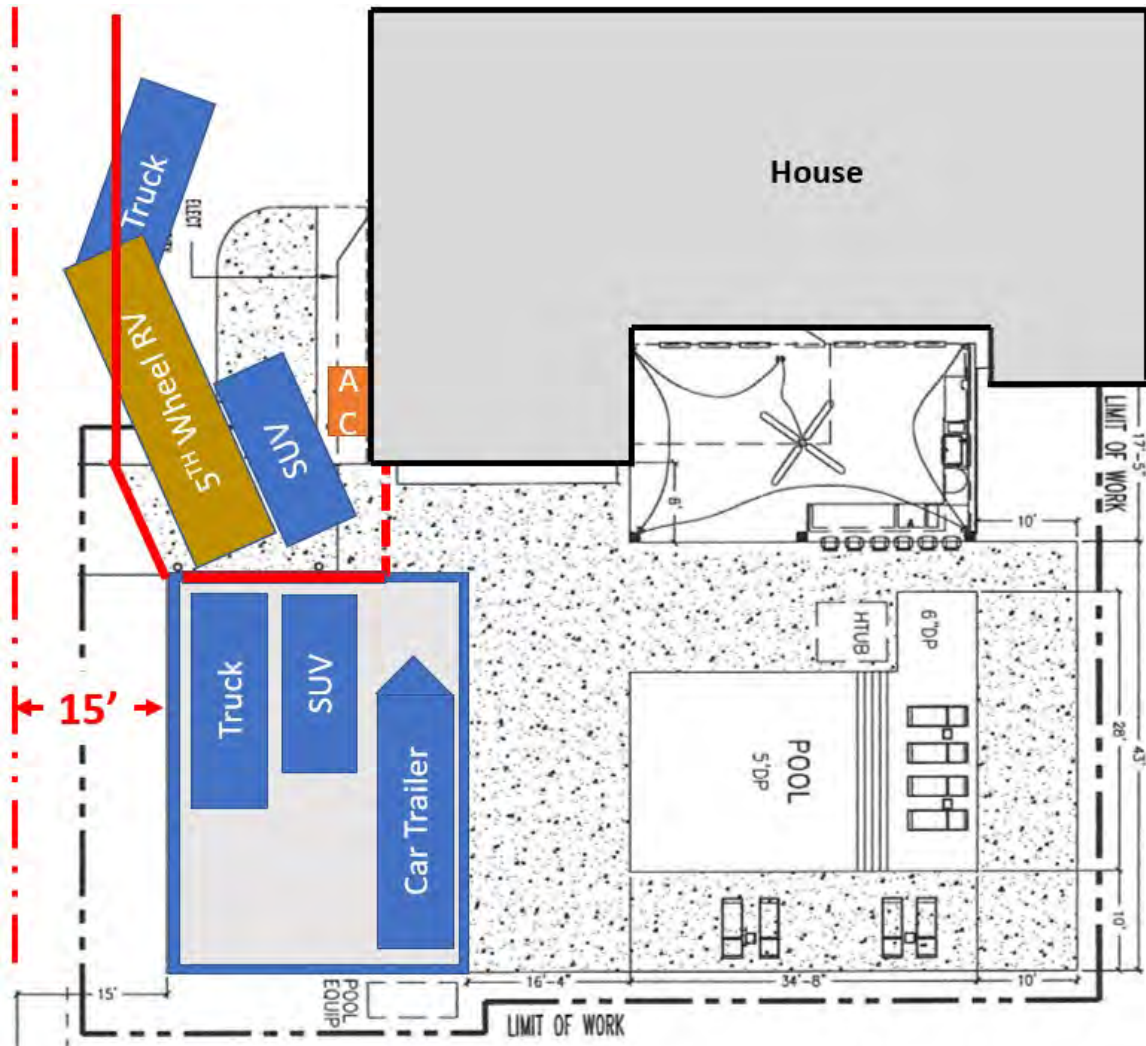
Variance Application

Variance rational

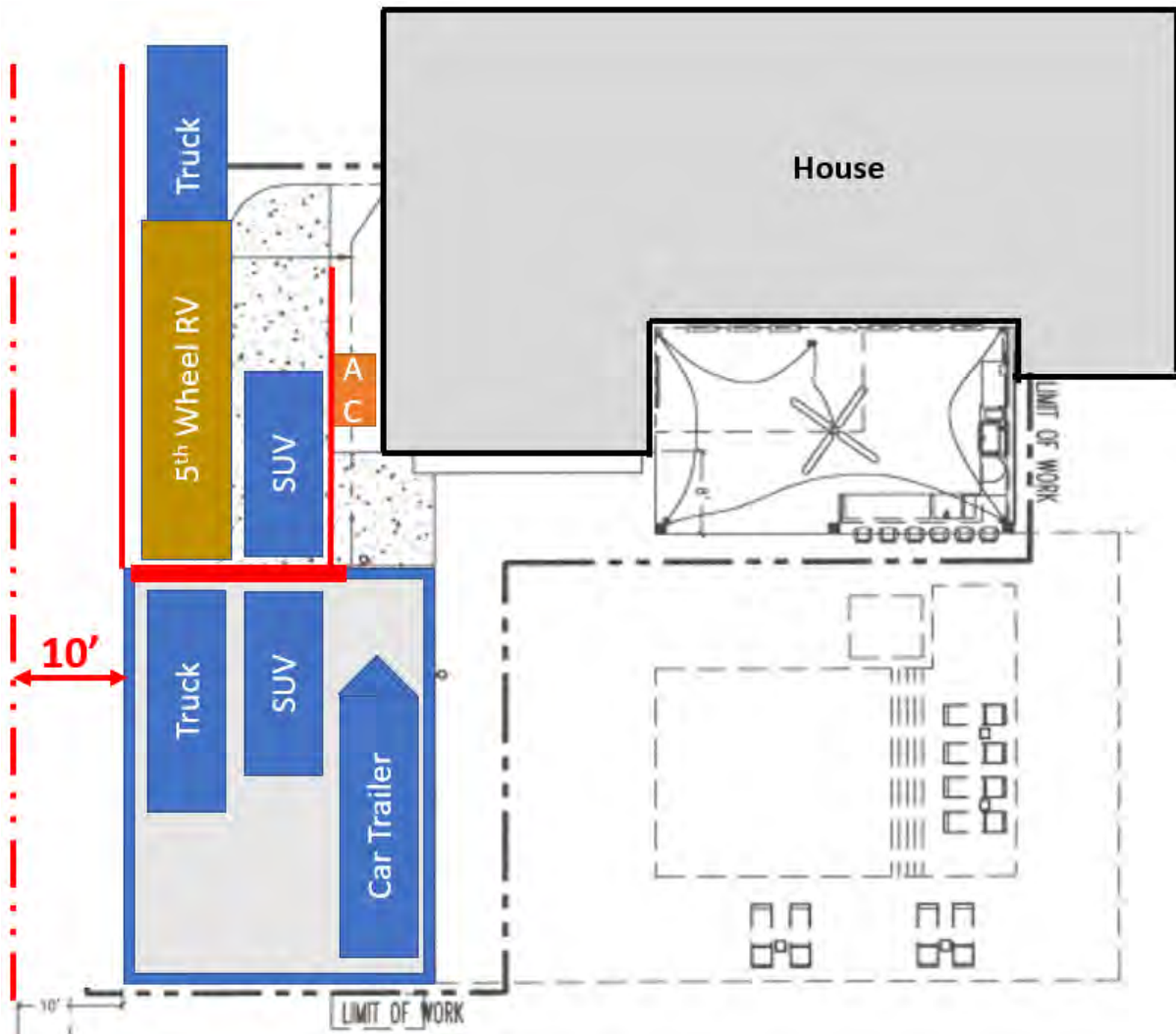
This garage will serve as a hobby woodshop as well as storage for my full-size truck, RV, cargo trailer, and cars.

The driveway on my property at 183 Las Colinas Trail (LCT) has a 10-foot setback from the west side property line per code. Along that property line is the drainage ditch that runs north and south to serve both homes, 183 and 185 LCT. The slope for this ditch starts at the edge of the driveway.

The reason I'm requesting a variance from the 15-foot setback to 10-foot setback is to align the garage with the driveway. The 15-foot offset would require an angled approach to the door making it extremely difficult to back trailers into the garage without driving into the drainage ditch (off the driveway). The 15-foot offset also impacts the ability to park vehicles and/or trailers side by side and safely enter and exit the garage due to the east side of the door opening overlapping the house. This would require having to take the vehicle or trailer on the west side of the garage out first to take out the vehicle or trailer on the east side of the garage to not collide with other vehicles or trailers or the house.



The variance would eliminate the hardship and complexity of maneuvering vehicles, trailers and emergency vehicles and enable safe and direct access into and out of the garage. This would also better align with the aesthetics of the neighborhood, the garage door would not be covered by the house, and would properly align with the driveway





Universal Variance Application

Date of Application: 6-22-22 Property Address: 183 LAS COLINAS TRL

Duration of Request: TEMPORARY (Dates: _____) PERMANENT

Land Owner: ANIBAL GARCIA (ANDY) Phone No: 909-438-8299

Email: ANDY.J.GARCIA@IEEMAIL.COM Mailing Address: 183 LAS COLINAS TRL. CROSS ROADS, TX. 76227

If you are not the Land Owner, Status of Applicant (Owner/Agent): _____

Applicant's Name: ANIBAL GARCIA Phone No: 909-438-8299

Applicant's Email: SAME AS ABOVE Applicant's Address: SAME AS ABOVE

Description and reason for request: SEE ATTACHED

Signature of Owner: [Signature] Date: 6-22-22

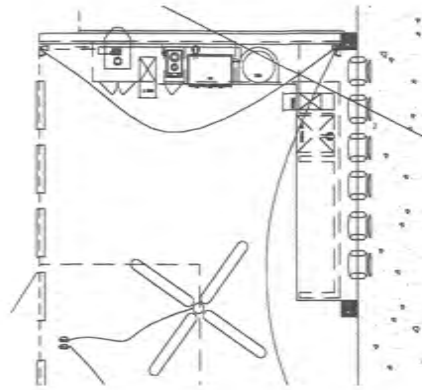
Signature of Applicant: [Signature] Date: 6-22-22

The following must be submitted before processing and scheduling for Board of Adjustment.

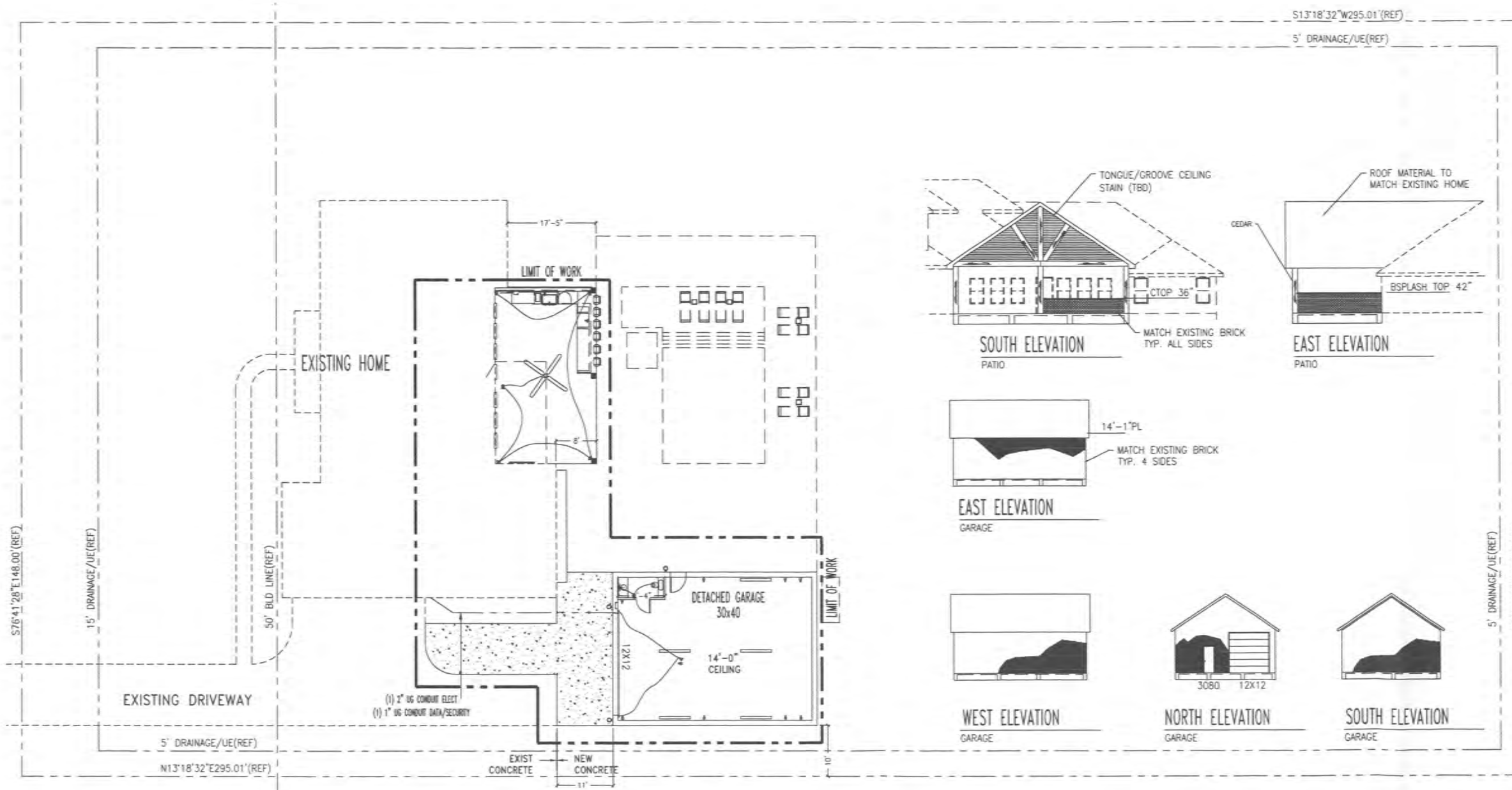
- 1. Application and fee with any drawings, maps, etc. to support the request
- 2. Site plan or graphic depiction of what the variance is for

For Office Use Only		
Section of Code	<u>14.03.074(b)(14)(C)</u>	
Description of Variance Sought	<u>10' side yard setback where 15' is required</u>	
Completed Application (Date)	Check #	Receipt #
<u>06-28-2022</u>	<u>card</u>	<u>452</u>
Approval Date	Signature	
_____	_____	

3201 US HWY 380, STE 105, Cross Roads, TX 76227
 TEL 940/365-9693 FAX 469/375-5905
 CrossRoadsTX.gov



PLAN VIEW
PATIO BAR



183 LAS COLINAS TRAIL
LOT 29
BLOCK B
CROSSROADS, TX

ISSUE LOG:

No.	Date	Revision Name
1.	5/11/22	REVIEW
2.	5/24/22	HSA REV
3.	6/7/22	CONSTRUCTION

GARCIA RESIDENCE

Scale: 3/32" = 1'-0"

SITE CONST PLAN
SC1

Village at Cross Roads Homeowners Association, Inc.
c/o Secure Association Management
PO Box #51555
Denton, TX 76206
Local: 940-497-SECURE (7328)
www.VillageatCrossRoadsHOA.com



June 21, 2022

Anibal & Teresita Garcia
183 Las Colinas Trail
Cross Roads, TX 76227

Re: Village at Cross Roads Homeowners Association, Inc.
183 Las Colinas Trail
ACC Modification Request Conditionally Approved

Dear Anibal & Teresita Garcia,

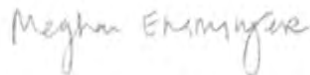
This letter is to follow up on your **ACC Modification Request to obtain approval for**. The details of your request are as follows:

The ACC variance request to place your future garage building within the 15' set back required by the Town of Cross Roads (and therefore the Village at Cross Roads HOA) has been conditionally approved, as submitted. The conditions of the approval require that you receive, in writing, a letter from the Town of Cross Roads stating that they are in approval of the variance and will allow the garage building to be placed 10' within the property setback. Any approval is contingent upon compliance pursuant with all of the rules and regulations found in the Village at Cross Roads Governing Documents.

The approval is contingent upon compliance with the specifications set forth in the approved application. If your change or addition requires a city permit, it must be obtained before construction.

Please keep a copy of this letter for your records, should the approval or disapproval for this project ever come into question. Should you have any questions, or if I can be of any further assistance to you, feel free to give me a call (940) 497-7328 x105.

Sincerely,



Secure Association Management
Managing Agent for Village at Cross Roads Homeowners Association, Inc.

Village at Cross Roads Homeowners Association

Request for Architectural Modification

This is your application for proposed architectural modification. Please read it carefully. The Architectural Control Committee will review your information and will pre-approve or deny your request. You will receive a written response following the receipt of this request by the committee.

Owner's Name:	Anibal Garcia	Home Phone:	909-438-8299
Address:	183 Las Colinas Trail	Cell Phone:	909-438-8299
Email Address:	andy.j.garcia01@gmail.com	City Permit Received	<input checked="" type="checkbox"/> Yes Pool only

Mail Form to:
 Village at Cross Roads HOA
 c/o Secure Association Management
ATTN: ACC Request Enclosed
 PO Box #51555
 Denton, Texas 76206

Or Email to:
 John Mackenzie
 info@secure-mgmt.com
Subject line: "ACC Request + Your Address"

Location of Improvement (check applicable area):

- Front of House
 Back of House
 Garage
 Driveway
 Patio
 Side of House
 Sidewalk
 Roof
 Other: _____

Check Improvements to be made:

- Installation of Fence.**
Note: Your request must include specifics: Who will be performing the work, plat plan showing location of fence. Reference and follow the Declaration of Covenants, Conditions and Restrictions for Village at Cross Roads Art. II, Sec. 2.14, Fences & Exhibit B.

- Installation of Gazebos, Patio Roof, Pavilions and Arbors:**
Note: Your request must include specifics: Who will be performing the work, plat plan showing location of Roof/Structure. Reference and follow the Declaration of Covenants, Conditions and Restrictions for Village at Cross Roads Art. II, Sec. 2.24, Gazebos; Art. II, Sec. 2.13, Setbacks; & Art. II, Sec. 2.17, Structures.

- Pool (Including Pumps and Equipment):**
Note: Your request must include specifics: Who will be performing the work, plat plan showing location of Pools/Equipment. Reference and follow the Declaration of Covenants, Conditions and Restrictions for Village at Cross Roads Art. II, Sec. 2.25, Pools and Pool Equipment.

- Other:**
Note: Your request must include specifics: Who will be performing the work. Reference and follow the Declaration of Covenants, Conditions and Restrictions for Village at Cross Roads.

Detail of Work: (List/attach all dimensions, materials, colors, samples, sketches or pictures as necessary)

I am requesting a variance to the recently approved application. The Town of Cross Roads Code of Ordinances, Sec. 14.03.074 -b. 14-C - States:

"Any accessory building shall be located not less than ten feet (10') behind the front building setback line nor less than fifteen feet (15') from any side or rear lot line " I am requesting a variance to place the proposed building ten feet (10") from the side lot line.

This would align the building and garage door existing driveway. I have also attached a letter of concurrence from Mr. Brian K. Cornelious (the homeowner next door closest to this property line).

Please see the attached updated Plat Plan drawing and letter for your consideration. Thank you.

I would like to start project: July 2022	Estimate Completion Date: November 2022
---	--

CERTIFICATIONS AND AGREEMENTS:

Homeowner certifies that all materials submitted for this application are true and correct. Homeowner understands and agrees that no work be performed prior to or in deviation from the terms of a permit approved by the Architectural Control Committee. Homeowner will assume responsibility for all future maintenance of this addition or improvement. Homeowner acknowledges that their Association dues account is current.

In the event that the Homeowner fails to comply with the Association's Approved requirements, the Association may require, amongst other things, the Owner to make the necessary corrections to bring the modification into compliance or to restore the modification back to the original condition. These changes will be done at the Homeowner's sole expense.

It cannot be stressed enough the importance of complying with the stated guidelines provided by the Association for these particular items on this pre-approved form. These modifications like any other will be reviewed and scrutinized by the Architectural Control Committee, the Board of Directors and the management agent/company.

Note: All work must be completed within six (6) months from date of submittal, and any approval will expire within twelve (12) months. Please contact the Management Company for any extensions.

Homeowner Signature: Anibal Garcia Date: July 14, 2022
(Enter you name here to officially sign this electronic document.)

Notice to Homeowners: Your proposed improvement(s) may require a permit from the City/County Building Dept. You or your contractor should check with the Department about permit requirements before starting any work. No work shall be done which may change the existing drainage, landscaping or other common area items.

--- For Committee Use ---

Sent to Architectural Control Committee: By: Melissa Mize Date: 6/16/2022

Committee: Approved Pre-Approved Conditional Approval Disapprove

By: Jason Sims Date: 6/17/2022
(Chairperson)

Comments:

your All request to place your new garage within
the 15' setback is conditionally approved,
as submitted.

Sent to Homeowner: By: Melissa Mize Date: 6/21/2022

ORIGINAL REQUEST & HOA APPROVAL

Village at Cross Roads Homeowners Association, Inc.
c/o Secure Association Management
PO Box #51555
Denton, TX 76206
Local: 940-497-SECURE (7328)
www.VillageatCrossRoadsHOA.com



June 6, 2022

Anibal & Teresita Garcia
183 Las Colinas Trail
Cross Roads, TX 76227

Re: Village at Cross Roads Homeowners Association, Inc.
183 Las Colinas Trail
ACC Modification Request Approved

Dear Anibal & Teresita Garcia,

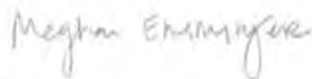
This letter is to follow up on your ACC Modification Request to obtain approval for Home Improvement. The details of your request are as follows:

Your ACC Request for the installation of a 20'x35' pool and a 18'x34x5" patio/driveway extension with a 10' setback (with further approval from the Town of Crossroads) has been approved, as submitted. In addition to this approval is a 30'x50' garage building to be composed of a 100% brick façade with a 15' setback. Approval is contingent upon compliance pursuant with all the rules and regulations found in the Village at Crossroads Homeowners Association, Inc. Governing Documents.

The approval is contingent upon compliance with the specifications set forth in the approved application. If your change or addition requires a city permit, it must be obtained before construction.

Please keep a copy of this letter for your records, should the approval or disapproval for this project ever come into question. Should you have any questions, or if I can be of any further assistance to you, feel free to give me a call (940) 497-7328 x105.

Sincerely,



Secure Association Management
Managing Agent for Village at Cross Roads Homeowners Association, Inc.

VILLAGES AT CROSS ROADS HOMEOWNERS ASSOCIATION, INC.
Architectural Improvement Application and Review Form

Date Submitted: 4/3/2022 Date Received: 6/3/2022

Owner: ANIBAL GARCIA

Lot#: 29 Phone: 909438-8299

E-mail: ANDY.J.GARCIA@1@Gmail.com

Address 183 LAS COLINAS TRL. CROSS ROADS TX. 76227

Nature of Project/Improvement: Garage, Pool, Patio Exp.

Colors To Be Used: Match Exist
(Please include manufacturer's color sample.)

Location: Backyard
(Please provide a plot plan with location and dimensions of project/improvement. Please note existing structures and lot set backs on the plot plan).

Dimensions: Garage 30x50', Patio 18x34.5", Pool 20x35'

Construction Material: (Concrete) Match Existing House, Patio Color

Supplier or Contractor: FOS Group License #:

A sketch, photograph, or blue print of all improvements must be attached to the application to show elevation, location and dimensions.

Send application to: Villages at Cross Roads Homeowners Association, Inc.
c/o Singer Association Management, Inc.
11498 Luna Road, Suite 102
Dallas TX 75234
Office (972) 402-8352
Fax (214) 496-9015

VILLAGES AT CROSS ROADS HOMEOWNERS ASSOCIATION, INC.
Architectural Improvement Application and Review Form

NOTICE

1. All necessary permits (City/County) must be obtained from the proper agencies prior to beginning construction.
2. All work must be done in a workmanship-like manner and must be substantially, the same as the diagram and/or drawings submitted for approval.
3. To promote an attitude of neighborliness, and a sense of community among the residents, the Committee encourages you to discuss your project with your neighbors. It is not a requirement of the application. Their signatures indicate an awareness of your intent and do not constitute or indicate approval or disapproval by the Committee.

Neighbor Awareness Signatures

Name: _____
Address: _____
Lot: _____
Comment: _____

Name: _____
Address: _____
Lot: _____
Comment: _____

Name: _____
Address: _____
Lot: _____
Comment: _____

Name: _____
Address: _____
Lot: _____
Comment: _____

Owner Acknowledgements

1. ...that no work on this request shall commence until written approval of the Architectural Control Committee has been received by me;
2. ...that any construction or exterior alteration undertaken by me, or in my behalf before approval of this application is not allowed; that; if alterations are made, I may be required to return the property to its former condition at my own expense if this application is disapproved wholly or in part; and that I may be required to pay all legal expenses incurred;
3. ... that any variation from the original application must be resubmitted for approval.

Owner/Applicant Signature: _____



Date: 5 13 2022

VILLAGES AT CROSS ROADS HOMEOWNERS ASSOCIATION, INC.
 Architectural Improvement Application and Review Form

***** FOR COMMITTEE or BOARD OF DIRECTORS USE ONLY *****

Date Received: 6/3/2022
 Approved By: Jamye Roberson Date: 6/15/2022
 Disapproved By: _____ Date: _____

Comments:
Your All request for the driveway, patio
and pool have been approved as
submitted.

Any additional homeowner notes (please use space provided below):

Initial/ Date	Office Use Only	Initial/ Date
1) Enter into V.M.S.:	2) Sent for Review:	
3) Follow up with Committee(10 Days):	4) Enter Decision in V.M.S.:	
5) Notify Owner/Document Railing: (Include Copy of Application)	6) Copy of Notification Letter for File:	

Village at Cross Roads Homeowners Association
Contractors' Indemnity Agreement

HOMEOWNER'S PORTION TO COMPLETE

Date Submitted: 5.13.22

Owner's Name: <u>ANIBAL GARCIA</u>	Home Phone:
Address: <u>183 LAS COLINAS TRAIL, CROSS ROADS</u>	Mobile Phone: <u>909-438-8299</u>

Summary Description of Project Garage, Pool, Patio Expansion

CONTRACTOR'S PORTION TO COMPLETE

Contractor Information

Company Name	<u>FOS Group</u>
Address	<u>133 Las Colinas Trail</u>
City, State, Zip	<u>Crossroads TX 76222</u>
Phone	<u>972-746-6565</u>
License #	

I, ANIBAL GARCIA (please print name) as principal authority for FOS Group (company name) hereby agree to instruct all employees, sub-contractors, and suppliers doing work at the above owner's address, to enter and exit the Village at Cross Roads only through the Main (west) Entrance and to avoid damaging any community property. If any of the above entities damages property belonging to the Village at Cross Roads (including but not limited to entry gates, roads, and common grounds), the company will take full responsibility to expediently resolve and pay for repair of said damages to the satisfaction of the Village at Cross Roads' Board of Directors.

Signed,  ANIBAL GARCIA
Full name

OWNER
Title

5/3/22
Date

HOA VARIANCE REQUEST & APPROVAL

Meghan Ensminger

From: andy garcia <andy.j.garcia01@gmail.com>
Sent: Tuesday, June 14, 2022 7:49 AM
To: Meghan Ensminger
Cc: John Mackenzie; 'Corey'; Andy Garcia
Subject: RE: ACC Request - Approval
Attachments: ACC Process & Application- Village at Cross Roads AJG.pdf; BC Letter.pdf; 183LCT SC1 Rev 6-7-22.pdf

Meghan,

I hope this email finds you well.

As you may know, we've recently submitted and received HOA approval for a property modification/improvement to add a patio, garage, and pool to our home on 183 Las Colinas Trail.

I am requesting a variance to the recently approved application. As you know, the Town of Cross Roads Code of Ordinances, Sec. 14.03.074 -b.14-C - States:

"Any accessory building shall be located not less than ten feet (10') behind the front building setback line nor less than fifteen feet (15') from any side or rear lot line "

I am requesting a variance to place the building ten feet (10") from the side lot line. This would align the building to the existing driveway, increasing accessibility to the garage, and improve the aesthetics of the overall project. Per your recommendation, I've also met with the homeowner next door, Mr. Brian Cornelious, and showed him the plan for his concurrence of the placement of the building and overall project. I've attached a copy of Brian's letter and an updated Plat Plan for your consideration of my variance request.

Thank you for your assistance on this, please let me know if you have any questions.

Respectfully,
Andy Garcia

From: Meghan Ensminger <Meghan@secure-mgmt.com>
Sent: Monday, June 6, 2022 4:44 PM
To: Corey <corey@fosgroup.net>; Andy Garcia <andy.j.garcia01@gmail.com>
Cc: John Mackenzie <John@secure-mgmt.com>
Subject: ACC Request - Approval

Hi all,

Please see the attached ACC Approval Letter for the second submission of your modification request. The complete, signed ACC Approval Packet will be mailed to you today and uploaded in the system by the end of day.

In addition, please understand that while you might have received an approval from the HOA for your upcoming changes, all plans and additions must also have approval from the Town of Crossroads.

Thanks and have a good evening.

Kind Regards,

Meghan Ensminger

Community Association Manager

Secure Association Management

PO Box #51555

Denton, Texas 76206

Local: 940-497-SECURE (7328) EXT #105

<http://secure-mgmt.com>



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From: Meghan Ensminger
Sent: Tuesday, June 21, 2022 2:53 PM
To: Andy Garcia; Lorey
Subject: ACC Request - Conditional Approval

All,

Please see the attached ACC Conditional Approval Letter. The complete, signed ACC Conditional Approval Packet will be mailed to you today and uploaded in the system by the end of today.

Thanks.

Kind Regards,
Meghan Ensminger
Community Association Manager
Secure Association Management
PO Box #51555
Denton, Texas 76206
Local: 940-497-SECURE (7328) EXT #105
<http://secure-mgmt.com>



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NEIGHBOR CONCURRENCE

andy garcia

From: Brian Cornelious <bcornelious@agricen.com>
Sent: Friday, June 10, 2022 12:17 PM
To: Andy.J.Garcia01@gmail.com
Subject: Home Addition Plans

Andy,

Great to meet you this morning and welcome to the Village at Cross Roads. I appreciate you stopping by and making me aware of the plans you have to add a garage, pool and outdoor living space. It was a pleasure speaking to you and understanding your need to pursue a variance to standard CC&Rs. Based on our conversation, I am OK with your proposal to locate your detached garage 10 feet from the property line vs the stated 15 feet.

BRIAN K. CORNELIOUS, Ph.D.
Director of Applied Sciences



5601 Granite Parkway | Suite 740 | Plano, TX 75024
P: 800.787.3724 | F: 940-686-2527
M: 901-574-2213
Bcornelious@agricen.com



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Dear Council,

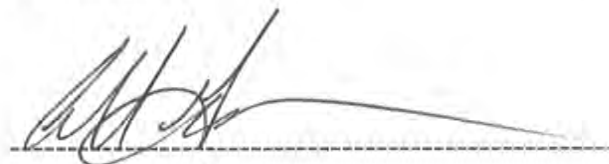
I've recently submitted and received HOA/ACC approval for a property modification/improvement to add a patio, garage, and pool to our home on 183 Las Colinas Trail. I've also submitted and received HOA/ACC conditional approval for a Variance to the Town of Cross Roads Code of Ordinances, Sec. 14.03.074 - b.14-C that states:

"Any accessory building shall be located not less than ten feet (10') behind the front building setback line nor less than fifteen feet (15') from any side or rear lot line"

Respectfully, I am requesting the Councils approval for this variance to place the building ten feet (10') from the side lot line. This would align the building to the existing driveway, increasing accessibility to the garage, and improve the aesthetics of the overall project. Per your recommendation, I've also met with the homeowner next door, Mr. Brian Cornelious, and showed him the plan for his concurrence of the placement of the building and overall project. I've attached a copy of Brian's letter and an updated Plat Plan for your consideration of my variance request.

Thank you for your consideration, please let me know if you have any questions.

Respectfully,



Anibal (Andy) Garcia

909-438-8299

Andv.i.garcia01@gmail.com



COUNCIL AGENDA BRIEFING SHEET

Meeting Date:
July 25, 2022

Agenda Item:

CONDUCT A PUBLIC HEARING, discuss and consider a replat application for Lot 3R2, Block A of the Volunteer Enterprises Addition for property generally located at the southeast corner of US 380 and Naylor Road within the Town of Cross Roads, also referred to as Cross Roads Market Square. (2022-0404-02REPLAT)

Prepared by:
Rodney Patterson, Building Official

Description:

Applicant Josh Barton submitted a replat application on behalf of property owner Fred Nichols for the Cross Roads Market Square Addition on April 4, 2022, to replat an existing platted parcel of land totaling 32.836 acres generally located at the Southeast corner of Naylor Rd. and US Hwy 380. The purpose of the replat is to match the existing previously approved concept plan. The Town Engineer performed a technical review of the replat application on April 18, 2022, and markups were provided to the applicant. A public hearing notice was published in the newspaper and sent to property owners within 200' of the subject property as required by law. As of the date of the packet, no comments have been received by staff.

There were numerous comments outstanding, and the applicant provided a letter officially waiving the 30-day requirement for consideration and requesting an extension of the replat to the June 7th P&Z and June 20th Town Council meetings in order to have time to fully address the comments provided. There were questions from the applicant as to whether or not the comments on the civil plans would need to be addressed before the replat could be considered and they were notified via e-mail on April 25, 2022, that Article 10.05.002(13) of the Town of Cross Roads Ordinance requires the civil construction plans as part of the application. Staff is still awaiting a resubmittal to address the pending comments.

On May 3, 2022, Staff advised the applicant that we would need to receive a resubmittal by May 9th in order to move forward with a possible recommendation of approval for the June P&Z and Council meetings. Later that evening, the applicant advised staff that they would not be able to meet the May 9th deadline and would be attempting to resubmit in early June in order to meet the following months deadline. However, on May 20, 2022, staff was advised by Mr. Kent Durham that the owner wished to have the replat heard at the June 7th P&Z and the June 20th Town Council meetings. Per that request, staff placed the item on the June agenda for consideration.

On June 2, 2022, Staff received an e-mail from Kent Durham requesting that the replat request be tabled. During its June 7th meeting, P&Z opened the public hearing and voted to continue the public hearing at the July 5, P&Z meeting. As of the date of publishing



COUNCIL AGENDA BRIEFING SHEET

the packet, Staff has received no additional submissions addressing the engineers' comments.

Planning and Zoning Recommendation:

The Planning and Zoning Commission conducted a public hearing on July 5, 2022 and unanimously recommended denial based on failure to address the sections of the Code outlined by Staff.

Recommended Action:

Staff recommends the denial of the application based on failure to adequately address the sections of the Code of Ordinances including, but not limited to:

Section 10.04.003(6)

Section 10.04.003(10)

Section 10.05.002(4)(B)

Section 10.05.002(4)(C)

Section 10.05.002(4)(D)

Section 10.05.002(13)(A)

Section 10.05.002(13)(B)

Section 10.05.002(13)(C)

Section 10.05.002(13)(D)

Attachments:

Original Engineers Markups

Replat Application

Legal Description

Project Aerial

Volunteer Enterprises Replat (2022-0404-02REPLAT)

Southeast Corner of US 380 and Naylor Road



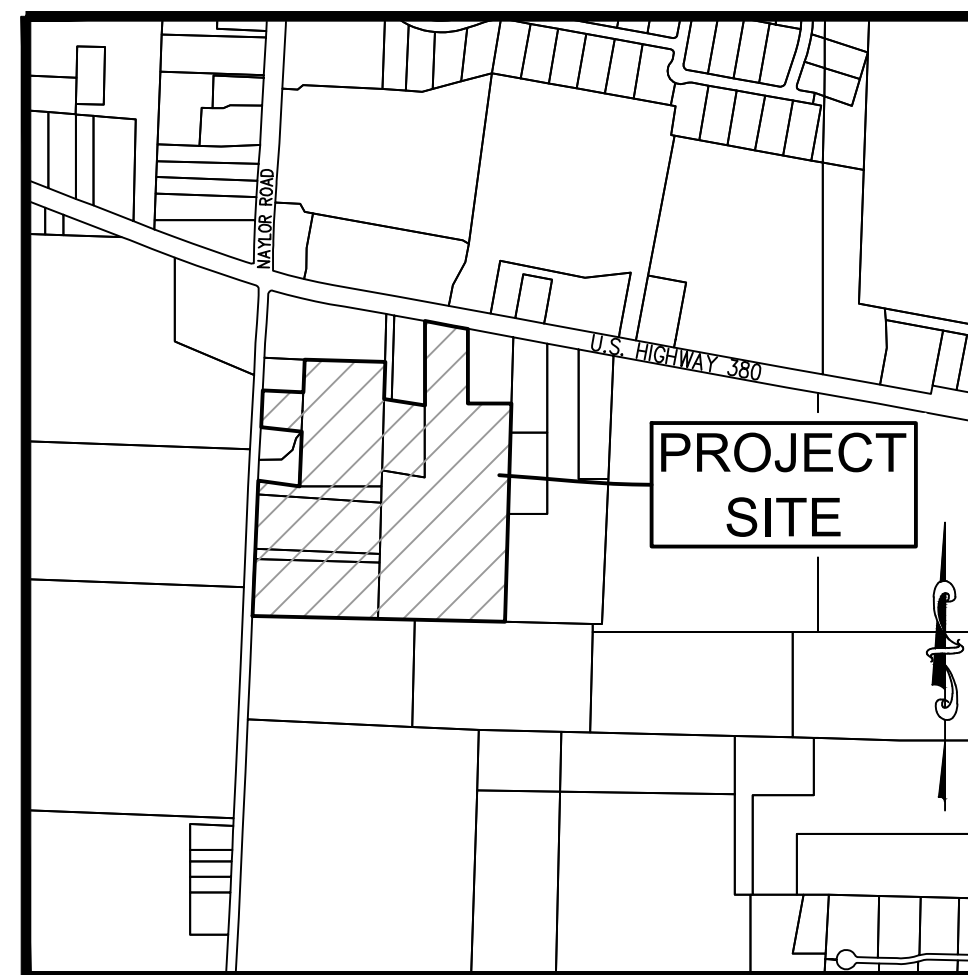
*Light blue area represents 200' property owner notification area.

CONSTRUCTION PLANS for CROSS ROADS MARKET SQUARE

LOT 3R2-1, 3R2-2, 3R2-3, 3R2-4, 3R2-5X, & 3R2-6X,
BLOCK A

VOLUNTEER ENTERPRISES ADDITION
32.836 Acres

in the
MARCELLA JONES SURVEY, ABSTRACT NO. 662
TOWN OF CROSS ROADS
DENTON COUNTY, TEXAS
OCTOBER 2020



Vicinity Map 1"=1000'

OWNER/DEVELOPER
VOLUNTEER ENTERPRISES IV, LLC
13915 OLD COAST ROAD, UNIT 2306
NAPLES, FLORIDA 34110
Ph. 940-390-2734
Contact: FRED NICHOLS



The John R. McAdams
Company, Inc.
111 Hillside Drive
Lewisville, Texas 75057
972.436.9712
201 Country View Drive
Roanoke, Texas 76262
940.240.1012
www.gicon.com
www.mcadamsco.com

Contact: Joshua M. Barton, P.E.

Sheet List Table	
C0.1	COVER SHEET
C0.2	REPLAT
C0.3	REPLAT
C0.4	GENERAL NOTES
C1.1	DEMOLITION PLAN
C2.1	SITE PLAN
C2.2	PAVING PLAN
C2.3	DIMENSIONAL CONTROL, STRIPING & SIGNAGE PLAN
C3.1	OVERALL GRADING PLAN
C3.2	GRADING PLAN
C3.3	GRADING PLAN
C3.4	EXISTING DRAINAGE AREA MAP
C3.5	PROPOSED DRAINAGE AREA MAP
C3.6	DETENTION BASIN 1 PLAN AND DETAILS
C3.7	DETENTION BASIN 2 PLAN AND DETAILS
C4.1	STORM SEWER PLAN
C4.2	STORM SEWER PROFILES
C4.3	STORM SEWER PROFILES
C4.4	STORM SEWER PROFILES
C4.5	SANITARY SEWER PLAN
C4.6	SANITARY SEWER PLAN
C4.7	SANITARY SEWER PROFILES
C4.8	SANITARY SEWER PROFILES
C4.9	SANITARY SEWER PROFILES
C4.10	SANITARY SEWER PROFILES
C4.11	WATER PLAN
C4.12	WATER PLAN
C4.13	WATER PLAN
C4.14	WATER PROFILES
C4.15	WATER PROFILES
C4.16	WATER PROFILES
C6.1	EROSION CONTROL PLAN
C8.1	STANDARD CONSTRUCTION DETAILS
C8.2	STANDARD CONSTRUCTION DETAILS
C8.3	STANDARD CONSTRUCTION DETAILS
C8.4	STANDARD CONSTRUCTION DETAILS
C8.5	STANDARD CONSTRUCTION DETAILS
C8.6	MUSTANG SUD CONSTRUCTION DETAILS
C8.7	MUSTANG SUD CONSTRUCTION DETAILS
C8.8	MUSTANG SUD CONSTRUCTION DETAILS
C8.9	MUSTANG SUD CONSTRUCTION DETAILS
C8.10	MUSTANG SUD CONSTRUCTION DETAILS
C8.11	MUSTANG SUD CONSTRUCTION DETAILS
L1.0	TREE SURVEY
L1.1	TREE SURVEY
L1.2	TREE SURVEY
L1.3	TREE SURVEY
L1.4	TREE SURVEY
L1.5	TREE SURVEY
L2.0	HARDSCAPE PLAN
L2.1	HARDSCAPE PLAN
L2.2	HARDSCAPE PLAN
L2.3	HARDSCAPE PLAN
L2.4	DIMENSION CONTROL PLAN
L3.0	LANDSCAPE PLAN
L3.1	LANDSCAPE PLAN
L3.2	LANDSCAPE PLAN
L3.3	LANDSCAPE PLAN
L4.0	LIGHTING PLAN
L4.1	LIGHTING PLAN
L4.2	LIGHTING PLAN
L4.3	LIGHTING PLAN
L4.4	LIGHTING PLAN
L5.0	HARDSCAPE DETAILS
L5.1	HARDSCAPE DETAILS
L5.2	HARDSCAPE DETAILS
L5.3	HARDSCAPE DETAILS
L5.4	LANDSCAPE DETAILS
L6.0	IRRIGATION POND PLAN
L6.1	IRRIGATION POND DETAILS
L7.0	IRRIGATION PLAN
L7.1	IRRIGATION PLAN
L7.2	IRRIGATION PLAN
L7.3	IRRIGATION PLAN
L7.4	IRRIGATION NOTES AND DETAILS

APPROVAL:

MUSTANG S.U.D. _____ DATE _____
ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. IN ACCEPTING THESE PLANS, MUSTANG SPECIAL UTILITY DISTRICT MUST RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.

CROSS ROADS MARKET SQUARE
Lot 3R2-1, 3R2-2, 3R2-3, 3R2-4, 3R2-5X, & 3R2-6X, Block A
VOLUNTEER ENTERPRISES ADDITION
32.836 Acres

MARCELLA JONES SURVEY, ABSTRACT NO. 662
TOWN OF CROSS ROADS
DENTON COUNTY, TEXAS



The John R. McAdams
Company, Inc.
111 Hillside Drive
Lewisville, Texas 75057
972.436.9712
201 Country View Drive
Roanoke, Texas 76262
940.240.1012
www.gicon.com
www.mcadamsco.com

COVER SHEET

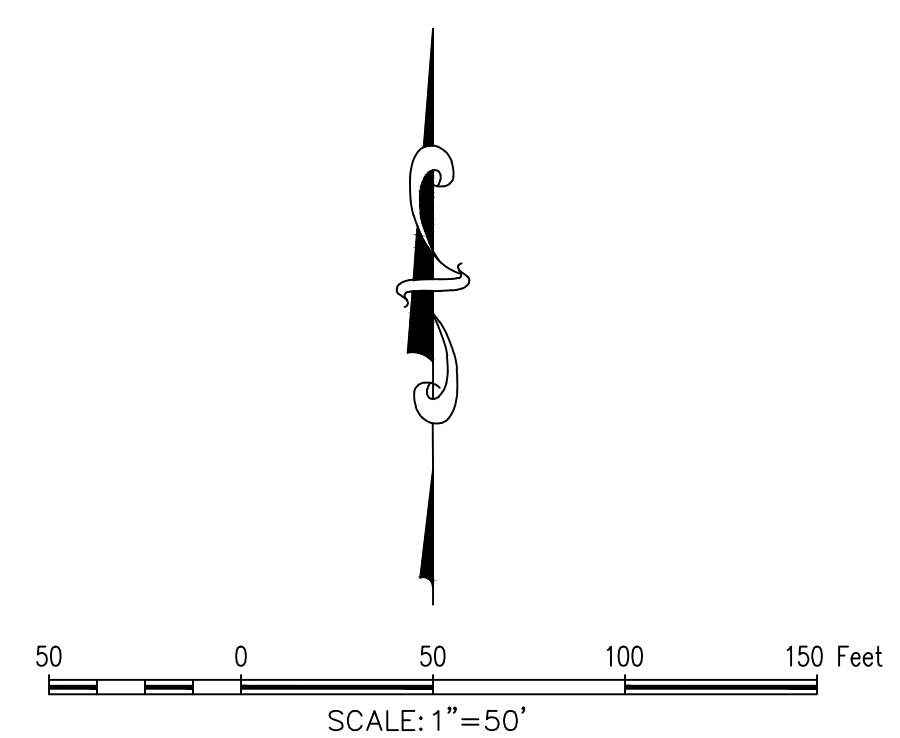
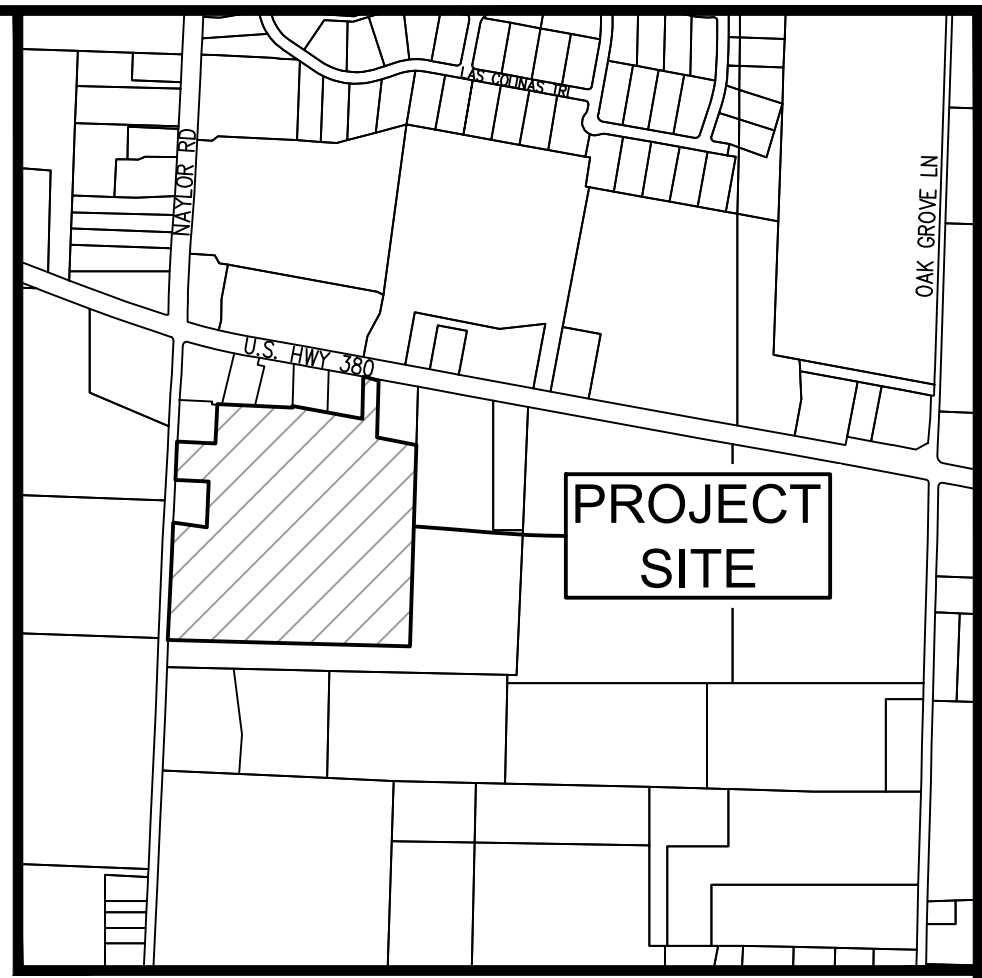
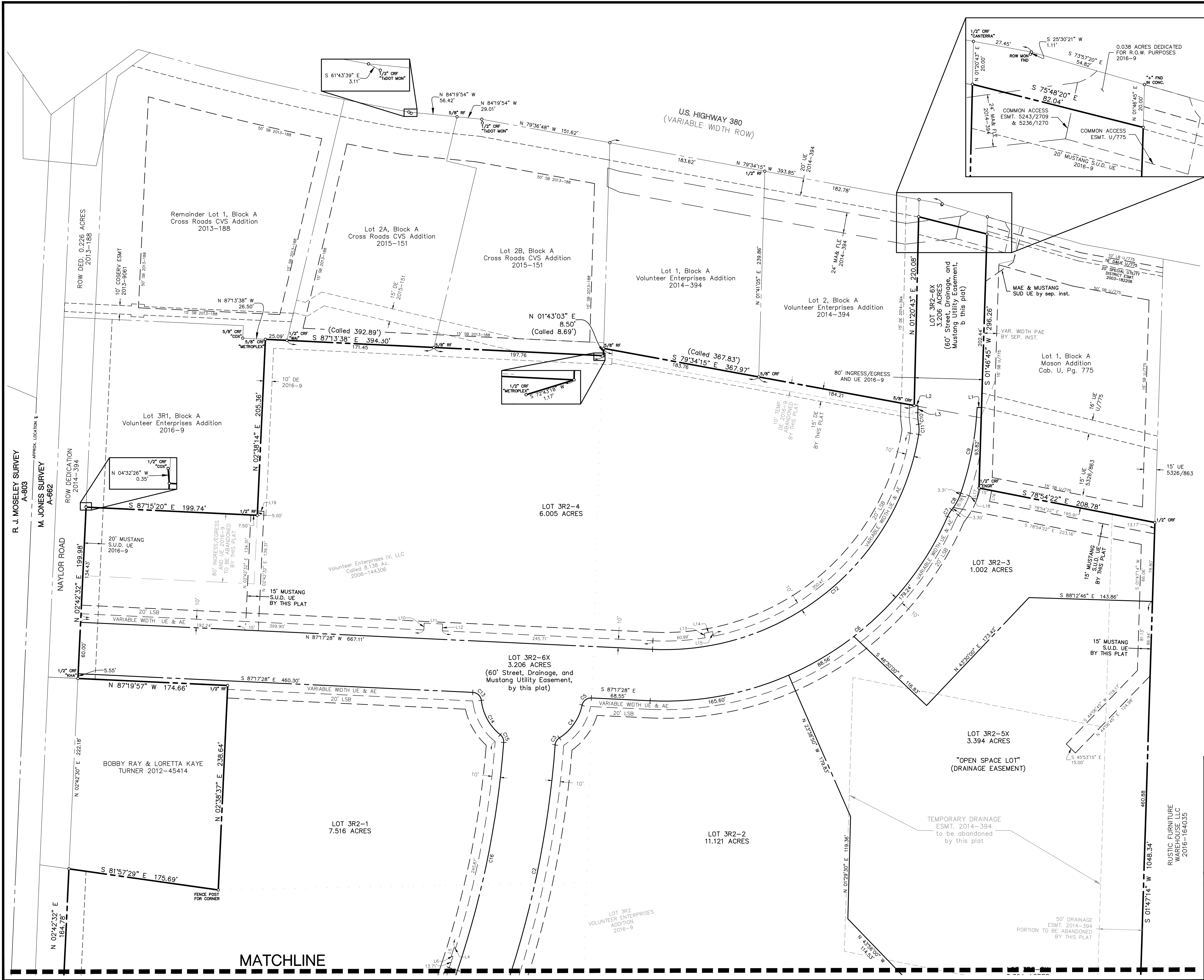
PRELIMINARY PLANS
THIS DOCUMENT IS FOR INTERIM REVIEW AND IS NOT INTENDED FOR CONSTRUCTION, BIDDING, OR PERMIT PURPOSES. THE JOHN R. MCADAMS COMPANY, INC. TBPE: 19762 JOSHUA M. BARTON, P.E. #129227 DATE 10/27/2020

Drawn By: ASC
Date: 06/01/2020
Scale: N.T.S.
Revisions:
07/13/2020
08/27/2020
10/27/2020

SPEC-20046

C0.1

File: M:\Projects\19762\SPEC-20046_Cross_Roads_Market_Square\Drawings\19762_Spec_20046.dwg
Plot Date: 10/27/2020 11:51 AM by: jason.gordon
Plot Scale: 1/8"=1'-0" (1/8"=1'-0")



Provide all separate instruments for review
 Clearly state on the plat that all streets shall be owned and maintained by the Owner. The Town shall not be responsible for roadway maintenance.
 Label Street names per 10.05.002(4)(A)

REPLAT
Lot 3R2-1, 3R2-2, 3R2-3, 3R2-4,
3R2-5X, & 3R2-6X, Block A
VOLUNTEER ENTERPRISES ADDITION
32.836 Acres
 in the
MARCELLA JONES SURVEY, ABSTRACT NO. 662
TOWN OF CROSS ROADS
DENTON COUNTY, TEXAS



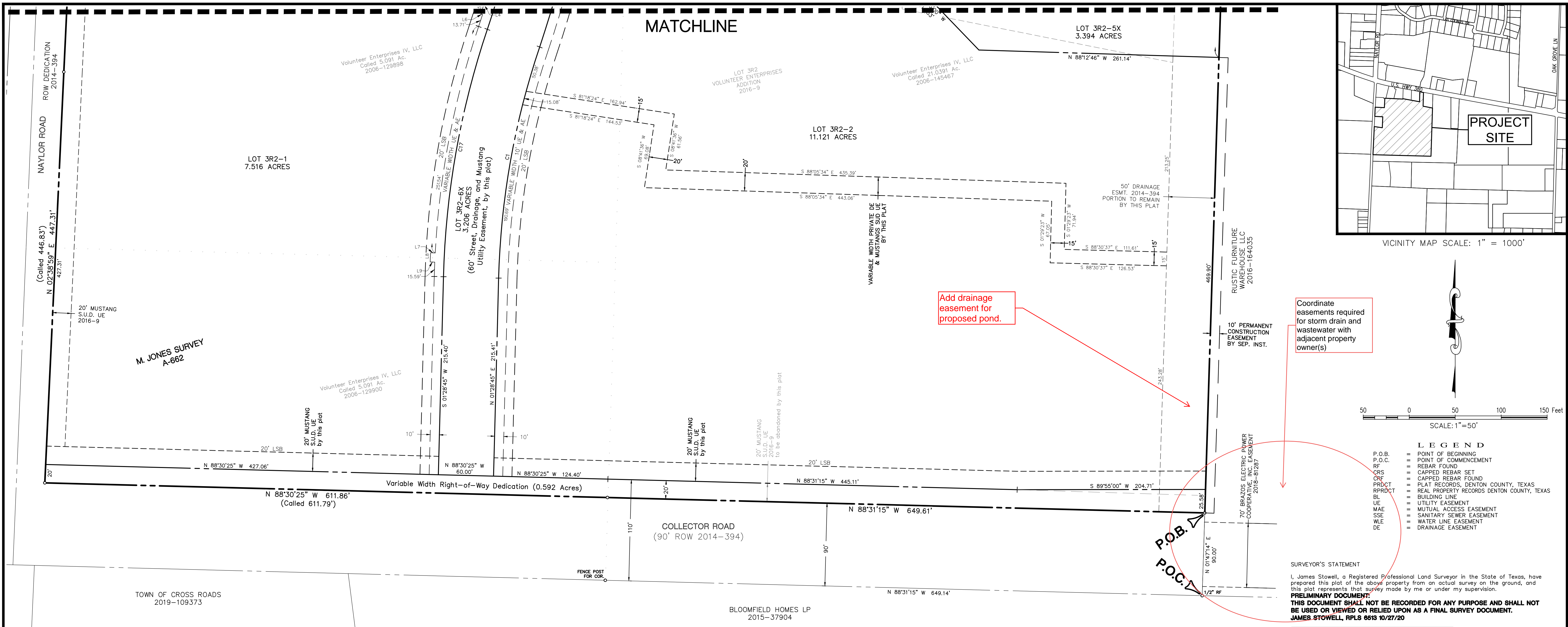
The John R. McAdams Company, Inc.
 111 Hillside Drive
 Lewisville, Texas 75057
 972.436.9712
 201 Country View Drive
 Roanoke, Texas 76262
 840.240.1012
 TBPE: 19762 TBPLS: 10194440
 www.gacon.com
 www.mcadamsco.com

DRAWN BY: BC DATE: Submit Date SCALE: 1"=50' JOB. No. SPEC-20046

OWNER/DEVELOPER
VOLUNTEER ENTERPRISES
IV, LLC
13915 OLD COAST ROAD,
UNIT 2306
NAPLES, FLORIDA 34110
Ph. 840-390-2734
Contact: FRED NICHOLS

MATCHLINE

File: M:\Projects\1606-SPEC-20046_Cross_Roads_Infrastructure\Drawings\1606_Spec_Plats\1606-SPEC-20046_REPLAT.dwg
 Plotted: 10/27/2016 11:52 AM by VPK, Aepke, Sheet: 10/27/2016 2:15 PM, by kca



LEGAL DESCRIPTION
32.837 Acres

BEG all that certain lot, tract, or parcel of land, situated in the M. Jones Survey, Abstract Number 662, Denton County, Texas, and being all of Lot 3R2, Volunteer Enterprises addition, an addition to the Town of Cross Roads, according to the plat thereof, recorded in Document Number 2014-394, Plat Records, Denton County, Texas, and being part of that certain called 21.0391 acre tract of land, described in deed to Volunteer Enterprises IV, LLC, recorded in Document Number 2006-145467, Official Records, Denton County, Texas, and being part of that certain called 5.091 acre tract of land, described in deed to Volunteer Enterprises IV, LLC, recorded in Document Number 2006-129900, Official Records, Denton County, Texas, and being part of that certain called 8.138 acre tract of land described in deed to Volunteer Enterprises IV, LLC, recorded in Document Number 2006-144306, Official Records, Denton County, Texas, and being more particularly described as follows:

COMMENCING at a 1/2" rebar found at the southeast corner of said 21.0391 acre tract, and being the southeast corner of a 90' right-of-way dedication as dedicated by plat of Volunteer Enterprises Addition, an addition to the Town of Cross Roads, according to the plat thereof, recorded in Document Number 2014-394, Plat Records, Denton County, Texas, and being the southwest corner of that certain tract of land, described in deed to Rustic Furniture Warehouse LLC, recorded in Document Number 2016-164035, Official Records, Denton County, Texas, and being on the north line of that certain tract of land, described in deed to CADG Cross Oak Ranch, LLC, recorded in Document Number 2015-37904, Official Records, Denton County, Texas;

THENCE N 01°47'14" E, with the east line of said 21.0391 acre tract, a distance of 90.00 feet to a 1/2" capped rebar set stamped "McAdams" at the southeast corner of said Lot 3R2, and being the northeast corner of said 90' right-of-way dedication and being the POINT OF BEGINNING of the herein described tract of land;

THENCE N 88°31'15" W, with the north line of said 90' right-of-way dedication, and with the south line of said Lot 3R2, a distance of 649.61 feet;

THENCE N 88°30'25" W, with the north line of said 90' right-of-way dedication, and with the south line of said Lot 3R2, a distance of 611.86 feet (called 611.79') to a 1/2" capped rebar set stamped "McAdams" at the southwest corner thereof, and being the east line of that certain right-of-way dedication, as dedicated by said plat of Volunteer Enterprises Addition, recorded in 2014-394;

THENCE N 02°38'59" E, with the east line of said Naylor Road, and the west line of said Lot 3R2, passing the north line of said Volunteer Enterprises Tract, recorded in 2006-129900, and the south line of said Volunteer Enterprises Tract, recorded in 2006-19898, a total distance of 447.31 feet (called 446.83') to a 1/2" capped rebar set stamped "McAdams";

THENCE N 02°42'32" E, continuing with the east line of said Naylor Road, and the west line of said Lot 3R2, a distance of 174.86 feet to a 5/8" capped rebar set stamped "McAdams" at the northwest corner of said Lot 3R2, and being in the south line of that certain tract of land, described in deed to Bobby R. & Loreta K. Turner, recorded in Document Number 2001-44744, Official Records, Denton County, Texas, and being the southeast corner of that tract of land described in deed to Town of Cross Roads, recorded in Document Number 2016-72320, Official Records, Denton County, Texas;

THENCE S 81°57'29" E, with the west line of said Lot 3R2, and the south line of said Turner tract, a distance of 175.69 feet to a Fence Corner Post for corner at the southeast corner thereof;

THENCE N 02°38'59" E, with the west line of said Lot 3R2, and the east line of said Turner tract, a distance of 238.64 feet to a 1/2" rebar found at the northeast corner thereof;

THENCE N 87°19'57" W, with the west line of said Lot 3R2, and the north line of said Turner tract, a distance of 174.86 feet to a 5/8" capped rebar set stamped "Kimley-Horn" at the northwest corner thereof, and being on the east line of said Naylor Road, and being the northeast corner of said Town of Cross Roads tract;

THENCE N 02°42'32" E, with the west line of said Lot 3R2, and the east line of said Naylor Road, a distance of 199.98 feet to a point at the southwest corner of Lot 3R1, Block A, of said Volunteer Enterprises Addition, recorded in 2016-9, and being a northwest corner of said Lot 3R2, from which a 5/8" capped rebar found stamped "COX 1577" bears N 04°32'26" W, 0.35 feet;

THENCE S 87°15'20" E, with the common line of said Lot 3R2, and said Lot 3R1, a distance of 199.74 feet to a 1/2" rebar found at the south east corner thereof;

THENCE N 02°38'14" E, with the common line of said Lot 3R2, and said Lot 3R1, a distance of 205.36 feet to a 5/8" capped rebar found stamped "Metroplex" at the northeast corner thereof, and being the northerly northwest

corner of said Lot 3R2, and being on the south line of Lot 1, Block A, Cross Roads CVS Addition, an addition to the Town of Cross Roads, according to the plat thereof, recorded in Document Number 2013-188, Plat Records, Denton County, Texas;

THENCE S 87°13'38" E, with the north line of said Lot 3R2, and the south line of said Lot 1, passing at 25.09 feet a 5/8" capped rebar found stamped "MHI" at the southeast corner thereof, and being the southwest corner of Lot 2A, Block A, of said Cross Roads CVS Addition, an addition to the Town of Cross Roads according to the plat thereof, recorded in Document Number 2015-151, Plat Records, Denton County, Texas, continuing with the south line thereof, passing at 196.54 feet a 5/8" rebar found at the southeast corner thereof, and being the southwest corner of Lot 2B, Block A, of said Cross Roads CVS Addition, continuing with the south line thereof, a total distance of 394.30 feet (called 392.89'), from which a 1/2" capped rebar found stamped "Metroplex" bears S 72°43'18" W, 1.17 feet;

THENCE N 01°43'03" W, with the east line of said Lot 2B, and the north line of said Lot 3R2, a distance of 8.50 feet (called 8.69') to a 5/8" rebar found at the south west corner of Lot 1, of said Volunteer Enterprises Addition recorded in 2014-394;

THENCE S 79°34'15" E, with the south line of said Lot 1, passing at 183.76 feet a 5/8" capped rebar found at the southeast corner thereof, and being the southwest corner of Lot 2, of said Volunteer Enterprises Addition recorded in 2014-394, continuing with the south line thereof, a total distance of 367.97 feet (called 367.83') to a 5/8" rebar found at the southeast corner of said Lot 2;

THENCE N 01°20'43" E, with east line of said Lot 2, and a west line of said Lot 3R2, a distance of 219.83 feet to the northerly northwest corner thereof, and being the southwest corner of a 20' right-of-way dedication as dedicated by said plat of Volunteer Enterprises Addition recorded in 2016-9, from which a 1/2" capped rebar found at the northwest corner thereof, and being on the south line of U.S. Highway 377 bears N 01°20'43" E, 20.00 feet;

THENCE S 75°49'30" E, with the north line of said Lot 3R2, and the south line of said right-of-way dedication, a distance of 82.04 feet, to the southeast corner thereof, and being the northerly northeast corner of said Lot 3R2, and being on the west line of Lot 1, Block A, Mason Addition, an addition to the Town of Cross Roads, according to the plat thereof, recorded in Cabinet U, Page 775, Plat Records, Denton County, Texas, from which a "x" found in concrete at the northwest corner thereof, and being on the south line of said U.S. Highway 377 bears N 01°46'45" E, 20.00 feet;

THENCE S 01°46'45" W, with the northeast line of said Lot 3R2, and the west line of said Mason Addition, a distance of 296.26 feet, to a 1/2" capped rebar found at the southwest corner thereof;

THENCE S 78°54'22" E, with the north line of said Lot 3R2, and the south line of said Mason Addition, a distance of 208.78 feet to a 1/2" capped rebar found at the southeast corner thereof, and being the easterly northeast corner of said Lot 3R2, and being on the west line of said Rustic Furniture Warehouse tract;

THENCE S 01°47'14" W, with the east line of said Lot 3R2, and the west line of said Rustic Furniture Warehouse tract, a distance of 1046.34 feet to the POINT OF BEGINNING and containing approximately 32.836 acres of land.

Chairperson, Planning and Zoning Commission
Date _____
Approved for Construction

Mayer, Town of Cross Roads
Date _____

The undersigned, the Town Secretary, of the Town of Cross Roads, Texas, hereby certifies that the foregoing final plat of the _____ Subdivision or Addition to the Town of Cross Roads was submitted to the Town Council on the _____ day of _____, 20____, and the Council, by formal action, then and there accepted the dedication of streets, alleys, parks, easements, public parks, and water and sewer lines, as shown and set forth in and upon said plat, and said Council further authorizes the Mayor to note the acceptance thereof for construction by signing his/her name as herein above subscribed.

Town Secretary, Town of Cross Roads
Date _____
Witness my hand this _____ day of _____, 20____,

NOW THEREFORE KNOW ALL MEN BY THESE PRESENTS:

That I, Charles Ames, do hereby adopt this plat designating the herein described property as VOLUNTEER ENTERPRISE ADDITION, an addition to the Town of Cross Roads, Texas, and do hereby dedicate to the public use forever the streets and easements shown herein.

Charles Ames
STATE OF TEXAS
COUNTY OF DENTON

Before me, the undersigned notary public in and for said county and state on this day personally appeared Charles Ames, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and considerations therein expressed, and in the capacity therein.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS _____ DAY OF _____, 20____.

NOTARY PUBLIC, STATE OF TEXAS

Recommended for Approval
Date _____

Approved for Construction
Date _____

NOTES:

- Bearings based on the Texas Coordinate System, North Central Zone (4202), NAD '83.
- Surveyor has made no investigation or independent search for easement of record, encumbrances, restrictive covenants, ownership title evidence, or any other facts that an accurate abstract of title may disclose.
- No flood zone area analysis has been performed by McAdams on the subject property.
- According to Community/Panel No. 48121C0405 G, effective April 18, 2011, of the FLOOD INSURANCE RATE MAP for Denton County, Texas & Incorporated Areas, by graphic plotting only, this property appears to be within Flood Zone "X" (Areas of minimal flooding). This flood statement does not imply that the property and/or the structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes.
- All property corners are 1/2" Capped Rebar Set, stamped McAdams, unless otherwise noted.
- The purpose of this plat is to Replat Lot 3R-2, into 6 lots.

CURVE TABLE				
CURVE	RADIUS	DELTA ANGLE	ARC LENGTH	LONG CHORD
C1	855.00'	17°09'57"	256.16'	N 10°03'43" E, 255.20'
C2	1145.00'	14°26'12"	288.50'	N 11°25'36" E, 287.74'
C3	10.50'	53°32'48"	9.81'	N 30°58'53" E, 9.46'
C4	59.50'	46°00'17"	47.77'	N 34°45'09" E, 46.50'
C5	10.50'	80°57'32"	14.84'	N 52°13'46" E, 13.63'
C6	360.00'	68°58'41"	433.40'	N 58°13'11" E, 407.70'
C7	35.50'	14°57'23"	9.27'	N 31°12'33" E, 9.24'
C8	64.50'	19°53'30"	22.39'	N 28°44'29" E, 22.28'
C9	364.50'	16°00'18"	101.82'	N 10°47'35" E, 101.49'
C10	64.50'	11°48'14"	13.29'	S 04°09'06" E, 13.26'
C11	35.50'	19°30'16"	12.08'	S 00°18'05" E, 12.03'
C12	300.00'	83°15'29"	435.94'	S 51°04'48" W, 398.58'
C13	10.50'	80°57'32"	14.84'	S 46°48'42" E, 13.63'
C14	59.50'	45°11'48"	46.94'	S 28°55'50" E, 45.73'
C15	10.50'	55°49'11"	10.23'	S 23°37'09" E, 9.83'
C16	1085.00'	14°21'15"	271.82'	S 11°28'04" W, 271.11'
C17	915.00'	17°09'57"	274.13'	S 10°03'43" W, 273.11'

LINE TABLE		
LINE	BEARING	DISTANCE
L1	S 88°13'15" E	5.11'
L2	S 88°13'15" E	4.41'
L3	S 01°45'01" W	8.40'
L4	N 73°07'07" W	2.05'
L5	S 16°52'53" W	10.00'
L6	S 73°07'07" E	1.92'
L7	N 87°14'43" W	5.01'
L8	S 02°45'17" W	10.00'
L9	S 87°14'43" E	5.01'
L10	N 02°42'32" E	8.00'
L11	S 87°17'28" E	21.50'
L12	S 02°42'32" W	8.00'
L13	N 12°24'20" W	5.24'
L14	N 77°35'40" E	10.00'
L15	S 12°24'20" E	5.61'
L16	S 11°05'28" W	13.00'
L17	S 11°05'38" W	13.00'
L18	N 78°54'22" W	20.22'
L19	N 87°17'28" W	7.51'

FILED _____ DOC # _____ PRD.C.T.

REPLAT
Lot 3R2-1, 3R2-2, 3R2-3, 3R2-4,
3R2-5X, & 3R2-6X, Block A
VOLUNTEER ENTERPRISES ADDITION
32.836 Acres
in the
MARCELLA JONES SURVEY, ABSTRACT NO. 662
TOWN OF CROSS ROADS
DENTON COUNTY, TEXAS

Page 2 of 2

The John R. McAdams Company, Inc.
111 Hillside Drive
Lewisville, Texas 75057
972.436.9712
201 Country View Drive
Roanoke, Texas 76262
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TBPE: 19762 TBP.LS: 1019440
www.mcadamsco.com
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DRAWN BY: BC DATE: Submit Date SCALE: 1"=50' JOB. No. SPEC-20046

OWNER/DEVELOPER
VOLUNTEER ENTERPRISES IV, LLC
13915 OLD COAST ROAD, UNIT 2306
NAPLES, FLORIDA 34110
Ph. 940-390-2734
Contact: FRED NICHOLS

GENERAL NOTES

- 1. THE TERM MUNICIPALITY REFERS TO THE TOWN OF CROSS ROADS.
2. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE MUNICIPALITY AND SHALL BE IN ACCORDANCE WITH THE MUNICIPAL STANDARD DETAILS AND SPECIFICATIONS FOR CONSTRUCTION.
3. EXISTING UTILITY LOCATIONS SHOWN ARE GENERALLY SCHEMATIC IN NATURE AND MAY NOT ACCURATELY REFLECT THE SIZE AND LOCATION OF EACH PARTICULAR UTILITY.
4. THE CONTRACTOR SHALL PROTECT EXISTING PROPERTY MONUMENTATION AND PRIMARY CONTROL.
5. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO: A.) PREVENT ANY DAMAGES TO PRIVATE PROPERTY AND PROPERTY OWNER'S POLES, FENCES, SHRUBS, ETC. B.) PROTECT ALL UNDERGROUND UTILITIES.
6. ANY DAMAGES THAT MAY OCCUR TO REAL PROPERTY OR EXISTING IMPROVEMENTS, INCLUDING EXISTING PRIVATE AND PUBLIC LANDSCAPE IRRIGATION SYSTEMS, SHALL BE RESTORED BY THE CONTRACTOR TO AT LEAST THE SAME CONDITION THAT THE REAL PROPERTY OR EXISTING IMPROVEMENT WERE IN PRIOR TO THE DAMAGES.
7. THE CONTRACTOR SHALL MAINTAIN DRAINAGE AT ALL TIMES DURING CONSTRUCTION.
8. THE CONTRACTOR SHALL MAINTAIN EXISTING SANITARY SEWER AND WATER SERVICES AT ALL TIMES DURING CONSTRUCTION.
9. AREAS OF THE SITE THAT WILL UNDERLIE FILL SHALL BE SCARIFIED TO A DEPTH OF 8 INCHES, FILL SHALL BE PLACED IN LOOSE LIFTS NOT EXCEEDING 8 INCHES IN UNCOMPACTED THICKNESS.
10. THE CONTRACTOR SHALL ABIDE BY ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS GOVERNING EXCAVATION.
11. WORK MAY NOT BE BACKFILLED OR COVERED UNTIL IT HAS BEEN INSPECTED BY THE MUNICIPALITY.
12. ALL EXCAVATION ON THE PROJECT IS UNCLASSIFIED.
13. ALL CURB AND GUTTER SHALL BE INTEGRAL WITH THE CONCRETE PAVEMENT.
14. CONTRACTOR SHALL COORDINATE THE PROTECTION OF EXISTING FRANCHISE UTILITIES AND APPURTENANCES INCLUDING EXISTING UTILITY POLES IN THE VICINITY OF CONSTRUCTION OPERATIONS WHETHER UTILITIES ARE SHOWN ON PLANS OR NOT.
15. THE CONTRACTOR SHALL LOCATE AND RECORD EXISTING IRRIGATION SYSTEMS PRIOR TO CONSTRUCTION.
16. THE CONTRACTOR MUST CEASE ALL CONSTRUCTION OPERATIONS IMMEDIATELY IF A SUSPECTED ARCHEOLOGICAL OBJECT/ARTIFACT IS UNCOVERED DURING CONSTRUCTION.
17. ALL PAVING DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
18. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE COMPLIANCE WITH ALL HANDICAPPED ACCESSIBILITY REQUIREMENTS INCLUDING SIGNAGE, TEXTURES, COLORING, MARKINGS, AND SLOPES OF ADA/TAS 2012 ACCESSIBLE ROUTES & RAMPS, AND PARKING SPACES.
19. ALL PIPE LENGTHS MEASURED FROM STATION TO STATION BASED ON THE CENTER OF STRUCTURE UNLESS OTHERWISE NOTED.
20. CONTRACTOR SHALL NOTIFY ENGINEER IF ANY DISCREPANCIES ARISE.

GENERAL NOTES FOR WATER IMPROVEMENTS

- 1. ALL WATER LINES SHALL BE PVC PIPE CONFORMING TO A.W.W.A. STANDARD C-900 DR-18 MINIMUM, WITH NSF SEAL, PRESSURE TESTED AND DISINFECTED IN ACCORDANCE WITH MUNICIPAL AND/OR NCTCOG STD. SPECS., UNLESS OTHERWISE NOTED WITHIN THE CONSTRUCTION PLANS.

GENERAL NOTES FOR PAVING IMPROVEMENTS

- 1. THE SUB GRADE SHALL BE PROOF ROLLED AND OBSERVED BY THE CONSTRUCTION INSPECTOR PRIOR TO AND AFTER SUB-GRADE STABILIZATION.
2. INDIVIDUAL WATER AND SEWER SERVICES AND WATER VALVES SHALL BE MARKED IN ACCORDANCE WITH MUNICIPAL REQUIREMENTS.
3. THE CONTRACTOR SHALL PROCEED WITH PAVING NO MORE THAN SEVENTY-TWO (72) HOURS AFTER DENSITY/MOISTURE TESTS HAVE BEEN TAKEN AND PASSED BY A REGISTERED TESTING FIRM. COPIES OF THE TEST RESULTS SHALL BE FURNISHED TO THE MUNICIPALITY.
4. MANHOLE RIM ELEVATIONS, CLEAN-OUTS, VALVE BOXES, FIRE HYDRANTS, ETC. SHALL BE ADJUSTED TO FINISHED GRADE BY THE PAVING CONTRACTOR AT THE TIME OF PAVING.
5. THE PAVING CONTRACTOR SHALL INSTALL A BLUE REFLECTOR IN THE STREET OR FIRE LANE CENTERLINE AT THE LOCATION OF EACH FIRE HYDRANT.
6. THE CONTRACTOR SHALL PREPARE ALL TRAFFIC CONTROL PLANS AND SUBMIT TO THE MUNICIPALITY PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMITS FOR WORK WITHIN THE MUNICIPALITY.

GENERAL NOTES FOR SANITARY SEWER IMPROVEMENTS

- 1. SANITARY SEWER PVC PIPE SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH MUNICIPAL REQUIREMENTS.
2. AFTER COMPLETION OF ALL SANITARY SEWER TESTING (I.E. MANDREL AND AIR) CONTRACTOR SHALL PERFORM A TELEVISION INSPECTION AND PROVIDE A VIDEOTAPE TO THE MUNICIPALITY. ALL MANHOLES SHALL BE VACUUM TESTED.
3. ONE JOINT OF 150-PSI PRESSURE RATED PIPE SHALL BE INSTALLED AND CENTERED UNDER ALL PROPOSED WATER PIPE CROSSINGS.
4. CONTRACTOR TO PLACE A 3/4" PLYWOOD FALSE BOTTOM IN ALL SANITARY SEWER MANHOLES BEFORE PAVING CONTRACTOR BEGINS WORK.
5. ANY CONNECTION TIE-IN TO AN EXISTING MANHOLE MUST BE CORED.
6. ALL CLEAN-OUTS TO BE PROVIDED PER MUNICIPAL REQUIREMENTS.

PROJECT GENERAL NOTES

- 1. THE TEXAS DEPARTMENT OF TRANSPORTATION (TXDOT) MUST APPROVE ANY WORK TO BE DONE IN THE STATE HIGHWAY RIGHT-OF-WAY. AN APPLICATION AND APPROPRIATE PLANS MUST BE SUBMITTED DIRECTLY TO TXDOT FOR REVIEW AND APPROVED BY THE MUNICIPALITY WHERE THE WORK WILL BE PERFORMED.
2. THE LOCATION OF UNDERGROUND FACILITIES INDICATED ON THE PLANS IS TAKEN FROM PUBLIC RECORDS. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO MAKE ARRANGEMENTS WITH THE OWNERS OF SUCH UNDERGROUND FACILITIES PRIOR TO WORKING IN THE AREA TO CONFIRM THEIR EXACT LOCATION AND TO DETERMINE WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.
3. WHERE EXISTING UTILITIES, SERVICE LINES OR IRRIGATION LINES ARE CUT, BROKEN OR DAMAGED, THE CONTRACTOR SHALL REPLACE OR REPAIR THE UTILITIES, SERVICE LINES OR IRRIGATION LINES WITH THE SAME TYPE OF ORIGINAL MATERIAL AND CONSTRUCTION.
4. ALL EXCAVATIONS, TRENCHING AND SHORING OPERATIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE U.S. DEPARTMENT OF LABOR, OSHA, "CONST. SAFETY AND HEALTH REGULATIONS." VOL. 29, SUBPART P, PG. 128-137, AND ANY AMENDMENTS THERETO.
5. THE CONTRACTOR SHALL RESTORE ALL AREAS, ONSITE AND OFFSITE, DISTURBED BY CONSTRUCTION TO ORIGINAL CONDITION OR BETTER.
6. THE CONTRACTOR SHALL KEEP RECORDS FOR AS-BUILTS DRAWINGS AND SHALL SUBMIT MARK-UPS TO THE MUNICIPALITY INSPECTOR PRIOR TO SCHEDULING A FINAL WALK THROUGH INSPECTION.
7. PRIOR TO CONSTRUCTION, A PRE-CONSTRUCTION MEETING SHALL BE HELD WITH REPRESENTATIVES FROM ALL CONTRACTORS, THE ENGINEER, AND THE MUNICIPALITY.
8. ALL CONSTRUCTION MUST ADHERE TO THE TREE PRESERVATION REQUIREMENTS OF THE MUNICIPALITY.
9. THE CONTRACTOR, AND HIS AGENTS, AND SUB-CONTRACTOR, ARE COMPLETELY RESPONSIBLE FOR THE VERIFICATION OF THE ACCURACY OF THE DIMENSION CONTROL FURNISHED HEREIN.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE IMPLEMENTATION OF STORM WATER POLLUTION PREVENTION PLAN (SWPPP) REQUIRED FOR THIS PROJECT IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

TEXAS ACCESSIBILITY STANDARDS/AMERICAN WITH DISABILITIES ACT REQUIREMENTS

- 1. THE MAXIMUM ALLOWED CROSS SLOPE ON ANY PROPOSED SIDEWALK OR TRAIL IS 2%.
2. THE MAXIMUM ALLOWED PATH OF TRAVEL SLOPE IS 5%, UNLESS OTHERWISE NOTED ON THESE PLANS. ANY SLOPE GREATER THEN 5%, AND LESS THAN 8.25%, MUST HAVE HANDRAILS. NO SLOPE GREATER THAN 8.25% SHALL BE ALLOWED.
3. SLOPES BETWEEN 5% AND 8.25% ARE CONSIDERED RAMPS. NO RAMP CAN EXCEED 30' IN LENGTH AND NO RAMP CAN EXCEED A GRADE CHANGE OF MORE THAN 2'-6". LANDINGS ARE REQUIRED IF EITHER OF THESE ARE EXCEEDED.
4. LANDINGS MAY NOT EXCEED 2% SLOPE IN ANY DIRECTION.
5. RAILINGS, IF REQUIRED, ARE TO EXTEND A MINIMUM OF 1' INTO THE LANDING AREA.
6. CURB RAMPS ARE REQUIRED AT THE END AT ALL CROSSWALKS. ALL CURB RAMPS ARE TO HAVE A MAXIMUM OF 6" OF RISE OVER THE 6' LENGTH OF THE RAMP. THE MAXIMUM ALLOWED CROSS SLOPE IS 2%.
7. TRUNCATED DOMES ARE TO BE INSTALLED AT THE BOTTOM OF EACH RAMP. THE DOMES ARE TO EXTEND THE FULL WIDTH OF THE PROPOSED RAMP AND MUST BE OF A CONTRASTING COLOR TO THE RAMP PAVEMENT, SIMILAR COLORS WILL NOT BE ACCEPTED.
8. ANY WALKWAY, SIDEWALK OR TRAIL, LESS THAN 5' IN WIDTH MUST HAVE A 5'X5' PASSING ZONE EVERY 200', OR LESS.

TOWN OF CROSS ROADS UTILITY CONTACTS

TOWN ADMINISTRATOR (940) 365-9693
TOWN SECRETARY (940) 365-9693
FINANCE DIRECTOR (940) 365-9693
BUILDING OFFICIAL (940) 365-9693

Provide geotech report for review and record keeping

Ensure that all notes cover Mustang as utility owner

LEGEND

ABBREVIATIONS:

Table with 3 columns: Abbreviations, Utility Name, and Description. Includes items like CRF (Capped Rebar Found), CRS (Capped Rebar Set), CP (Control Point), etc.

LINES & SYMBOLS:

Table with 2 columns: Existing symbols and Proposed symbols. Lists symbols for Contours, Asphalt Pavement, Wood Fence, Chain Link Fence, etc.

CROSS ROADS MARKET SQUARE VOLUNTEER ENTERPRISES ADDITION

McAdams logo and address: The John R. McAdams Company, Inc., 111 Hillside Drive, Lewisville, Texas 75057. Contact: 972.435.9712.

GENERAL NOTES

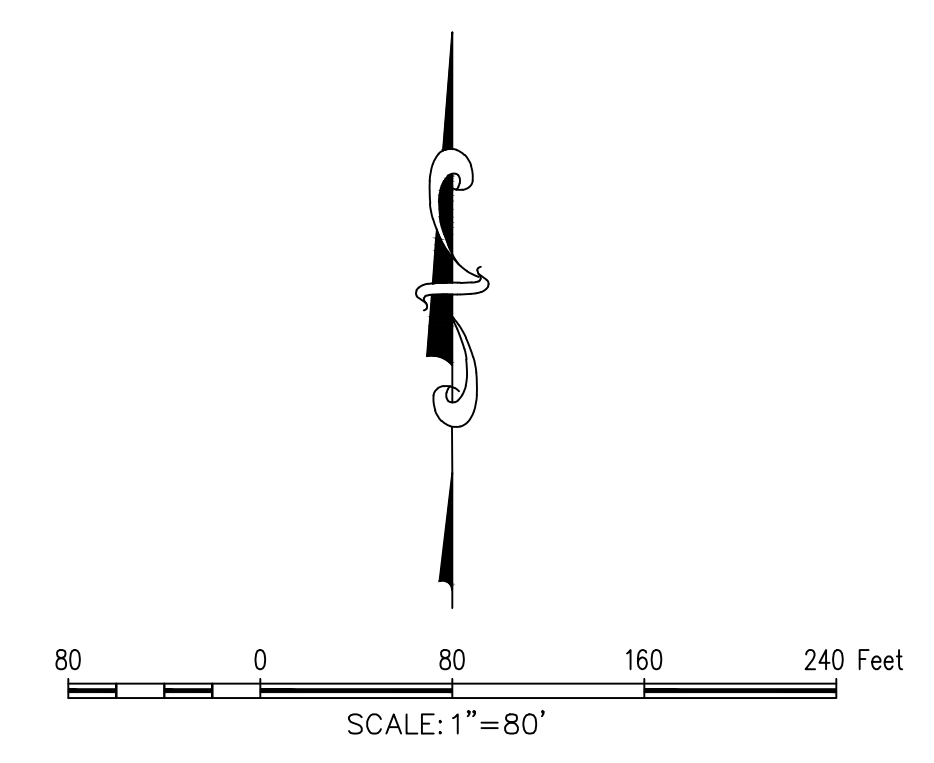
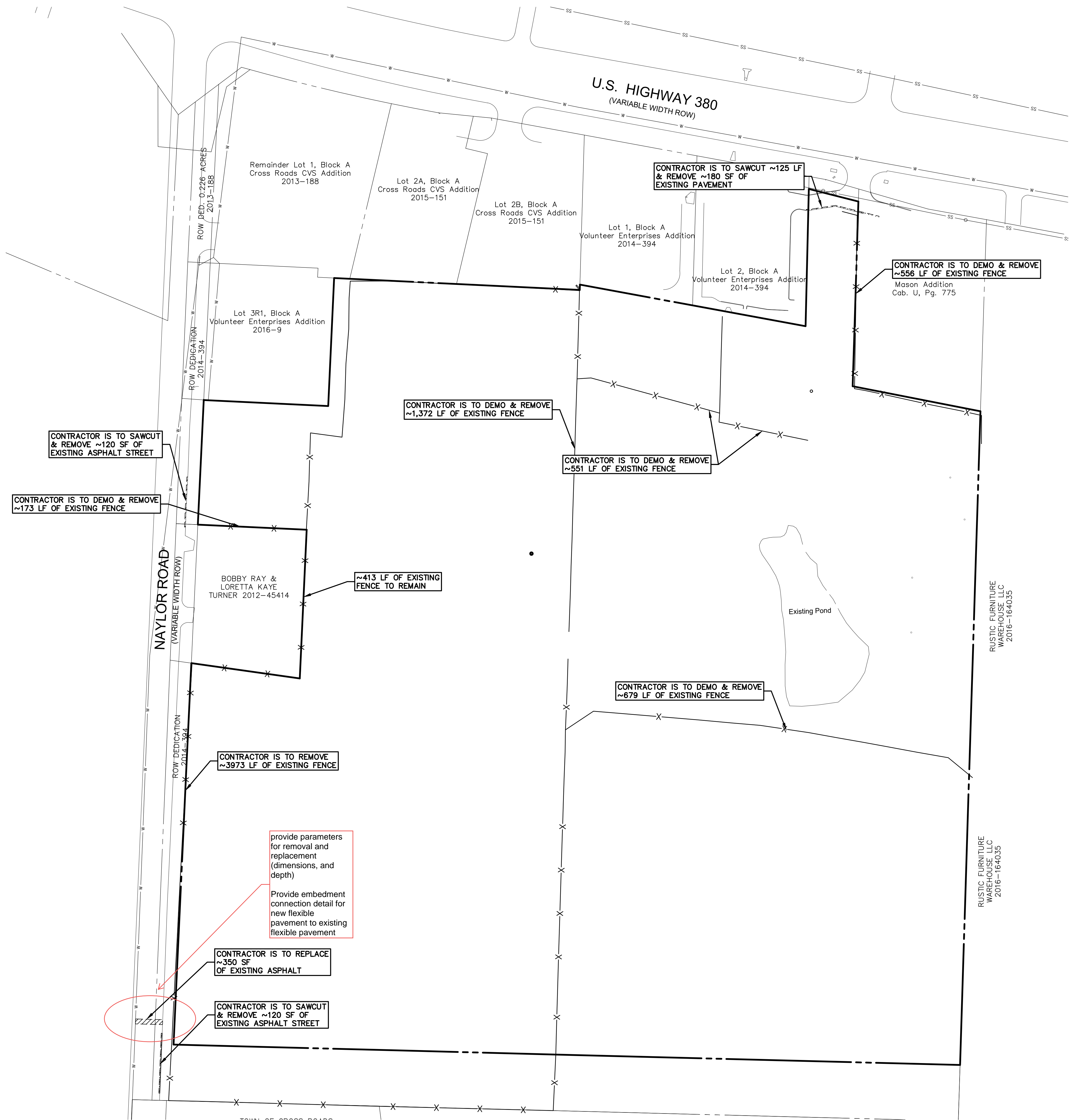
PRELIMINARY PLANS THIS DOCUMENT IS FOR INTERIM REVIEW AND IS NOT INTENDED FOR CONSTRUCTION, BIDDING, OR PERMIT PURPOSES.

Table with 2 columns: Date and Revisions. Includes Drawn By: ASC, Date: 06/01/2020, and various revision dates.

SPEC-20046

OWNER/DEVELOPER VOLUNTEER ENTERPRISES IV, LLC 1895 OLD COAST ROAD, UNIT 2306 NAPLES, FLORIDA 34110 Ph. 940-390-2734 Contact: FRED NICHOLS

C0.4



TBM-1: A "x" SET IN BOX THE NORTHEAST SIDE OF A TRANSMISSION POLE, APPROXIMATELY 1600 FEET SOUTH OF THE INTERSECTION OF US 380 AND NAYLOR ROAD, AND 55 FEET FROM THE EAST LINE OF NAYLOR ROAD.
 TBM-2: A "x" SET IN BOX IN THE SOUTHWEST CORNER OF SONIC PARKING LOT, SONIC IS LOCATED APPROXIMATELY 1100 FEET SOUTHEAST OF THE INTERSECTION OF US 380 AND NAYLOR ROAD.

- GENERAL NOTES**
1. EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO THE START OF CONSTRUCTION.
 2. EROSION CONTROL MATTING SHALL BE PLACED ON SLOPES GREATER THAN 4:1
 3. THE CONTRACTOR SHALL RESTORE ALL AREAS, ONSITE AND OFFSITE, DISTURBED BY CONSTRUCTION TO ORIGINAL CONDITION OR BETTER. RESTORED AREAS INCLUDE, BUT ARE NOT LIMITED TO: TRENCH BACKFILL, SIDE SLOPES, FENCES, CULVERT PIPES, DRAINAGE SWALES, STAGING AREAS, DRIVEWAYS, PRIVATE YARDS AND ROADWAYS. UNLESS OTHERWISE DIRECTED BY THE LANDSCAPE DRAWINGS, RESTORATION SHALL INCLUDE HYDROMULCHING ALL DISTURBED AREAS WITH A SLOPE OF LESS THAN 20% (1:5) AND SODDING AREAS WITH A SLOPE OF 20% (1:5) OR GREATER. ESTABLISHMENT OF GRASS THROUGH PROPER WATERING IS LEFT UP TO THE CONTRACTOR'S MEANS AND METHODS, UNLESS OTHERWISE DIRECTED BY THE LANDSCAPE/IRRIGATION DRAWINGS.
 4. ALL WATER WELLS LOCATED ON-SITE MUST BE ABANDONED PER TCEQ REGULATIONS.

The John R. McAdams Company, Inc.
 111 Hillside Drive
 Lewisville, Texas 75057
 972.435.9712
 201 Country View Drive
 Rockwall, TX 75087
 940.240.1012
 TBPE: 19762 TBPLS: 10194440
 www.jrmc.com

MCADAMS

CROSS ROADS MARKET SQUARE
 Lot 3R2-1, 3R2-2, 3R2-3, 3R2-4, 3R2-5X, & 3R2-6X, Block A
 VOLUNTEER ENTERPRISES ADDITION
 in the
 32.896 Acres
 MARCELLA JONES SURVEY, ABSTRACT NO. 662
 TOWN OF CROSS ROADS
 DENTON COUNTY, TEXAS

DEMOLITION PLAN

PRELIMINARY PLANS
 THIS DOCUMENT IS FOR INTERIM REVIEW AND IS NOT INTENDED FOR CONSTRUCTION, BIDDING, OR PERMIT PURPOSES. THE JOHN R. MCADAMS COMPANY, INC.
 TBPE: 19762
 JOSHUA M. BARTON,
 P.E. #129227
 DATE 10/27/2020

Drawn By:	ASC
Date:	06/01/2020
Scale:	1"=80'
Revisions:	
	07/13/2020
	08/27/2020
	10/27/2020

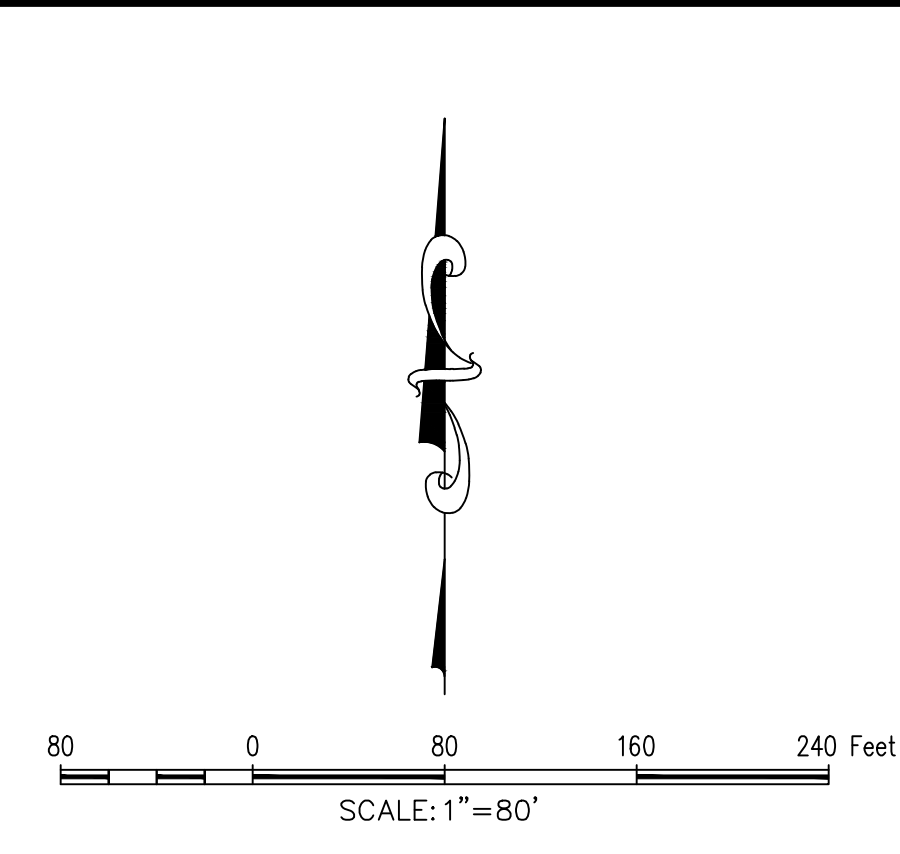
SPEC-20046

C1.1

OWNER/DEVELOPER
 VOLUNTEER ENTERPRISES IV, LLC
 1895 OLD COAST ROAD, UNIT 2306
 NAPLES, FLORIDA 34110
 Ph. 840-390-2734
 Contact: FRED NICHOLS

File: W:\Projects\10196-SP10-SP10-20046 Cross Roads Infrastructure\Drawings\10196-SP10-20046-0200.dwg
 Plotted: 10/27/2020 11:53 AM, by User, nigel, Sheet: 10/27/2020 4:41 PM, by author

OWNER/DEVELOPER
 VOLUNTEER ENTERPRISES IV, LLC
 1895 OLD COAST ROAD, UNIT 2306
 NAPLES, FLORIDA 34110
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 Contact: FRED NICHOLS



TBM-1: A "4" SET IN BOX THE NORTHEAST SIDE OF A TRANSMISSION POLE, APPROXIMATELY 1600 FEET SOUTH OF THE INTERSECTION OF US 380 AND NAYLOR ROAD, AND 55 FEET FROM THE EAST LINE OF NAYLOR ROAD.
 TBM-2: A "4" SET IN BOX IN THE SOUTHWEST CORNER OF SONIC PARKING LOT, SONIC IS LOCATED APPROXIMATELY 1100 FEET SOUTHEAST OF THE INTERSECTION OF US 380 AND NAYLOR ROAD.

- GENERAL NOTES**
- CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND DEPTH OF EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION AND TAKES RISK OF UNKNOWN CONDITIONS.
 - SIDEWALK RAMP ARE TO BE DESIGNED AND INSTALLED SO THEY ARE IN COMPLIANCE WITH THE TEXAS ACCESSIBILITY STANDARDS AND ADA.
 - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL PUBLIC UTILITIES DURING THE CONSTRUCTION OF THIS PROJECT. ALL MANHOLES, CLEANOUTS, VALVE BOXES, FIRE HYDRANTS, ECT. MUST BE ADJUSTED TO PROPER LINE AND GRADE BY THE CONTRACTOR PRIOR TO AND AFTER PLACEMENT OF PERMANENT PAVING. UTILITIES MUST BE MAINTAINED TO PROPER LINE AND GRADE DURING CONSTRUCTION OF THIS PROJECT.
 - RETAINING WALLS GREATER THAN 4' IN HEIGHT, INCLUDING THE FOOTER, ARE TO BE DESIGNED BY A STRUCTURAL ENGINEER.

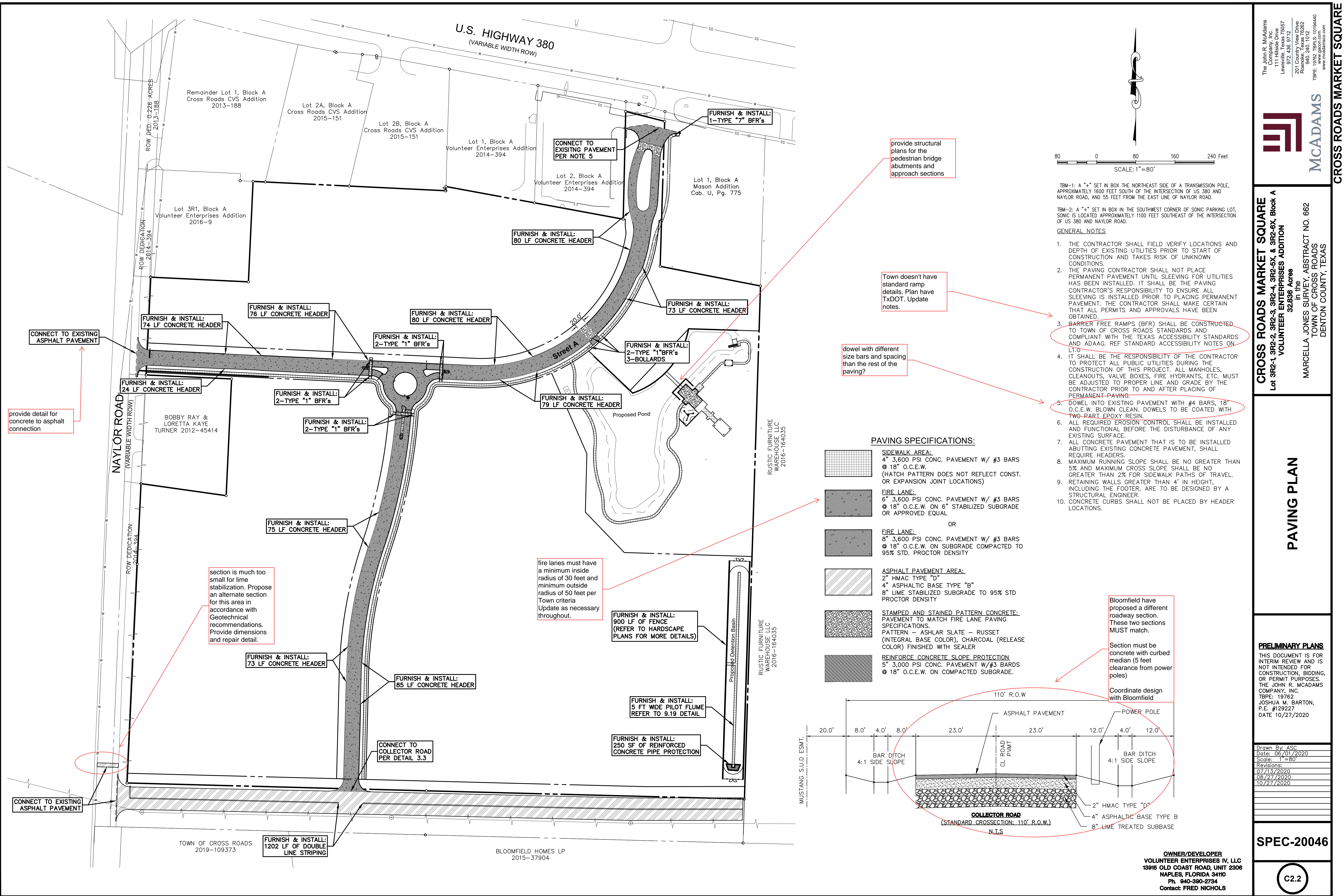
SITE DATA TABLE	
GROSS SITE AREA	32.836 AC
NET SITE AREA	30.357 AC
ZONING	PD #2020-0120-01
EXISTING USE	EMPTY LOT
PROPOSED USE	MIXED-USE
LOTS	
EXISTING LOT	1
PROPOSED LOTS	6
FUTURE BUILDING SUMMARY	
FUTURE BUILDINGS	25

add approval blocks - 14.03.111(16)
 add location map - 14.03.111(4)

coordinate Collector Road with Bloomfield



File: W:\Projects\10166-SP10-20046_Cross_Roads_Intersectors\Drawings\10166-20046_S10.dwg
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provide detail for concrete to asphalt connection

provide structural plans for the pedestrian bridge abutments and approach sections

Town doesn't have standard ramp details. Plan have TxDOT. Update notes.

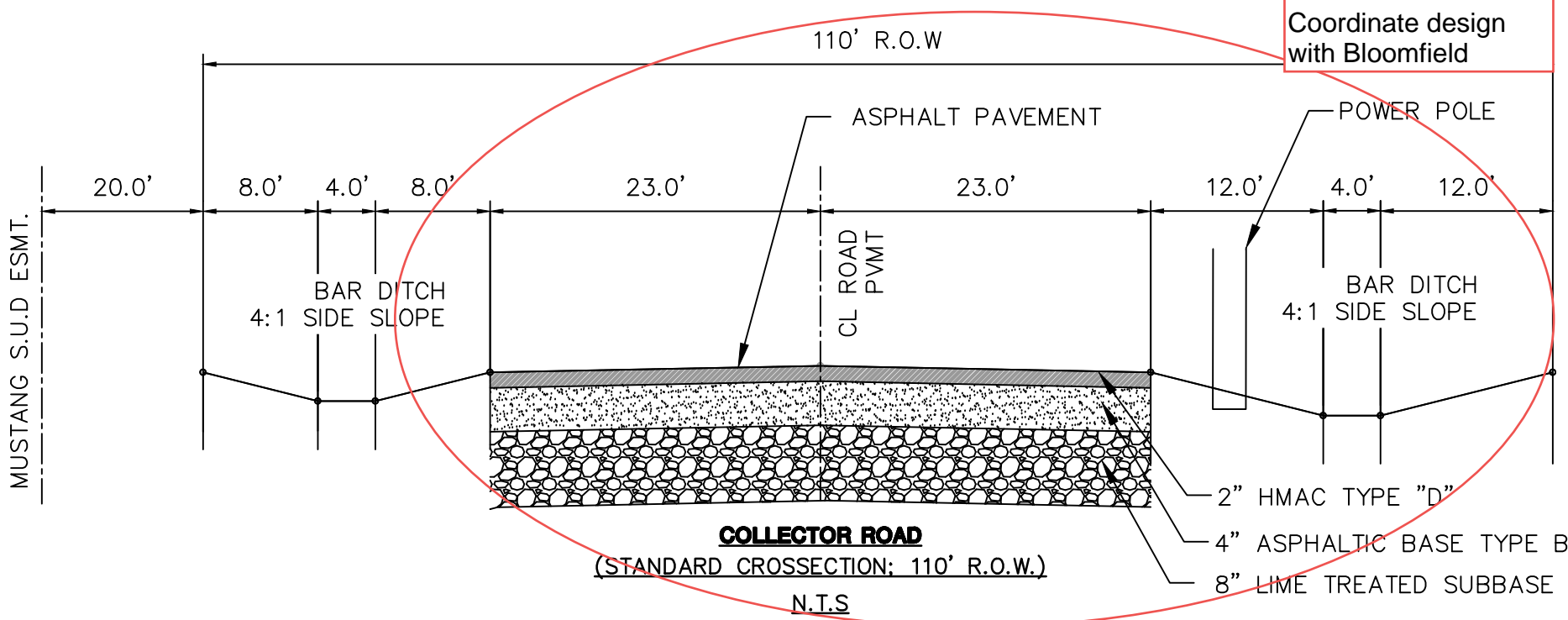
dowel with different size bars and spacing than the rest of the paving?

section is much too small for lime stabilization. Propose an alternate section for this area in accordance with Geotechnical recommendations. Provide dimensions and repair detail.

fire lanes must have a minimum inside radius of 30 feet and minimum outside radius of 50 feet per Town criteria Update as necessary throughout.

Bloomfield have proposed a different roadway section. These two sections MUST match. Section must be concrete with curbed median (5 feet clearance from power poles) Coordinate design with Bloomfield

- PAVING SPECIFICATIONS:**
- SIDEWALK AREA:**
4" 3,600 PSI CONC. PAVEMENT W/ #3 BARS @ 18" O.C.E.W. (HATCH PATTERN DOES NOT REFLECT CONST. OR EXPANSION JOINT LOCATIONS)
 - FIRE LANE:**
6" 3,600 PSI CONC. PAVEMENT W/ #3 BARS @ 18" O.C.E.W. ON 6" STABILIZED SUBGRADE OR APPROVED EQUAL
 - OR
8" 3,600 PSI CONC. PAVEMENT W/ #3 BARS @ 18" O.C.E.W. ON SUBGRADE COMPACTED TO 95% STD. PROCTOR DENSITY
 - ASPHALT PAVEMENT AREA:**
2" HMAC TYPE "D"
4" ASPHALTIC BASE TYPE "B"
8" LIME STABILIZED SUBGRADE TO 95% STD PROCTOR DENSITY
 - STAMPED AND STAINED PATTERN CONCRETE:**
PAVEMENT TO MATCH FIRE LANE PAVING SPECIFICATIONS.
PATTERN - ASHLAR SLATE - RUSSET (INTEGRAL BASE COLOR), CHARCOAL (RELEASE COLOR) FINISHED WITH SEALER
 - REINFORCE CONCRETE SLOPE PROTECTION:**
5" 3,000 PSI CONC. PAVEMENT W/#3 BARS @ 18" O.C.E.W. ON COMPACTED SUBGRADE.



- Scale: 1" = 80'
- TM-1: A "T" SET IN BOX THE NORTHEAST SIDE OF A TRANSMISSION POLE, APPROXIMATELY 1600 FEET SOUTH OF THE INTERSECTION OF US 380 AND NAYLOR ROAD, AND 55 FEET FROM THE EAST LINE OF NAYLOR ROAD.
- TM-2: A "T" SET IN BOX IN THE SOUTHWEST CORNER OF SONIC PARKING LOT, SONIC IS LOCATED APPROXIMATELY 1100 FEET SOUTHEAST OF THE INTERSECTION OF US 380 AND NAYLOR ROAD.
- GENERAL NOTES**
- THE CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND DEPTH OF EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION AND TAKES RISK OF UNKNOWN CONDITIONS.
 - THE PAVING CONTRACTOR SHALL NOT PLACE PERMANENT PAVEMENT UNTIL SLEEVING FOR UTILITIES HAS BEEN INSTALLED. IT SHALL BE THE PAVING CONTRACTOR'S RESPONSIBILITY TO ENSURE ALL SLEEVING IS INSTALLED PRIOR TO PLACING PERMANENT PAVEMENT. THE CONTRACTOR SHALL MAKE CERTAIN THAT ALL PERMITS AND APPROVALS HAVE BEEN OBTAINED.
 - BARRIER FREE RAMPS (BFR) SHALL BE CONSTRUCTED TO TOWN OF CROSS ROADS STANDARDS AND COMPLIANT WITH THE TEXAS ACCESSIBILITY STANDARDS AND ADAAG. REF STANDARD ACCESSIBILITY NOTES ON L.T.O**
 - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL PUBLIC UTILITIES DURING THE CONSTRUCTION OF THIS PROJECT. ALL MANHOLES, CLEANOUTS, VALVE BOXES, FIRE HYDRANTS, ETC. MUST BE ADJUSTED TO PROPER LINE AND GRADE BY THE CONTRACTOR PRIOR TO AND AFTER PLACING OF PERMANENT PAVING.
 - DOWEL INTO EXISTING PAVEMENT WITH #4 BARS, 18" O.C.E.W. BLOWN CLEAN. DOWELS TO BE COATED WITH TWO PART EPOXY RESIN.**
 - ALL REQUIRED EROSION CONTROL SHALL BE INSTALLED AND FUNCTIONAL BEFORE THE DISTURBANCE OF ANY EXISTING SURFACE.
 - ALL CONCRETE PAVEMENT THAT IS TO BE INSTALLED ABUTTING EXISTING CONCRETE PAVEMENT, SHALL REQUIRE HEADERS.
 - MAXIMUM RUNNING SLOPE SHALL BE NO GREATER THAN 5% AND MAXIMUM CROSS SLOPE SHALL BE NO GREATER THAN 2% FOR SIDEWALK PATHS OF TRAVEL.
 - RETAINING WALLS GREATER THAN 4' IN HEIGHT, INCLUDING THE FOOTER, ARE TO BE DESIGNED BY A STRUCTURAL ENGINEER.
 - CONCRETE CURBS SHALL NOT BE PLACED BY HEADER LOCATIONS.

The John R. McAdams Company, Inc.
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www.mcadams.com

MCADAMS

CROSS ROADS MARKET SQUARE

CROSS ROADS MARKET SQUARE
Lot 3R2-1, 3R2-2, 3R2-3, 3R2-4, 3R2-5X, & 3R2-6X, Block A
in the
VOLUNTEER ENTERPRISES ADDITION
32.836 Acres

MARCELLA JONES SURVEY, ABSTRACT NO. 662
TOWN OF CROSS ROADS
DENTON COUNTY, TEXAS

PAVING PLAN

PRELIMINARY PLANS
THIS DOCUMENT IS FOR INTERIM REVIEW AND IS NOT INTENDED FOR CONSTRUCTION, BIDDING, OR PERMIT PURPOSES. THE JOHN R. MCADAMS COMPANY, INC. JOSHUA M. BARTON, P.E. #129227 DATE 10/27/2020

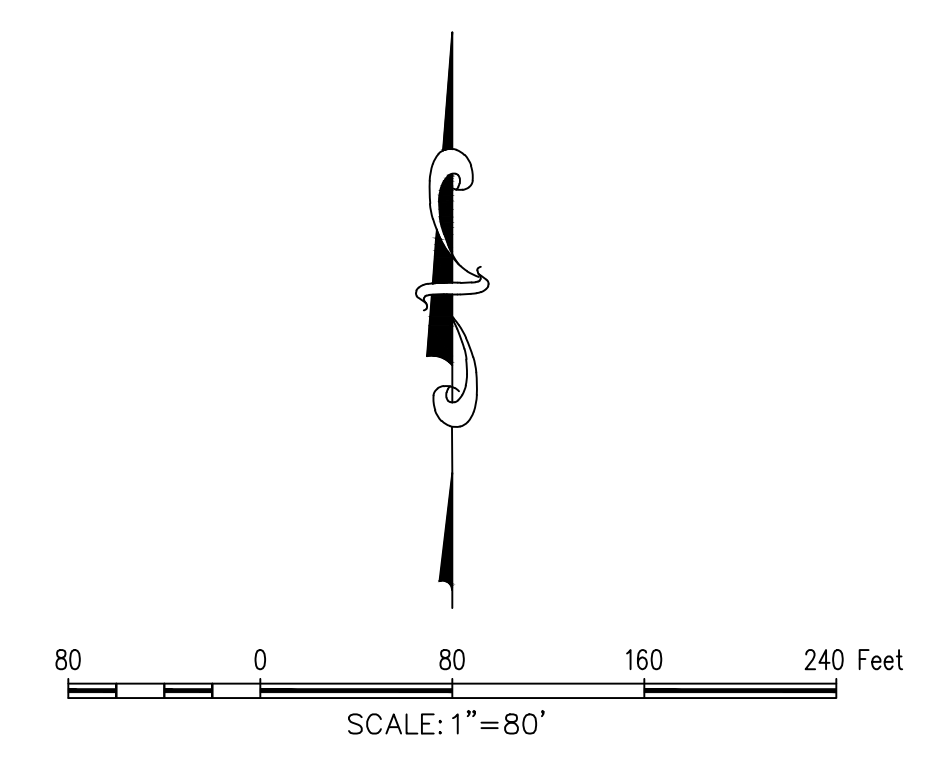
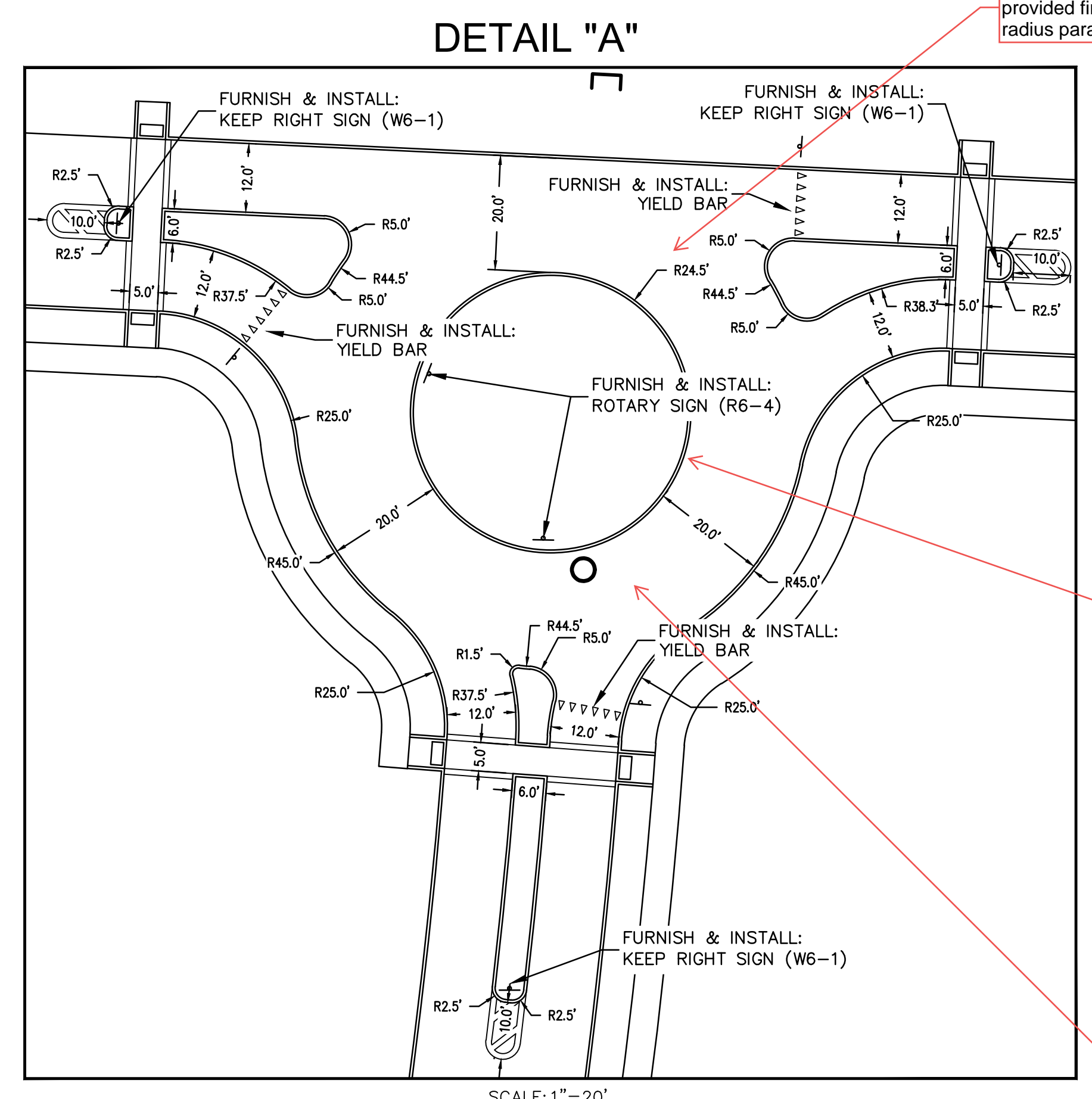
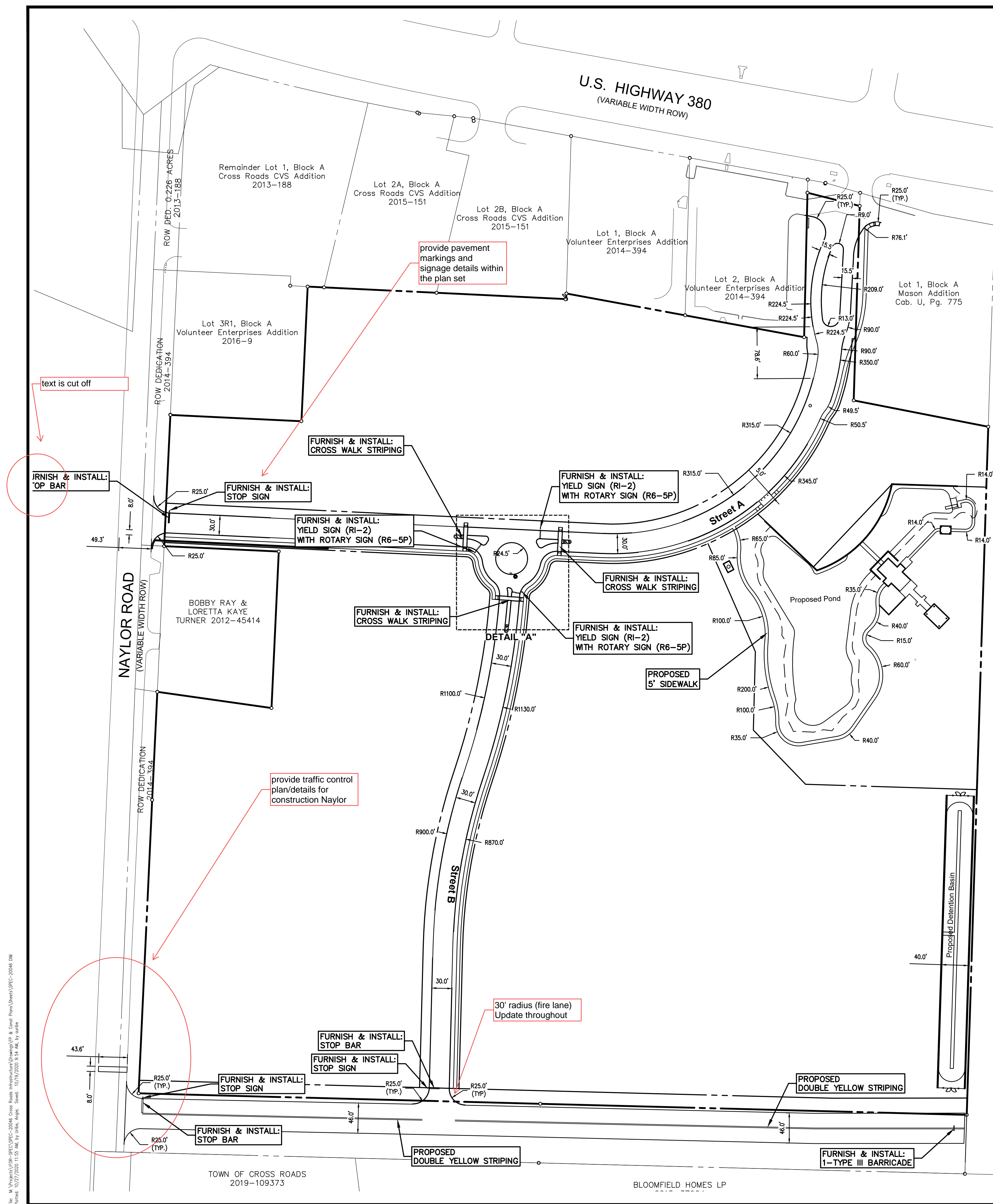
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Date: 06/01/2020
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Revisions:
07/13/2020
08/27/2020
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OWNER/DEVELOPER
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1895 OLD COAST ROAD, UNIT 2306
NAPLES, FLORIDA 34110
Ph. 840-390-2734
Contact: FRED NICHOLS

SPEC-20046

C.2.2

File: W:\Projects\10196-SP10-20046_Cross_Roads_Intersections\Drawings\10196_Cross_Roads\Sheet\SP10-20046_PAV.Plot Date: 10/27/2020 11:54 AM, by: Vitek, Image: Sheet, 10/27/2020 4:25 PM, by: mbar



TBM-1: A "T" SET IN BOX THE NORTHEAST SIDE OF A TRANSMISSION POLE, APPROXIMATELY 1600 FEET SOUTH OF THE INTERSECTION OF US 380 AND NAYLOR ROAD, AND 55 FEET FROM THE EAST LINE OF NAYLOR ROAD.

TBM-2: A "T" SET IN BOX IN THE SOUTHWEST CORNER OF SONIC PARKING LOT, SONIC IS LOCATED APPROXIMATELY 1100 FEET SOUTHEAST OF THE INTERSECTION OF US 380 AND NAYLOR ROAD.

- GENERAL NOTES**
1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 2. THE CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND DEPTH OF EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION AND TAKES RISK OF UNKNOWN CONDITIONS.
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 4. REFER TO ARCHITECTURAL PLANS FOR MONUMENT SIGN, FLAG POLE, AND DUMPSTER ENCLOSURE DETAILS.
 5. ALL REQUIRED EROSION CONTROL SHALL BE INSTALLED AND FUNCTIONAL BEFORE THE DISTURBANCE OF ANY EXISTING SURFACE.

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 www.mcadamsco.com

MCADAMS

CROSS ROADS MARKET SQUARE

CROSS ROADS MARKET SQUARE
 Lot 3R2-1, 3R2-2, 3R2-3, 3R2-4, 3R2-5X, & 3R2-6X, Block A
 VOLUNTEER ENTERPRISES ADDITION
 32.836 Acres
 in the
 TOWN OF CROSS ROADS
 DENTON COUNTY, TEXAS

MARCELLA JONES SURVEY, ABSTRACT NO. 662

**DIMENSIONAL CONTROL,
 STRIPING & SIGNAGE PLAN**

PRELIMINARY PLANS
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Drawn By: ASC
Date: 06/01/2020
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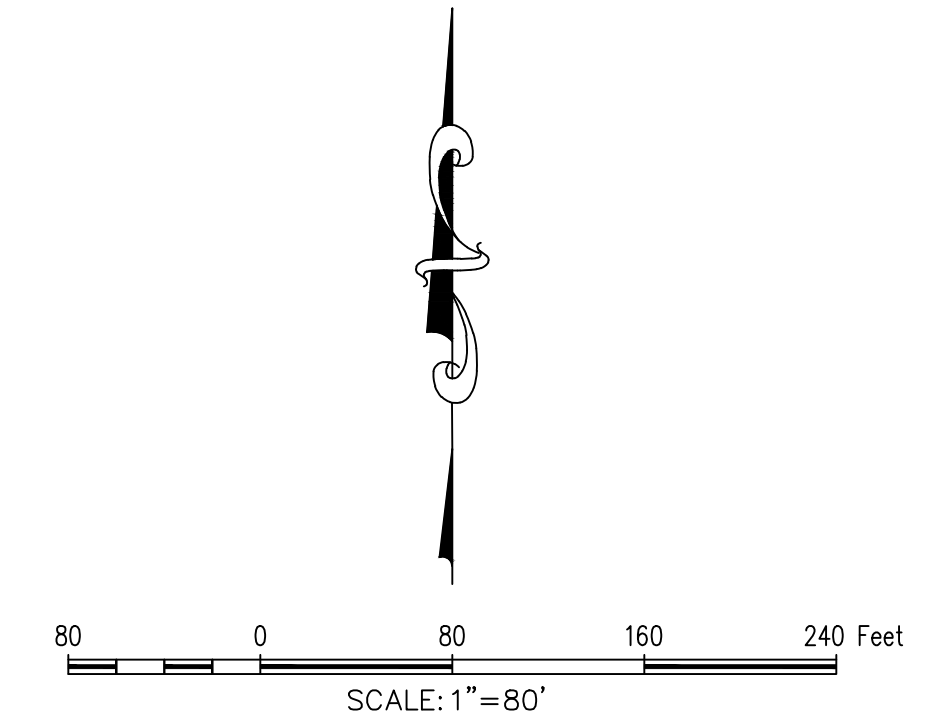
SPEC-20046

C2.3



Grading Plan Comments (all sheets):

1. Add directional flow arrows (onsite and offsite).
2. Clearly show/label existing and proposed stormwater infrastructure (i.e. culverts, pipes, inlets, etc.).
3. Clearly show and label stormwater outfalls.



TM-1: A "1" SET IN BOX THE NORTHEAST SIDE OF A TRANSMISSION POLE, APPROXIMATELY 1600 FEET SOUTH OF THE INTERSECTION OF US 380 AND NAYLOR ROAD, AND 55 FEET FROM THE EAST LINE OF NAYLOR ROAD.

TM-2: A "1" SET IN BOX IN THE SOUTHWEST CORNER OF SONIC PARKING LOT, SONIC IS LOCATED APPROXIMATELY 1100 FEET SOUTHEAST OF THE INTERSECTION OF US 380 AND NAYLOR ROAD.

GENERAL NOTES

1. ALL REQUIRED EROSION CONTROL SHALL BE INSTALLED AND FUNCTIONAL BEFORE THE DISTURBANCE OF ANY EXISTING SURFACE.
2. MAXIMUM RUNNING SLOPE SHALL BE NO GREATER THAN 5% AND MAXIMUM CROSS SLOPE SHALL BE NO GREATER THAN 2% FOR PATHS OF TRAVEL (ACROSS DRIVEWAYS AND FROM HANDICAP PARKING SPACES TO BUILDING).
3. THE CONTRACTOR SHALL RESTORE ALL AREAS, ONSITE AND OFFSITE, DISTURBED BY CONSTRUCTION TO ORIGINAL CONDITION OR BETTER. RESTORED AREAS INCLUDE, BUT ARE NOT LIMITED TO: TRENCH BACKFILL, SIDE SLOPES, FENCES, CULVERT PIPES, DRAINAGE SWALES, STAGING AREAS, DRIVEWAYS, PRIVATE YARDS AND ROADWAYS, UNLESS OTHERWISE DIRECTED BY THE LANDSCAPE DRAWINGS. RESTORATION SHALL INCLUDE HYDROMULCHING ALL DISTURBED AREAS WITH A SLOPE OF LESS THAN 20% (1:5) AND SODDING AREAS WITH A SLOPE OF 20% (1:5) OR GREATER. ESTABLISHMENT OF GRASS THROUGH PROPER WATERING IS LEFT UP TO THE CONTRACTOR'S MEANS AND METHODS, UNLESS OTHERWISE DIRECTED BY THE LANDSCAPE/IRRIGATION DRAWINGS.
4. TC = TOP OF CURB
5. LP = LOW POINT
6. HP = HIGH POINT
7. TG = TOP OF GRATE

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MCADAMS

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 VOLUNTEER ENTERPRISES ADDITION
 32.896 Acres
 in the
 MARCELLA JONES SURVEY, ABSTRACT NO. 662
 TOWN OF CROSS ROADS
 DENTON COUNTY, TEXAS

OVERALL GRADING PLAN

PRELIMINARY PLANS
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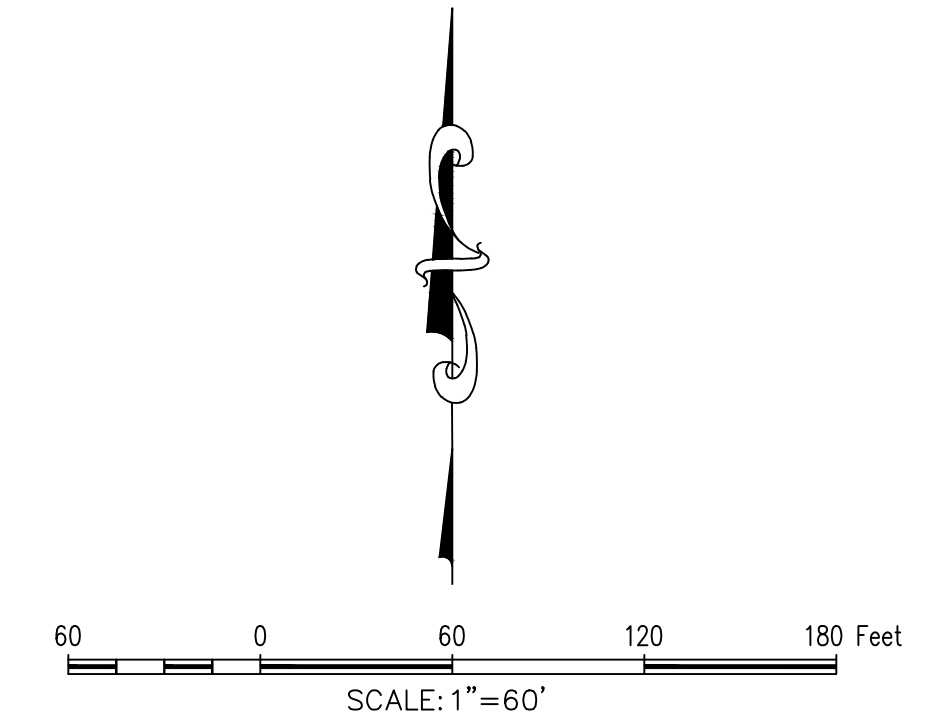
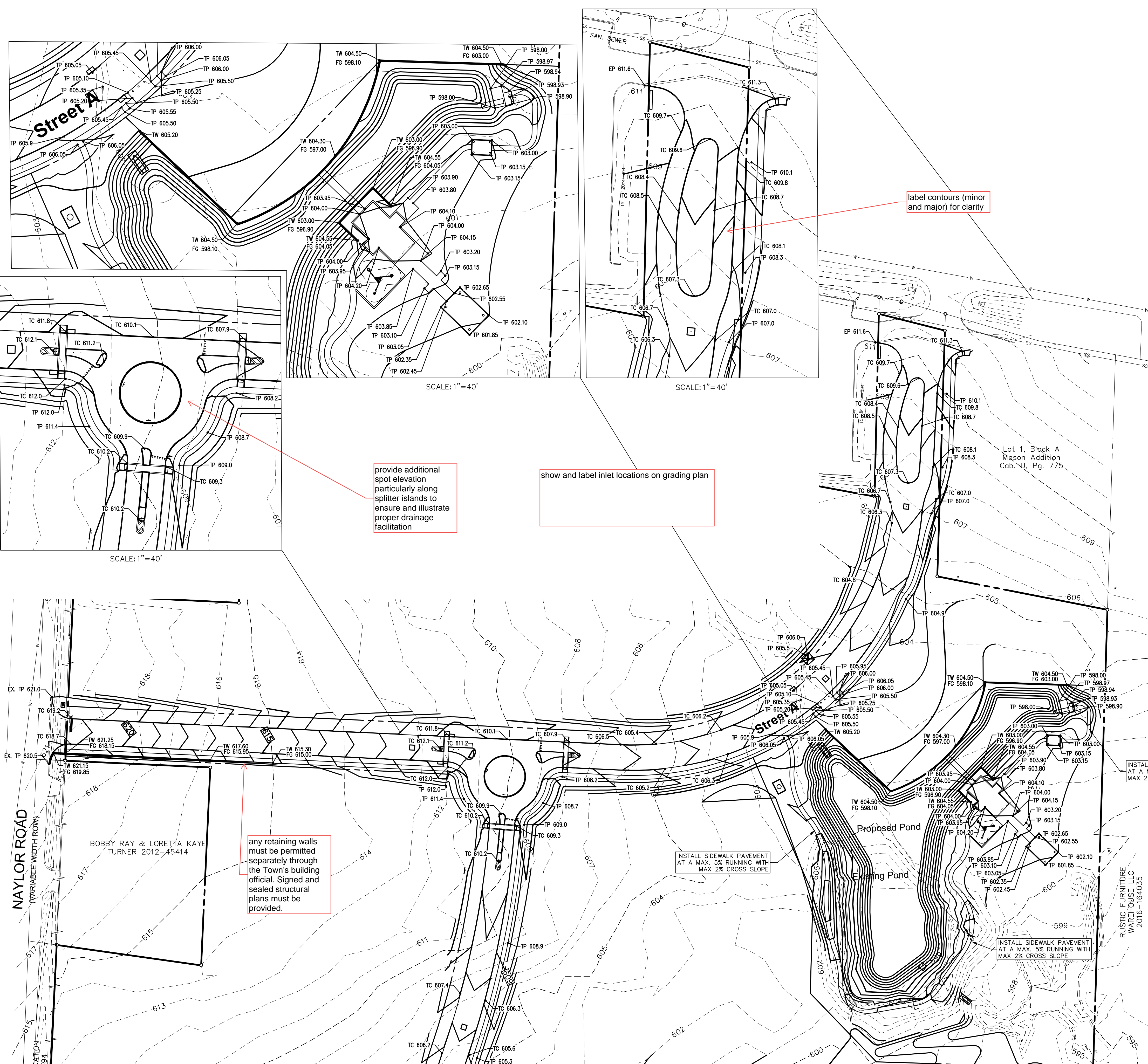
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SPEC-20046

OWNER/DEVELOPER
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 1395 OLD COAST ROAD, UNIT 2306
 NAPLES, FLORIDA 34110
 Ph. 840-390-2734
 Contact: FRED NICHOLS

C3.1

File: W:\Projects\10194440\SP20-0046_Cross_Roads_Market_Square\Drawings\10194440-0046_0046.dwg
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TEAM-1: A "1" SET IN BOX THE NORTHEAST SIDE OF A TRANSMISSION POLE, APPROXIMATELY 1600 FEET SOUTH OF THE INTERSECTION OF US 380 AND NAYLOR ROAD, AND 55 FEET FROM THE EAST LINE OF NAYLOR ROAD.

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7. TG = TOP OF GRATE

identify TW and FG in the notes

provide additional spot elevation particularly along splitter islands to ensure and illustrate proper drainage facilitation

show and label inlet locations on grading plan

any retaining walls must be permitted separately through the Town's building official. Signed and sealed structural plans must be provided.

INSTALL SIDEWALK PAVEMENT AT A MAX. 5% RUNNING WITH MAX 2% CROSS SLOPE

INSTALL SIDEWALK PAVEMENT AT A MAX. 5% RUNNING WITH MAX 2% CROSS SLOPE

INSTALL SIDEWALK PAVEMENT AT A MAX. 5% RUNNING WITH MAX 2% CROSS SLOPE

NAYLOR ROAD
VARIABLE WIDTH TRUNK

BOBBY RAY & LORETTA KAYE
TURNER 2012-45414

Proposed Pond

Existing Pond

RUSTIC FURNITURE
WAREHOUSE, LLC
2016-164035

MATCHLINE SHEET C3.3

CROSS ROADS MARKET SQUARE
Lot 3R2-1, 3R2-2, 3R2-3, 3R2-4, 3R2-5X, & 3R2-6X, Block A
VOLUNTEER ENTERPRISES ADDITION
32.836 Acres
in the
TOWN OF CROSS ROADS
DENTON COUNTY, TEXAS

MARCELLA JONES SURVEY, ABSTRACT NO. 662

GRADING PLAN

PRELIMINARY PLANS
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Drawn By: ASC
Date: 06/01/2020
Scale: 1"=60'
Revisions:
07/13/2020
08/27/2020
10/27/2020

SPEC-20046

C3.2

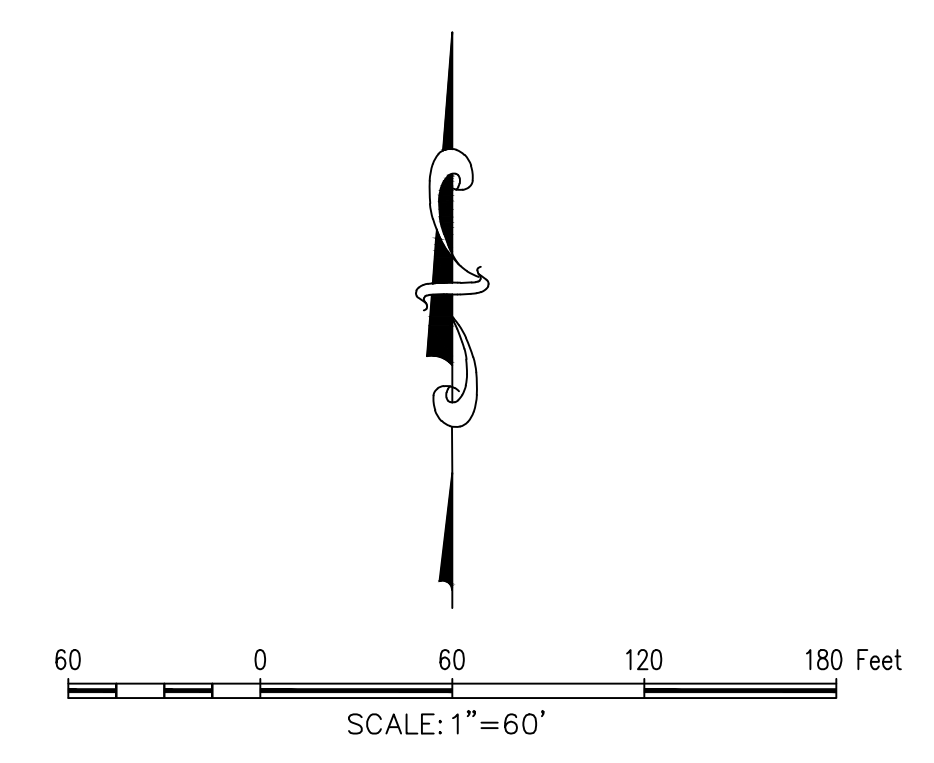
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CROSS ROADS MARKET SQUARE

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Printed: 10/27/2020 11:56 AM, by User: mgc, Sheet: 8/28/2020 11:50 AM, by User:



TM-1: A "x" SET IN BOX THE NORTHEAST SIDE OF A TRANSMISSION POLE, APPROXIMATELY 1600 FEET SOUTH OF THE INTERSECTION OF US 380 AND NAYLOR ROAD, AND 55 FEET FROM THE EAST LINE OF NAYLOR ROAD.

TM-2: A "x" SET IN BOX IN THE SOUTHWEST CORNER OF SONIC PARKING LOT, SONIC IS LOCATED APPROXIMATELY 1100 FEET SOUTHEAST OF THE INTERSECTION OF US 380 AND NAYLOR ROAD.

GENERAL NOTES

1. ALL REQUIRED EROSION CONTROL SHALL BE INSTALLED AND FUNCTIONAL BEFORE THE DISTURBANCE OF ANY EXISTING SURFACE.
2. MAXIMUM RUNNING SLOPE SHALL BE NO GREATER THAN 5% AND MAXIMUM CROSS SLOPE SHALL BE NO GREATER THAN 2% FOR PATHS OF TRAVEL. (ACROSS DRIVEWAYS AND FROM HANDICAP PARKING SPACES TO BUILDING).
3. THE CONTRACTOR SHALL RESTORE ALL AREAS, ONSITE AND OFFSITE, DISTURBED BY CONSTRUCTION TO ORIGINAL CONDITION OR BETTER. RESTORED AREAS INCLUDE, BUT ARE NOT LIMITED TO: TRENCH BACKFILL, SIDE SLOPES, FENCES, CULVERT PIPES, DRAINAGE SWALES, STAGING AREAS, DRIVEWAYS, PRIVATE YARDS AND ROADWAYS, UNLESS OTHERWISE DIRECTED BY THE LANDSCAPE DRAWINGS. RESTORATION SHALL INCLUDE HYDROMULCHING ALL DISTURBED AREAS WITH A SLOPE OF LESS THAN 20% (1:5) AND SODDING AREAS WITH A SLOPE OF 20% (1:5) OR GREATER. ESTABLISHMENT OF GRASS THROUGH PROPER WATERING IS LEFT UP TO THE CONTRACTOR'S MEANS AND METHODS, UNLESS OTHERWISE DIRECTED BY THE LANDSCAPE/IRRIGATION DRAWINGS.
4. TC = TOP OF CURB
5. LP = LOW POINT
6. HP = HIGH POINT
7. TG = TOP OF GRATE

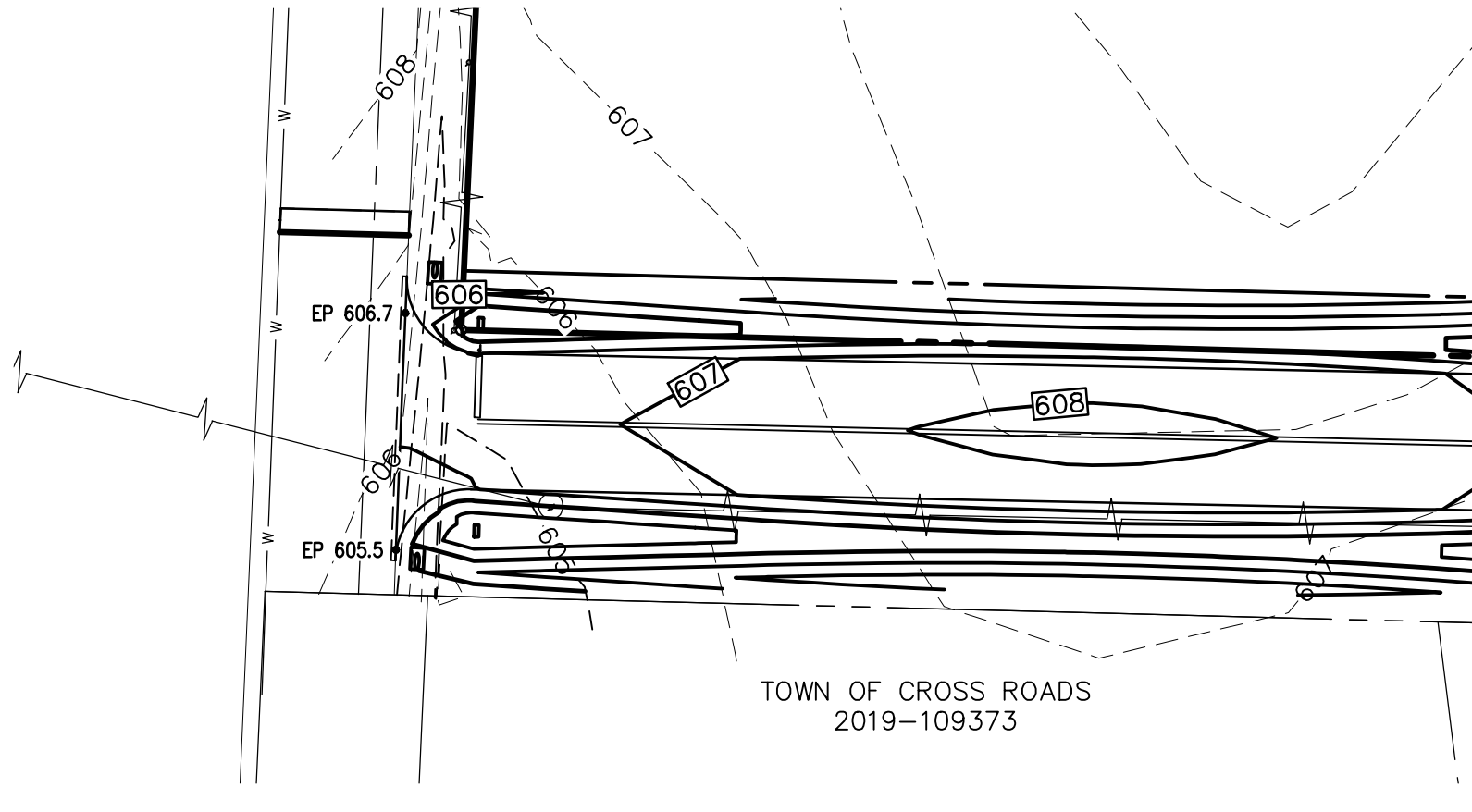
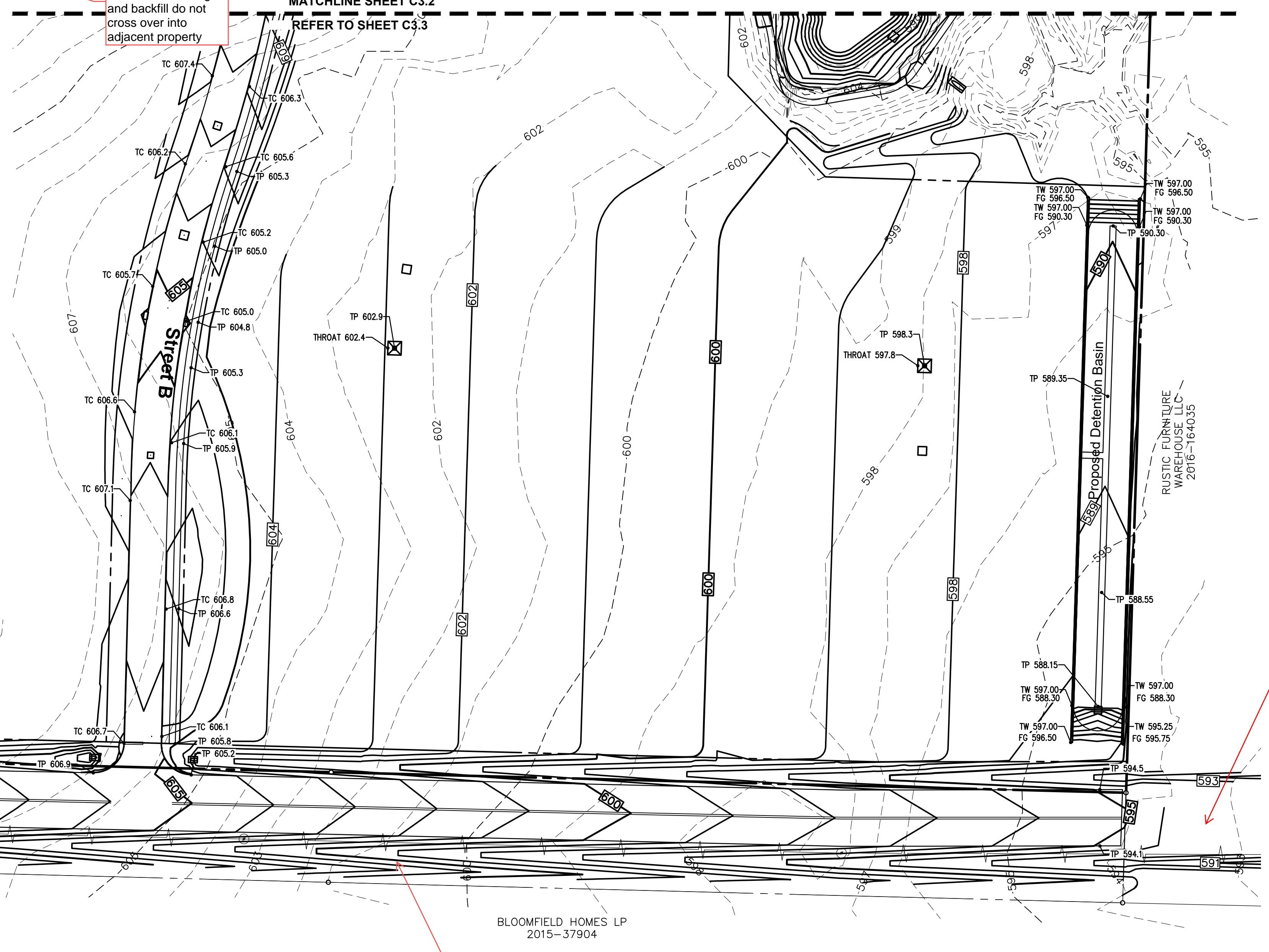
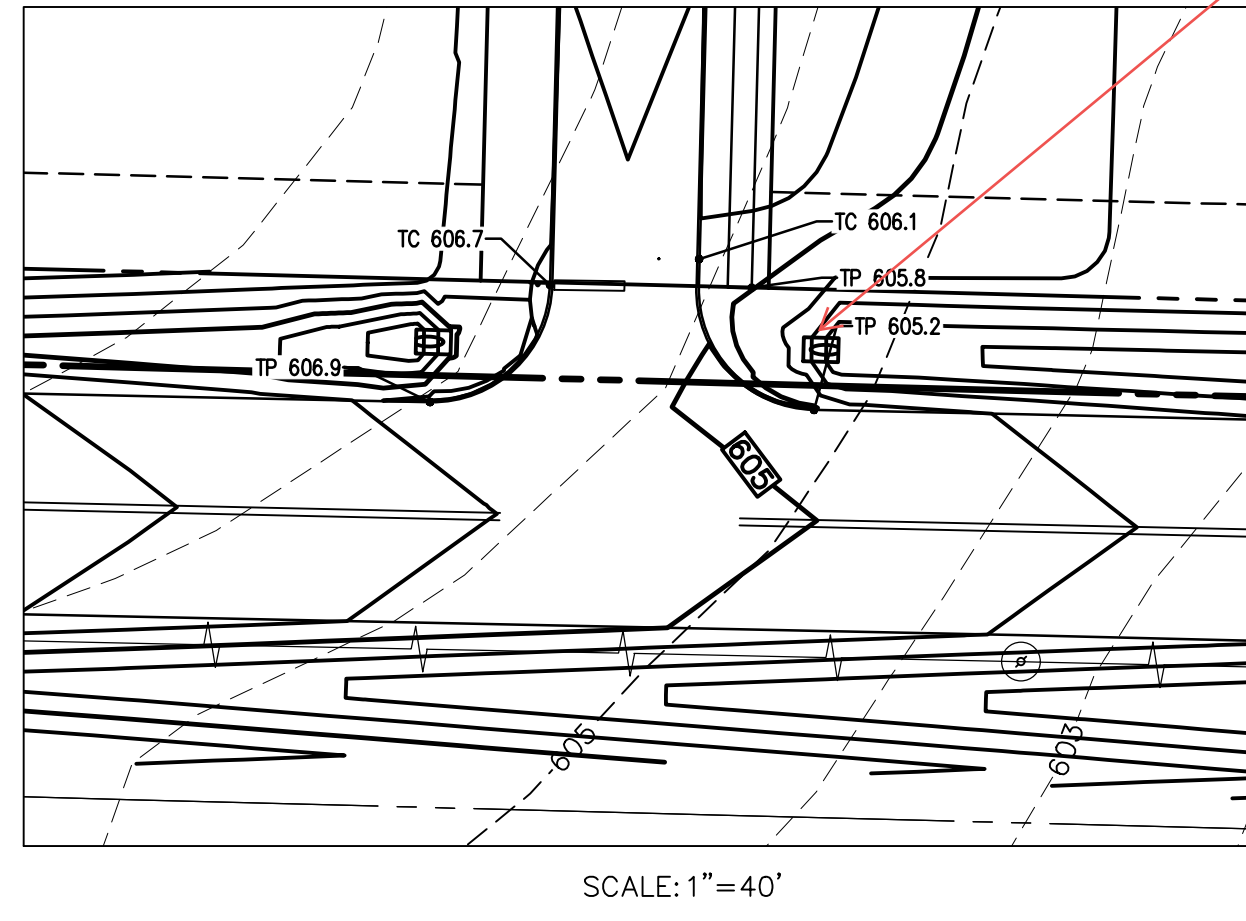
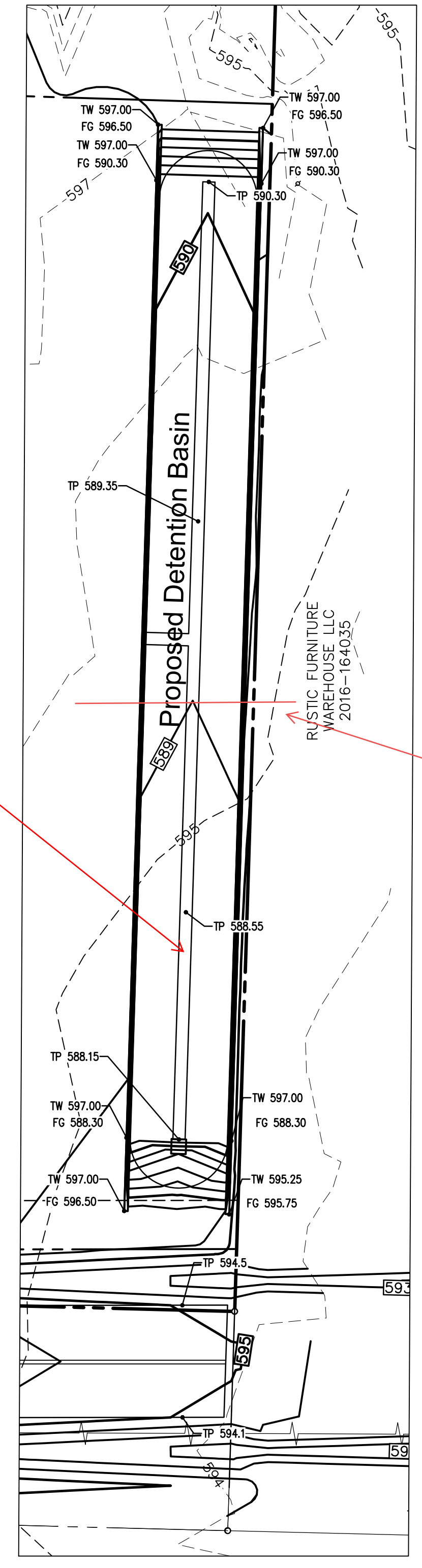
Avoid release of concentrated flow.
 1. Please extend to receiving creek (or)
 2. Spread back to sheet flow.

label flowlines for proposed culverts (all locations throughout the grading plan)

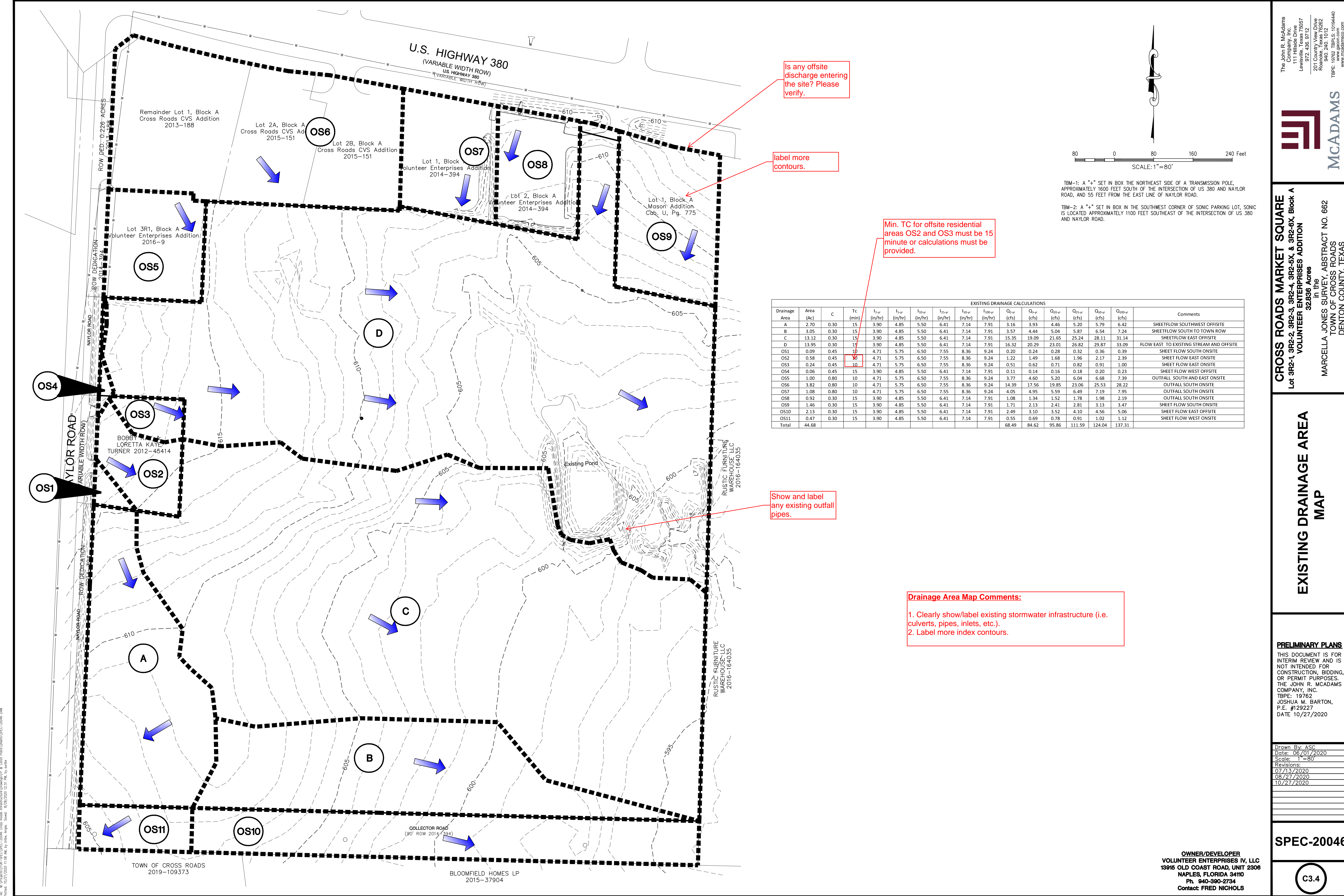
provide a section of how this will look. Ensure wall footings and backfill do not cross over into adjacent property

Clearly show pond outfall

Coordinate grading design with Bloomfield



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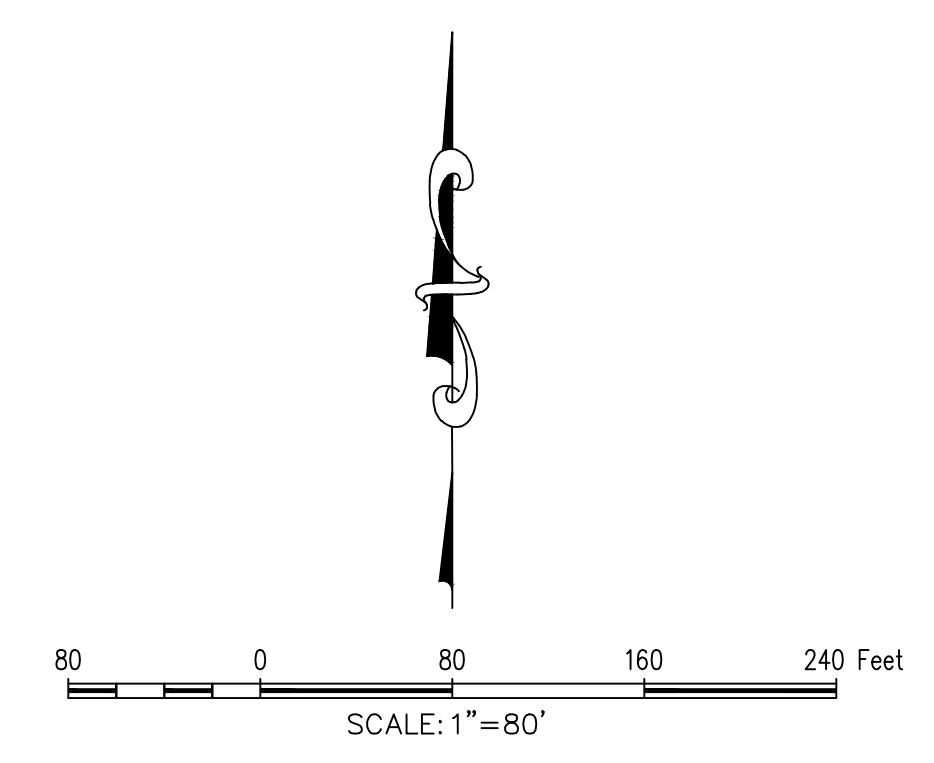
Is any offsite discharge entering the site? Please verify.

label more contours.

Min. TC for offsite residential areas OS2 and OS3 must be 15 minute or calculations must be provided.

Show and label any existing outfall pipes.

Drainage Area Map Comments:
 1. Clearly show/label existing stormwater infrastructure (i.e. culverts, pipes, inlets, etc.).
 2. Label more index contours.



TBM-1: A "T" SET IN BOX THE NORTHEAST SIDE OF A TRANSMISSION POLE, APPROXIMATELY 1600 FEET SOUTH OF THE INTERSECTION OF US 380 AND NAYLOR ROAD, AND 55 FEET FROM THE EAST LINE OF NAYLOR ROAD.
 TBM-2: A "T" SET IN BOX IN THE SOUTHWEST CORNER OF SONIC PARKING LOT, SONIC IS LOCATED APPROXIMATELY 1100 FEET SOUTHEAST OF THE INTERSECTION OF US 380 AND NAYLOR ROAD.

EXISTING DRAINAGE CALCULATIONS																	
Drainage Area	Area (Ac)	C	Tc (min)	I ₃₀ (in/hr)	I ₆₀ (in/hr)	I ₉₀ (in/hr)	I ₁₅ (in/hr)	I ₃₀ (in/hr)	I ₆₀ (in/hr)	I ₉₀ (in/hr)	Q ₁₅ (cfs)	Q ₃₀ (cfs)	Q ₆₀ (cfs)	Q ₁₀₀ (cfs)	Comments		
A	2.70	0.30	15	3.90	4.85	5.50	6.41	7.14	7.91	3.16	3.93	4.46	5.20	5.79	6.42	SHEET FLOW SOUTHWEST OFFSITE	
B	3.05	0.30	15	3.90	4.85	5.50	6.41	7.14	7.91	3.57	4.44	5.04	5.87	6.54	7.24	SHEET FLOW SOUTH TO TOWN ROW	
C	13.12	0.30	15	3.90	4.85	5.50	6.41	7.14	7.91	15.35	19.09	21.65	25.24	28.11	31.14	SHEET FLOW EAST OFFSITE	
D	13.95	0.30	15	3.90	4.85	5.50	6.41	7.14	7.91	16.32	20.29	23.01	26.82	29.87	33.09	FLOW EAST TO EXISTING STREAM AND OFFSITE	
OS1	0.09	0.45	10	4.71	5.75	6.50	7.55	8.36	9.24	0.20	0.24	0.28	0.32	0.36	0.39	SHEET FLOW SOUTH ONSITE	
OS2	0.58	0.45	10	4.71	5.75	6.50	7.55	8.36	9.24	1.22	1.49	1.68	1.96	2.17	2.39	SHEET FLOW EAST ONSITE	
OS3	0.24	0.45	10	4.71	5.75	6.50	7.55	8.36	9.24	0.51	0.62	0.71	0.82	0.91	1.00	SHEET FLOW EAST ONSITE	
OS4	0.06	0.45	15	3.90	4.85	5.50	6.41	7.14	7.91	0.11	0.14	0.16	0.18	0.20	0.23	SHEET FLOW WEST OFFSITE	
OS5	1.00	0.80	10	4.71	5.75	6.50	7.55	8.36	9.24	3.77	4.60	5.20	6.04	6.68	7.39	OUTFALL SOUTH AND EAST ONSITE	
OS6	3.82	0.80	10	4.71	5.75	6.50	7.55	8.36	9.24	14.39	17.56	19.85	23.06	25.53	28.22	OUTFALL SOUTH ONSITE	
OS7	1.08	0.80	10	4.71	5.75	6.50	7.55	8.36	9.24	4.05	4.95	5.59	6.49	7.19	7.95	OUTFALL SOUTH ONSITE	
OS8	0.92	0.30	15	3.90	4.85	5.50	6.41	7.14	7.91	1.08	1.34	1.52	1.78	1.98	2.19	OUTFALL SOUTH ONSITE	
OS9	1.46	0.30	15	3.90	4.85	5.50	6.41	7.14	7.91	1.71	2.13	2.41	2.81	3.13	3.47	SHEET FLOW SOUTH ONSITE	
OS10	2.13	0.30	15	3.90	4.85	5.50	6.41	7.14	7.91	2.49	3.10	3.52	4.10	4.56	5.06	SHEET FLOW EAST OFFSITE	
OS11	0.47	0.30	15	3.90	4.85	5.50	6.41	7.14	7.91	0.55	0.69	0.78	0.91	1.02	1.12	SHEET FLOW WEST ONSITE	
Total	44.68										68.49	84.62	95.86	111.59	124.04	137.31	

The John R. McAdams Company, Inc.
 111 Hillside Drive
 Lewisville, Texas 75057
 972.435.9712
 201 Country View Drive
 Rockwall, TX 75087
 940.240.1012
 TBPE: 19762 TBPLS: 10194440
 www.mcadams.com

MCADAMS

CROSS ROADS MARKET SQUARE
 Lot 3R2-1, 3R2-2, 3R2-3, 3R2-4, 3R2-5X, & 3R2-6X, Block A
 VOLUNTEER ENTERPRISES ADDITION
 32.836 Acres
 in the
 TOWN OF CROSS ROADS
 DENTON COUNTY, TEXAS

MARCELLA JONES SURVEY, ABSTRACT NO. 662

EXISTING DRAINAGE AREA MAP

PRELIMINARY PLANS
 THIS DOCUMENT IS FOR INTERIM REVIEW AND IS NOT INTENDED FOR CONSTRUCTION, BIDDING, OR PERMIT PURPOSES.
 THE JOHN R. MCADAMS COMPANY, INC.
 TBPE: 19762
 JOSHUA M. BARTON,
 P.E. #129227
 DATE 10/27/2020

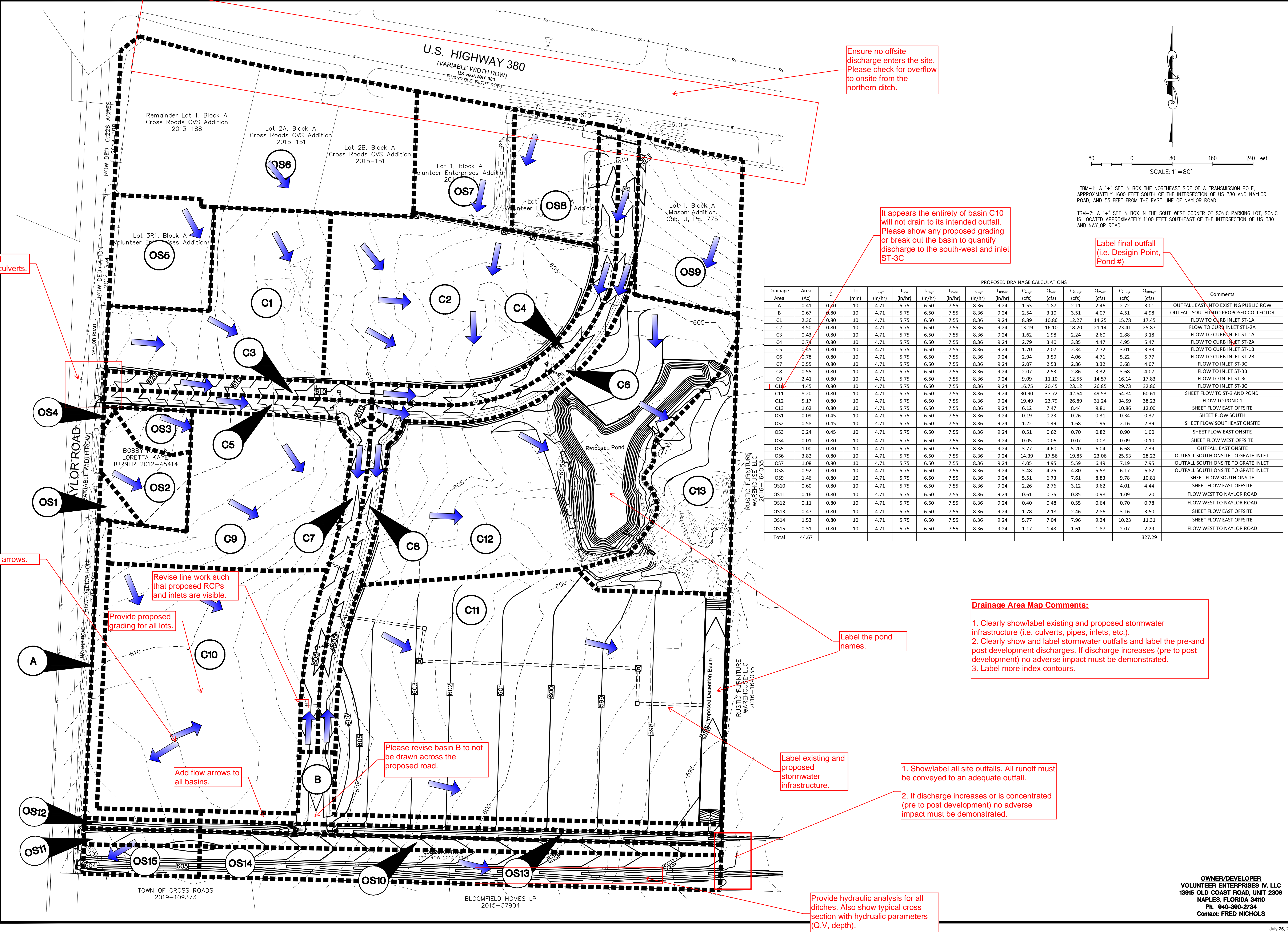
Drawn By: ASC
 Date: 06/01/2020
 Scale: 1"=80'
 Revisions:
 07/13/2020
 08/27/2020
 10/27/2020

SPEC-20046

C3.4

OWNER/DEVELOPER
 VOLUNTEER ENTERPRISES IV, LLC
 1895 OLD COAST ROAD, UNIT 2306
 NAPLES, FLORIDA 34110
 Ph. 840-390-2734
 Contact: FRED NICHOLS

File: W:\Projects\10196-SP10-SP10-20046_Cross_Roads_Infrastructure\Drawings\10196 & 20046_Plan\Sheet\SP10-20046.dwg
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Ensure no offsite discharge enters the site. Please check for overflow to onsite from the northern ditch.

It appears the entirety of basin C10 will not drain to its intended outfall. Please show any proposed grading or break out the basin to quantify discharge to the south-west and inlet ST-3C

Label final outfall (i.e. Design Point, Pond #)

PROPOSED DRAINAGE CALCULATIONS

Drainage Area	Area (Ac)	C	Tc (min)	I _{2yr} (in/hr)	I _{5yr} (in/hr)	I _{10yr} (in/hr)	I _{25yr} (in/hr)	I _{50yr} (in/hr)	I _{100yr} (in/hr)	Q _{2yr} (cfs)	Q _{5yr} (cfs)	Q _{10yr} (cfs)	Q _{25yr} (cfs)	Q _{50yr} (cfs)	Q _{100yr} (cfs)	Comments	
A	0.41	0.80	10	4.71	5.75	6.50	7.55	8.36	9.24	1.53	1.87	2.11	2.46	2.72	3.01	OUTFALL EAST INTO EXISTING PUBLIC ROW	
B	0.67	0.80	10	4.71	5.75	6.50	7.55	8.36	9.24	2.54	3.10	3.51	4.07	4.51	4.98	OUTFALL SOUTH INTO PROPOSED COLLECTOR	
C1	2.36	0.80	10	4.71	5.75	6.50	7.55	8.36	9.24	8.89	10.86	12.27	14.25	15.78	17.45	FLOW TO CURB INLET ST-1A	
C2	3.50	0.80	10	4.71	5.75	6.50	7.55	8.36	9.24	13.19	16.10	18.20	21.14	23.41	25.87	FLOW TO CURB INLET ST-2A	
C3	0.43	0.80	10	4.71	5.75	6.50	7.55	8.36	9.24	1.62	1.98	2.24	2.60	2.88	3.18	FLOW TO CURB INLET ST-1A	
C4	0.74	0.80	10	4.71	5.75	6.50	7.55	8.36	9.24	2.79	3.40	3.85	4.47	4.95	5.47	FLOW TO CURB INLET ST-2A	
C5	0.45	0.80	10	4.71	5.75	6.50	7.55	8.36	9.24	1.70	2.07	2.34	2.72	3.01	3.33	FLOW TO CURB INLET ST-1B	
C6	0.78	0.80	10	4.71	5.75	6.50	7.55	8.36	9.24	2.94	3.59	4.06	4.71	5.22	5.77	FLOW TO CURB INLET ST-2B	
C7	0.55	0.80	10	4.71	5.75	6.50	7.55	8.36	9.24	2.07	2.53	2.86	3.32	3.68	4.07	FLOW TO INLET ST-3C	
C8	0.55	0.80	10	4.71	5.75	6.50	7.55	8.36	9.24	2.07	2.53	2.86	3.32	3.68	4.07	FLOW TO INLET ST-3C	
C9	2.41	0.80	10	4.71	5.75	6.50	7.55	8.36	9.24	9.09	11.10	12.55	14.57	16.14	17.83	FLOW TO INLET ST-3C	
C10	4.45	0.80	10	4.71	5.75	6.50	7.55	8.36	9.24	16.75	20.45	23.12	26.85	29.73	32.86	FLOW TO INLET ST-3C	
C11	8.20	0.80	10	4.71	5.75	6.50	7.55	8.36	9.24	30.90	37.72	42.64	49.53	54.84	60.61	SHEET FLOW TO ST-3 AND POND	
C12	5.17	0.80	10	4.71	5.75	6.50	7.55	8.36	9.24	19.49	23.79	26.89	31.24	34.59	38.23	FLOW TO POND 1	
C13	1.62	0.80	10	4.71	5.75	6.50	7.55	8.36	9.24	6.12	7.47	8.44	9.81	10.86	12.00	SHEET FLOW EAST OFFSITE	
OS1	0.09	0.45	10	4.71	5.75	6.50	7.55	8.36	9.24	0.19	0.23	0.26	0.31	0.34	0.37	SHEET FLOW SOUTH	
OS2	0.58	0.45	10	4.71	5.75	6.50	7.55	8.36	9.24	1.22	1.49	1.68	1.95	2.16	2.39	SHEET FLOW SOUTHWEST ONSITE	
OS3	0.24	0.45	10	4.71	5.75	6.50	7.55	8.36	9.24	0.51	0.62	0.70	0.82	0.90	1.00	SHEET FLOW EAST ONSITE	
OS4	0.01	0.80	10	4.71	5.75	6.50	7.55	8.36	9.24	0.05	0.06	0.07	0.08	0.09	0.10	SHEET FLOW WEST OFFSITE	
OS5	1.00	0.80	10	4.71	5.75	6.50	7.55	8.36	9.24	3.77	4.60	5.20	6.04	6.68	7.39	OUTFALL EAST ONSITE	
OS6	3.82	0.80	10	4.71	5.75	6.50	7.55	8.36	9.24	14.39	17.56	19.85	23.06	25.53	28.22	OUTFALL SOUTH ONSITE TO GRATE INLET	
OS7	1.08	0.80	10	4.71	5.75	6.50	7.55	8.36	9.24	4.05	4.95	5.59	6.49	7.19	7.95	OUTFALL SOUTH ONSITE TO GRATE INLET	
OS8	0.92	0.80	10	4.71	5.75	6.50	7.55	8.36	9.24	3.48	4.25	4.80	5.58	6.17	6.82	OUTFALL SOUTH ONSITE TO GRATE INLET	
OS9	1.46	0.80	10	4.71	5.75	6.50	7.55	8.36	9.24	5.51	6.73	7.61	8.83	9.78	10.81	SHEET FLOW SOUTH ONSITE	
OS10	0.60	0.80	10	4.71	5.75	6.50	7.55	8.36	9.24	2.26	2.76	3.12	3.62	4.01	4.44	SHEET FLOW EAST OFFSITE	
OS11	0.16	0.80	10	4.71	5.75	6.50	7.55	8.36	9.24	0.61	0.75	0.85	0.98	1.09	1.20	FLOW WEST TO NAYLOR ROAD	
OS12	0.11	0.80	10	4.71	5.75	6.50	7.55	8.36	9.24	0.40	0.48	0.55	0.64	0.70	0.78	FLOW WEST TO NAYLOR ROAD	
OS13	0.47	0.80	10	4.71	5.75	6.50	7.55	8.36	9.24	1.78	2.18	2.46	2.86	3.16	3.50	SHEET FLOW EAST OFFSITE	
OS14	1.53	0.80	10	4.71	5.75	6.50	7.55	8.36	9.24	5.77	7.04	7.96	9.24	10.23	11.31	SHEET FLOW EAST OFFSITE	
OS15	0.31	0.80	10	4.71	5.75	6.50	7.55	8.36	9.24	1.17	1.43	1.61	1.87	2.07	2.29	FLOW WEST TO NAYLOR ROAD	
Total	44.67															327.29	

Drainage Area Map Comments:

- Clearly show/label existing and proposed stormwater infrastructure (i.e. culverts, pipes, inlets, etc.).
- Clearly show and label stormwater outfalls and label the pre-and post development discharges. If discharge increases (pre to post development) no adverse impact must be demonstrated.
- Label more index contours.

- Show/label all site outfalls. All runoff must be conveyed to an adequate outfall.
- If discharge increases or is concentrated (pre to post development) no adverse impact must be demonstrated.

Provide hydraulic analysis for all ditches. Also show typical cross section with hydraulic parameters (Q,V, depth).

Show/label proposed culverts.

Fix flow arrows.

Revise line work such that proposed RCPs and inlets are visible.

Provide proposed grading for all lots.

Add flow arrows to all basins.

Please revise basin B to not be drawn across the proposed road.

Label the pond names.

Label existing and proposed stormwater infrastructure.

OWNER/DEVELOPER
 VOLUNTEER ENTERPRISES IV, LLC
 1895 OLD COAST ROAD, UNIT 2306
 NAPLES, FLORIDA 34110
 Ph. 840-390-2734
 Contact: FRED NICHOLS

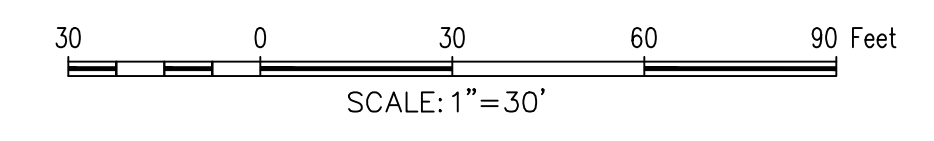
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POND 1
 Detention Computations for Proposed Development
 Town of Cross Roads

	Undeveloped	Developed	Bypass
Area	A= 12.779 AC	12.982 AC	1.623
Runoff Coefficient	C= 0.30	0.80	0.80
Time of Concentration	Tc= 15.0 MIN	10.0 MIN	10.0
Rainfall Intensity	I100= 7.91 IN/HR	9.24 IN/HR	9.24
Peak Rate of Runoff	Q100= 30.3 CFS	96.0 CFS	12.0
Allowable Outflow	Q100= 18.3 CFS		

Tc	I100	Q100	Inflow	Outflow	Storage	Required
MIN	IN/HR	CFS	CF	CF	AC-FT	AC-FT
5	11.23	116.6	34,989	8,246	26,743	0.614
10	9.24	96.0	57,578	10,995	46,583	1.069
15	7.91	82.2	73,935	13,743	60,192	1.382
20	6.96	72.3	86,741	16,492	70,249	1.613
30	5.66	58.8	105,809	21,990	83,819	1.924
40	4.82	50.1	120,141	27,487	92,654	2.127
50	4.22	43.8	131,482	32,984	98,498	2.261
60	3.77	39.2	140,954	38,482	102,472	2.352
70	3.41	35.4	148,743	43,979	104,764	2.405
80	3.13	32.5	156,034	49,477	106,557	2.446
90	2.89	30.0	162,078	54,974	107,104	2.459

Please provide details regarding bypass flow.



TBM-1: A "T" SET IN BOX THE NORTHEAST SIDE OF A TRANSMISSION POLE, APPROXIMATELY 1600 FEET SOUTH OF THE INTERSECTION OF US 380 AND NAYLOR ROAD, AND 55 FEET FROM THE EAST LINE OF NAYLOR ROAD.

TBM-2: A "T" SET IN BOX IN THE SOUTHWEST CORNER OF SONIC PARKING LOT, SONIC IS LOCATED APPROXIMATELY 1100 FEET SOUTHEAST OF THE INTERSECTION OF US 380 AND NAYLOR ROAD.

GENERAL NOTES

- THE CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND DEPTHS OF EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION AND TAKES RISK OF UNKNOWN CONDITIONS.
- ALL UTILITY SLEEVES MUST BE INSTALLED BEFORE PAVING CAN BEGIN.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL PUBLIC UTILITIES DURING THE CONSTRUCTION OF THIS PROJECT. ALL MANHOLES, CLEANOUTS, VALVE BOXES, FIRE HYDRANTS, ECT. MUST BE ADJUSTED TO PROPER LINE AND GRADE BY THE CONTRACTOR PRIOR TO AND AFTER PLACING OF PERMANENT PAVING.

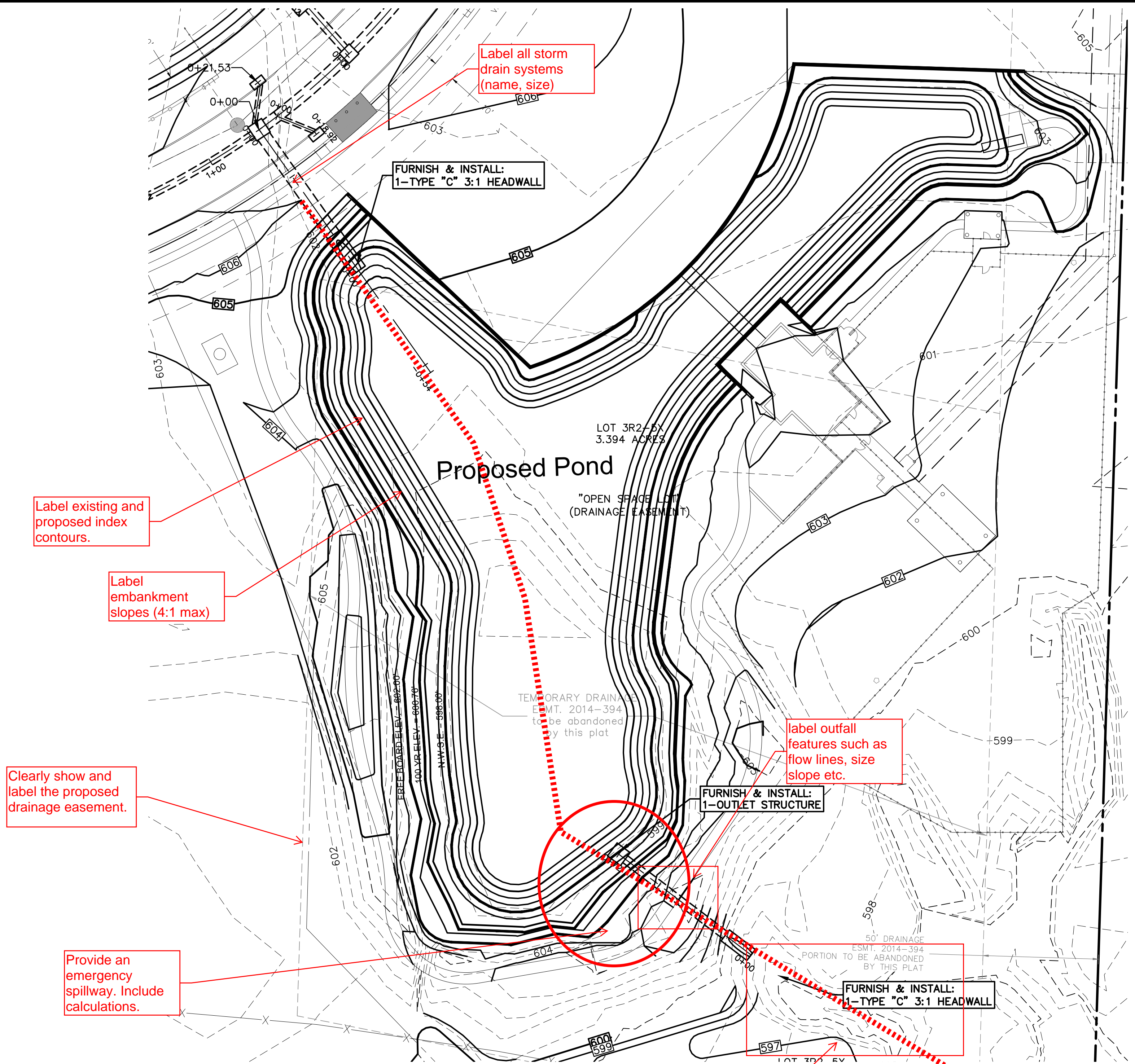
Year	Allowed (cfs)	Proposed Q (cfs)	Pond Elev. (ft.)	Outlet Elev. (ft.)	Height (ft.)	Storage (Ac-ft)
5	43.9	92.4	599.79	598.00	1.79	1.44
10	49.7	96.4	600.00	598.00	2.00	1.68
25	57.8	102.0	600.28	598.00	2.28	2.01
50	64.2	106.3	600.51	598.00	2.51	2.31
100	71.1	111.0	600.76	598.00	2.76	2.62

Wp = Wetted Perimeter
 A = area
 h = height
 w = width (ft)
 s = slope

Wp = 2h + w
 A = h(w)
 R = A/Wp
 Q = 1.49/h(A)(R^{2/3})s^{1/2}

Storm	w	h	n	s	Wp	A	R	Q
5-YR Storm	3.156	1.79	0.013	0.0050	6.74	5.649	0.839	40.72
10-YR Storm	3.156	2.00	0.013	0.0050	7.16	6.312	0.882	47.05
25-YR Storm	3.156	2.28	0.013	0.0050	7.72	7.196	0.933	55.67
50-YR Storm	3.156	2.51	0.013	0.0050	8.18	7.922	0.969	62.86
100-YR Storm	3.156	2.76	0.013	0.0050	8.68	8.711	1.004	70.78

Also provide calcs for the 2-year.



Label existing and proposed index contours.

Label embankment slopes (4:1 max)

Clearly show and label the proposed drainage easement.

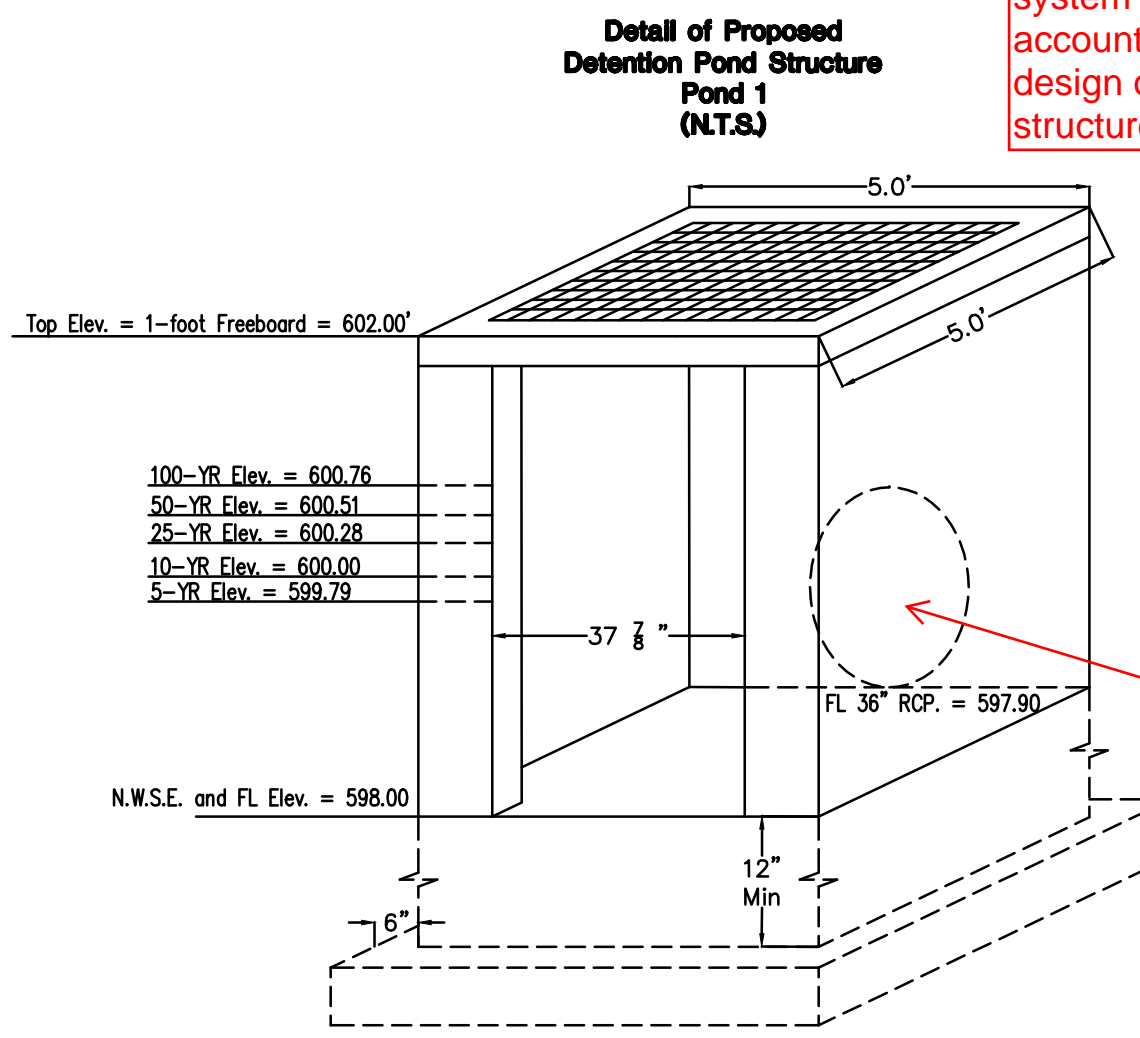
Provide an emergency spillway. Include calculations.

label outfall features such as flow lines, size slope etc.

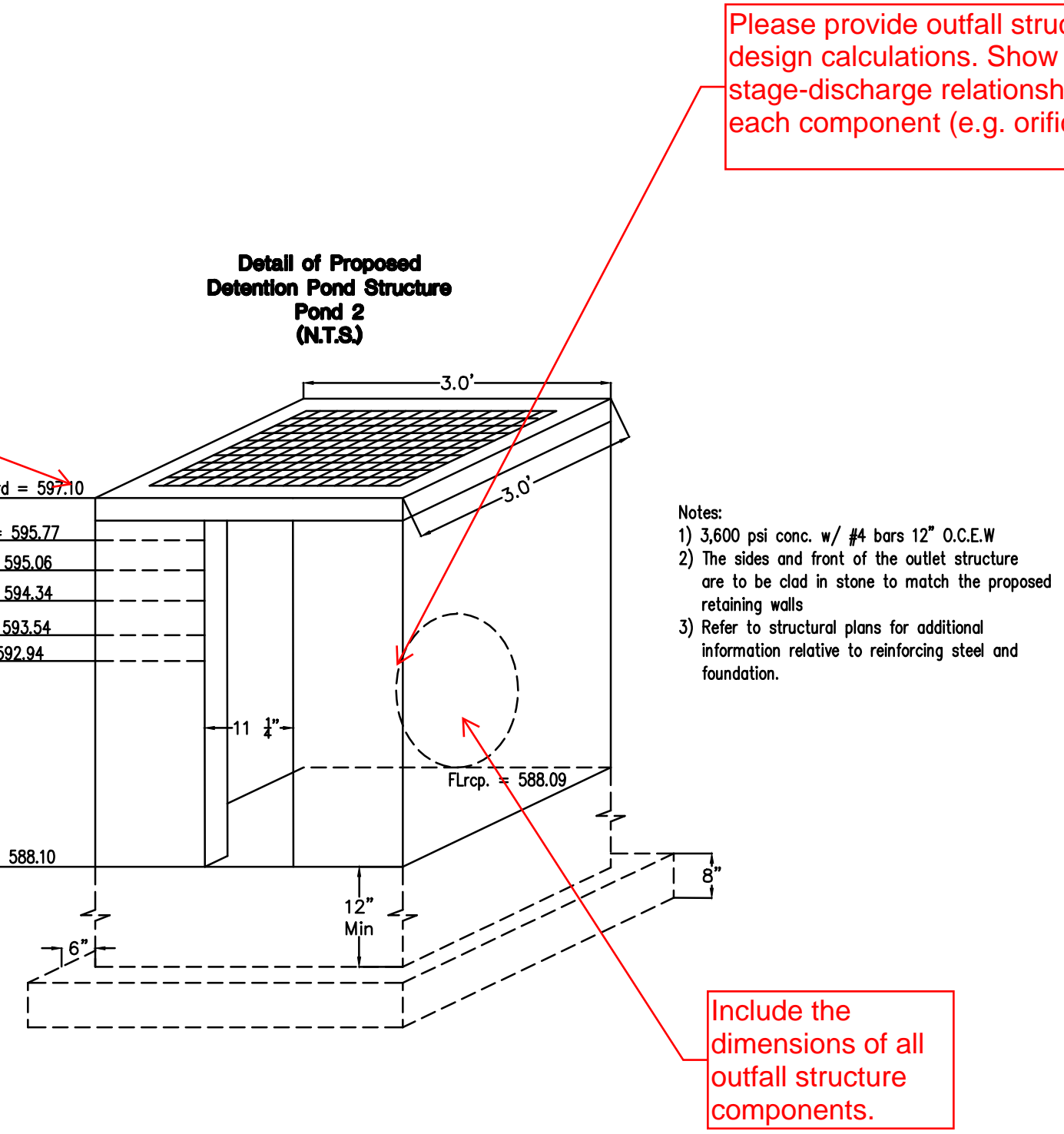
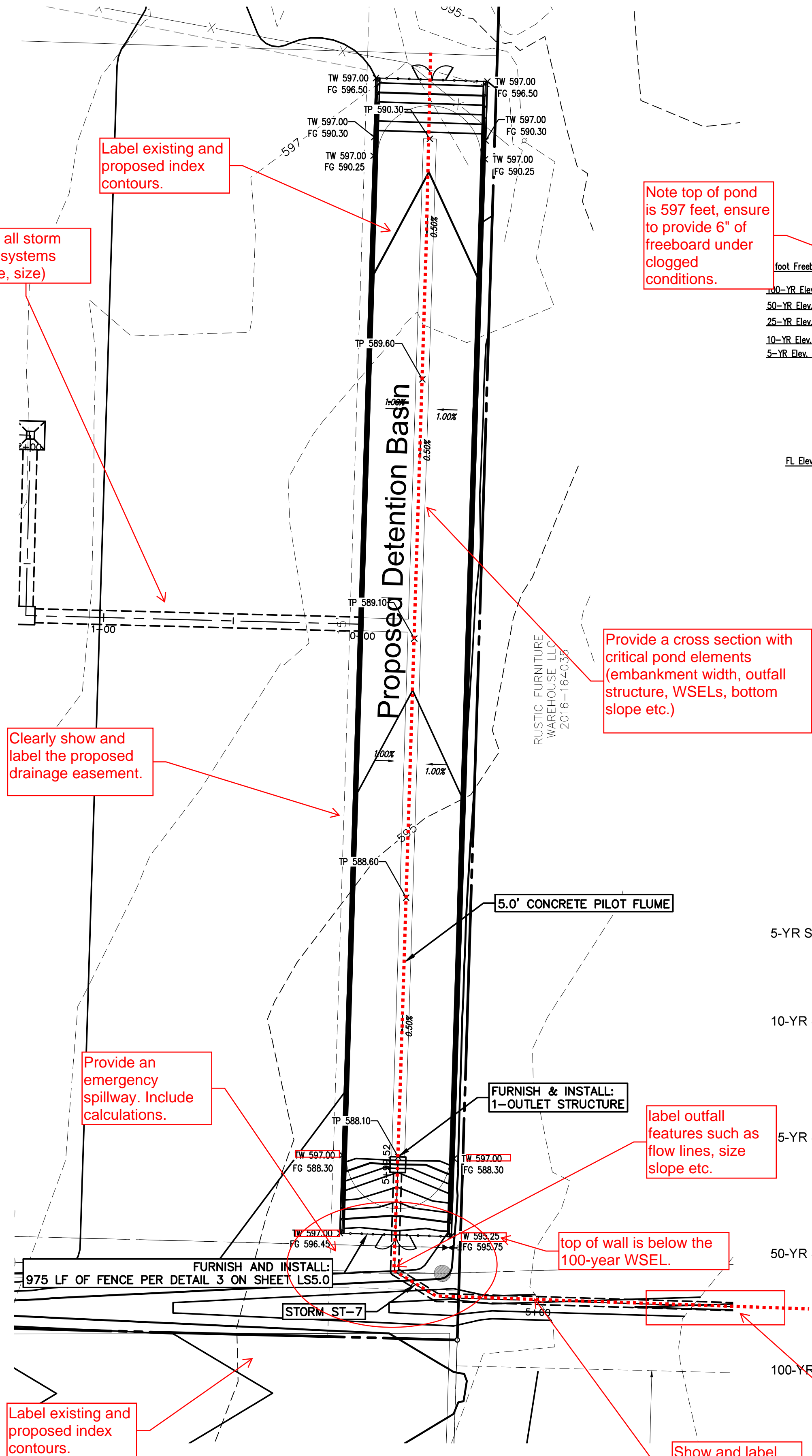
Please note that the tailwater of the receiving system must be accounted for in the design of the outfall structure.

Provide a cross section with critical pond elements (embankment width, outfall structure, WSELs, bottom slope etc.)

Please provide outfall structure design calculations. Show the stage-discharge relationship for each component (e.g. orifice, weir)



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Year	Allowed (cfs)	Proposed Q (cfs)	Pond Elev. (ft.)	Outlet Elev. (ft.)	Height (ft.)	Storage (Ac-ft)
5	20.95	76.67	592.94	588.10	4.84	1.43
10	23.77	86.69	593.54	588.10	5.44	1.67
25	27.71	100.69	594.34	588.10	6.24	2.00
50	30.88	111.50	595.06	588.10	6.96	2.30
100	34.19	123.22	595.77	588.10	7.67	2.60

Storm	w	h	n	s	Wp	A	R	Q	Storage
5-YR Storm	0.938	4.84	0.013	0.0050	10.62	4.540	0.428	20.88	20.95 cfs
10-YR Storm	0.938	5.44	0.013	0.0050	11.82	5.103	0.432	23.62	23.77 cfs
50-YR Storm	0.938	6.24	0.013	0.0050	13.42	5.853	0.436	27.28	27.71 cfs
100-YR Storm	0.938	6.96	0.013	0.0050	14.86	6.528	0.439	30.58	30.88 cfs
5-YR Storm	0.938	4.84	0.013	0.0050	10.62	4.540	0.428	20.88	20.95 cfs
10-YR Storm	0.938	5.44	0.013	0.0050	11.82	5.103	0.432	23.62	23.77 cfs
50-YR Storm	0.938	6.24	0.013	0.0050	13.42	5.853	0.436	27.28	27.71 cfs
100-YR Storm	0.938	6.96	0.013	0.0050	14.86	6.528	0.439	30.58	30.88 cfs

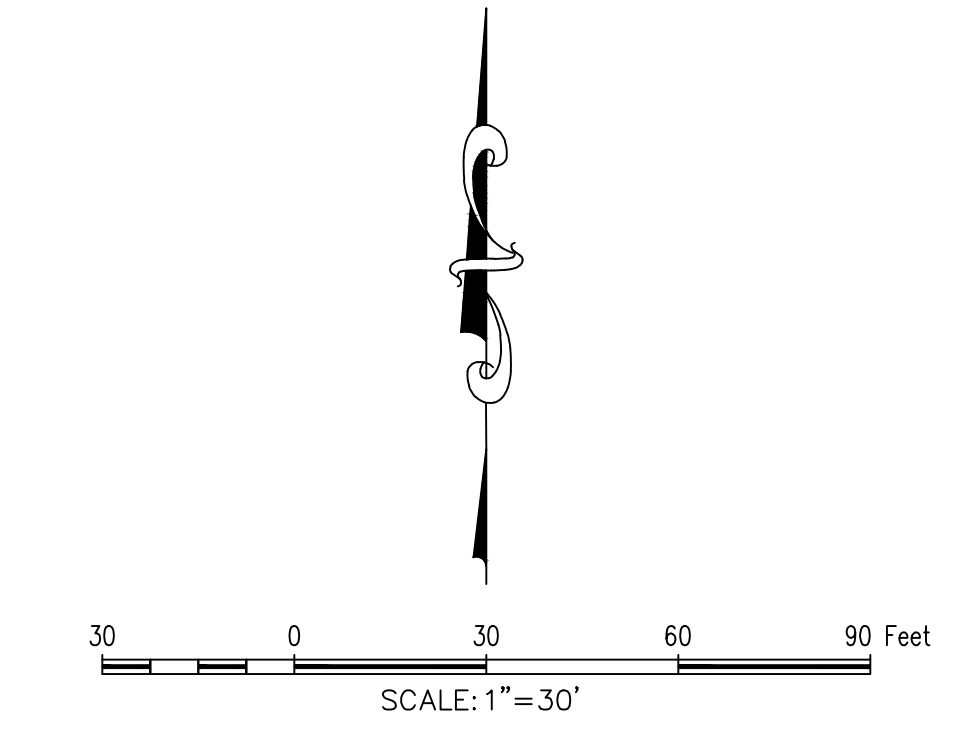
Pond 2

Detention Computations for Proposed Development

Town of Cross Roads

	Undeveloped	Developed	Bypass
Area	A= 15.048 AC	16.158 AC	1.147
Runoff Coefficient	C= 0.30	0.80	0.50
Time of Concentration	Tc= 15.0 MIN	10.0 MIN	10.0
Rainfall Intensity	I100= 7.91 IN/HR	9.24 IN/HR	9.24
Peak Rate of Runoff	Q100= 35.7 CFS	119.4 CFS	5.3
Allowable Outflow		30.4 CFS	

Tc	I100	Q100	Inflow	Outflow	Storage	Required
MIN	IN/HR	CFS	CF	CF	AC-FT	AC-FT
5	11.23	145.2	43,549	13,684	29,865	0.686
10	9.24	119.4	71,664	18,245	53,419	1.226
15	7.91	102.2	92,023	22,806	69,216	1.589
20	6.96	90.0	107,961	27,368	80,593	1.850
30	5.66	73.2	131,694	36,490	95,204	2.186
40	4.82	62.3	149,532	45,613	103,920	2.386
50	4.22	54.5	163,648	54,735	108,913	2.500
60	3.77	48.7	175,437	63,858	111,579	2.561
70	3.41	44.1	185,132	72,981	112,151	2.575
80	3.13	40.5	194,206	82,103	112,103	2.574
90	2.89	37.4	201,729	91,226	110,503	2.537



TBM-1: A "x" SET IN BOX THE NORTHEAST SIDE OF A TRANSMISSION POLE, APPROXIMATELY 1600 FEET SOUTH OF THE INTERSECTION OF US 380 AND NAYLOR ROAD, AND 55 FEET FROM THE EAST LINE OF NAYLOR ROAD.

TBM-2: A "x" SET IN BOX IN THE SOUTHWEST CORNER OF SONIC PARKING LOT, SONIC IS LOCATED APPROXIMATELY 1100 FEET SOUTHEAST OF THE INTERSECTION OF US 380 AND NAYLOR ROAD.

GENERAL NOTES

- THE CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND DEPTHS OF EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION AND TAKES RISK OF UNKNOWN CONDITIONS.
- ALL UTILITY SLEEVES MUST BE INSTALLED BEFORE PAVING CAN BEGIN.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL PUBLIC UTILITIES DURING THE CONSTRUCTION OF THIS PROJECT. ALL MANHOLES, CLEANOUTS, VALVE BOXES, FIRE HYDRANTS, ECT. MUST BE ADJUSTED TO PROPER LINE AND GRADE BY THE CONTRACTOR PRIOR TO AND AFTER PLACING OF PERMANENT PAVING.

Please provide details regarding bypass flow.

The John R. McAdams Company, Inc.
 111 Hillside Drive
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 972.435.9712
 201 Country View Drive
 Rockwall, TX 75087
 940.240.1012
 TBPE: 19762 TBPLS: 10194440
 www.mcadamsco.com

CROSS ROADS MARKET SQUARE
 Lot 3R2-1, 3R2-2, 3R2-3, 3R2-4, 3R2-5X, & 3R2-6X
 Block A
 VOLUNTEER ENTERPRISES ADDITION
 32.836 Acres
 in the
 MARCELLA JONES SURVEY, ABSTRACT NO. 662
 TOWN OF CROSS ROADS
 DENTON COUNTY, TEXAS

DETENTION BASIN 2 PLAN AND DETAILS

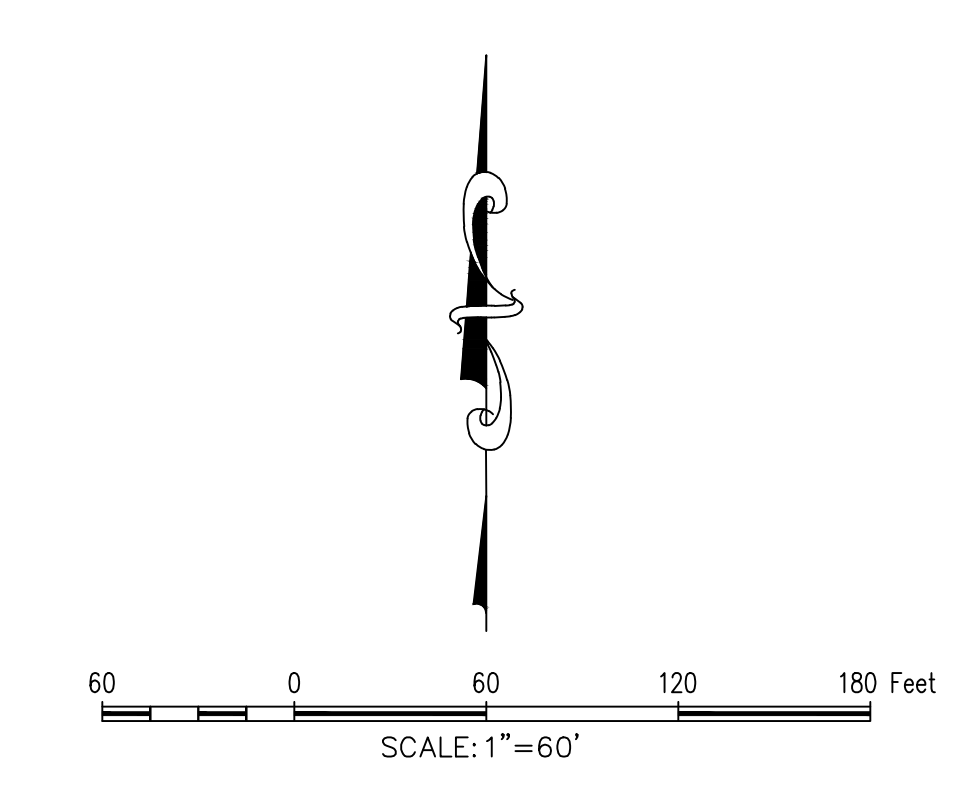
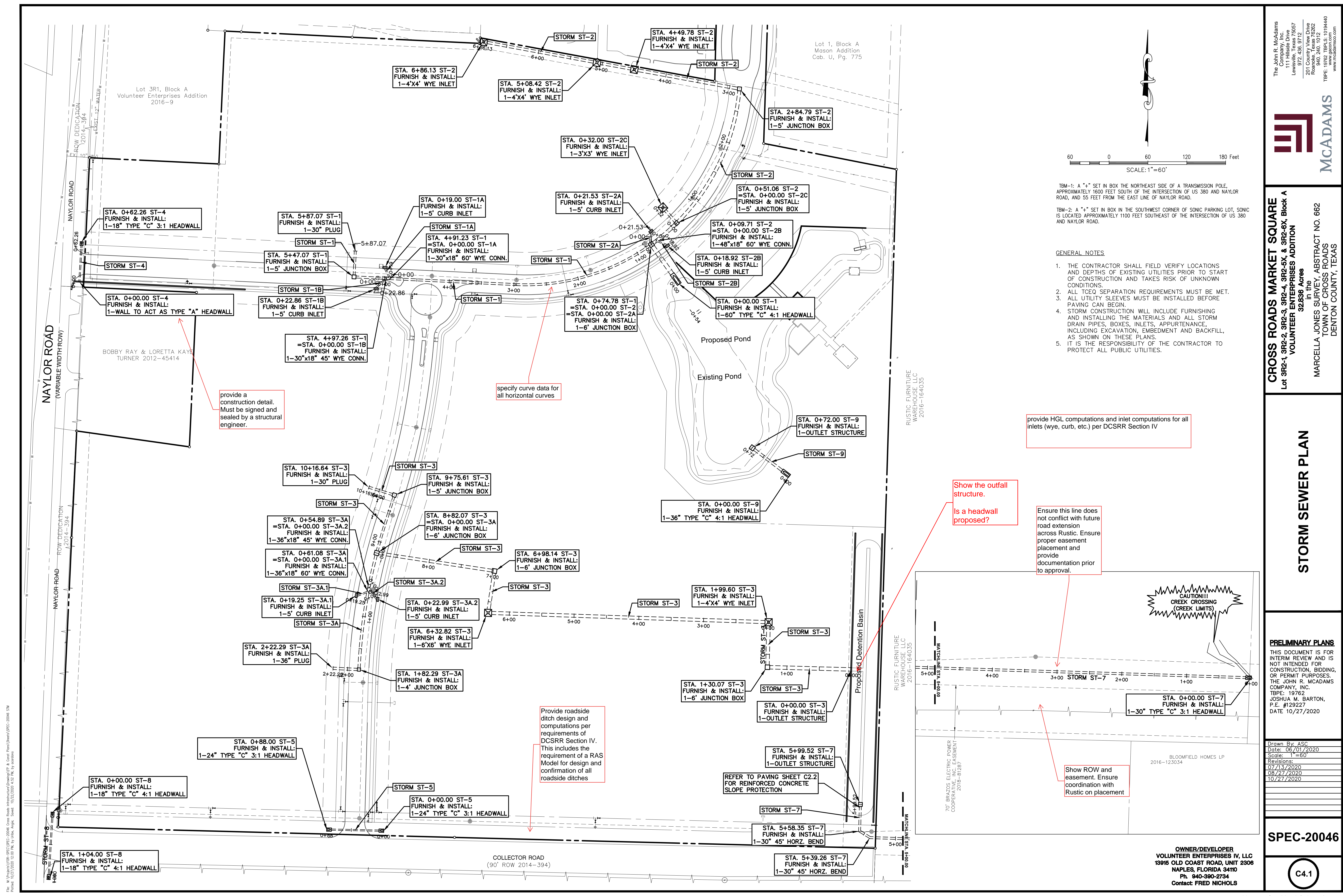
PRELIMINARY PLANS
 THIS DOCUMENT IS FOR INTERIM REVIEW AND IS NOT INTENDED FOR CONSTRUCTION, BIDDING, OR PERMIT PURPOSES.
 THE JOHN R. MCADAMS COMPANY, INC.
 TBPE: 19762
 JOSHUA M. BARTON,
 P.E. #129227
 DATE 10/27/2020

Drawn By: AR
Date: 06/01/2020
Scale: 1"=30'
Revisions:
07/13/2020
08/27/2020
10/27/2020

SPEC-20046

C.3.7

OWNER/DEVELOPER
 VOLUNTEER ENTERPRISES IV, LLC
 1895 OLD COAST ROAD, UNIT 2306
 NAPLES, FLORIDA 34110
 Ph. 940-390-2734
 Contact: FRED NICHOLS



TBM-1: A "T" SET IN BOX THE NORTHEAST SIDE OF A TRANSMISSION POLE, APPROXIMATELY 1600 FEET SOUTH OF THE INTERSECTION OF US 380 AND NAYLOR ROAD, AND 55 FEET FROM THE EAST LINE OF NAYLOR ROAD.

TBM-2: A "T" SET IN BOX IN THE SOUTHWEST CORNER OF SONIC PARKING LOT, SONIC IS LOCATED APPROXIMATELY 1100 FEET SOUTHEAST OF THE INTERSECTION OF US 380 AND NAYLOR ROAD.

- GENERAL NOTES**
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 2. ALL TCEQ SEPARATION REQUIREMENTS MUST BE MET.
 3. ALL UTILITY SLEEVES MUST BE INSTALLED BEFORE PAVING CAN BEGIN.
 4. STORM CONSTRUCTION WILL INCLUDE FURNISHING AND INSTALLING THE MATERIALS AND ALL STORM DRAIN PIPES, BOXES, INLETS, APPURTENANCE, INCLUDING EXCAVATION, EMBEDMENT AND BACKFILL, AS SHOWN ON THESE PLANS.
 5. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL PUBLIC UTILITIES.

provide HGL computations and inlet computations for all inlets (wye, curb, etc.) per DCSRR Section IV

Show the outfall structure.
Is a headwall proposed?

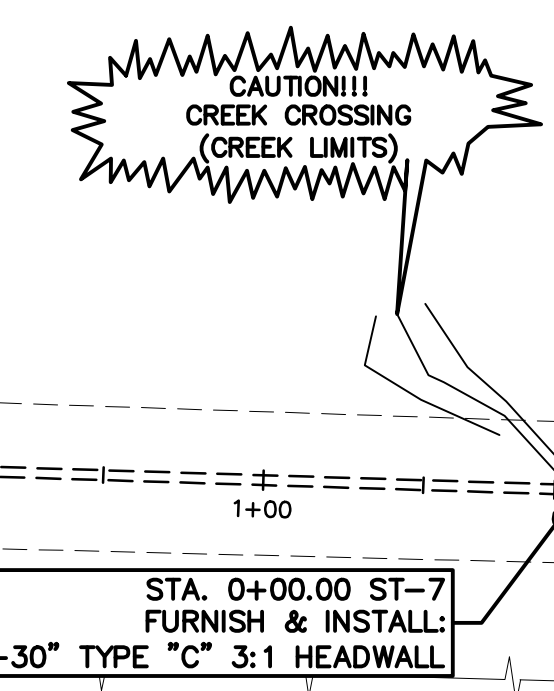
Ensure this line does not conflict with future road extension across Rustic. Ensure proper easement placement and provide documentation prior to approval.

Show ROW and easement. Ensure coordination with Rustic on placement

RUSTIC FURNITURE WAREHOUSE, LLC 2016-164035

RUSTIC FURNITURE WAREHOUSE, LLC 2016-164035

70' BRAZOS ELECTRIC POWER COOPERATIVE, INC. EASEMENT 2016-81287



BLOOMFIELD HOMES LP 2016-123034

OWNER/DEVELOPER
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MCADAMS

CROSS ROADS MARKET SQUARE

CROSS ROADS MARKET SQUARE
Lot 3R2-1, 3R2-2, 3R2-3, 3R2-4, 3R2-5X, & 3R2-6X, Block A
VOLUNTEER ENTERPRISES ADDITION
32.896 Acres
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TOWN OF CROSS ROADS
DENTON COUNTY, TEXAS

STORM SEWER PLAN

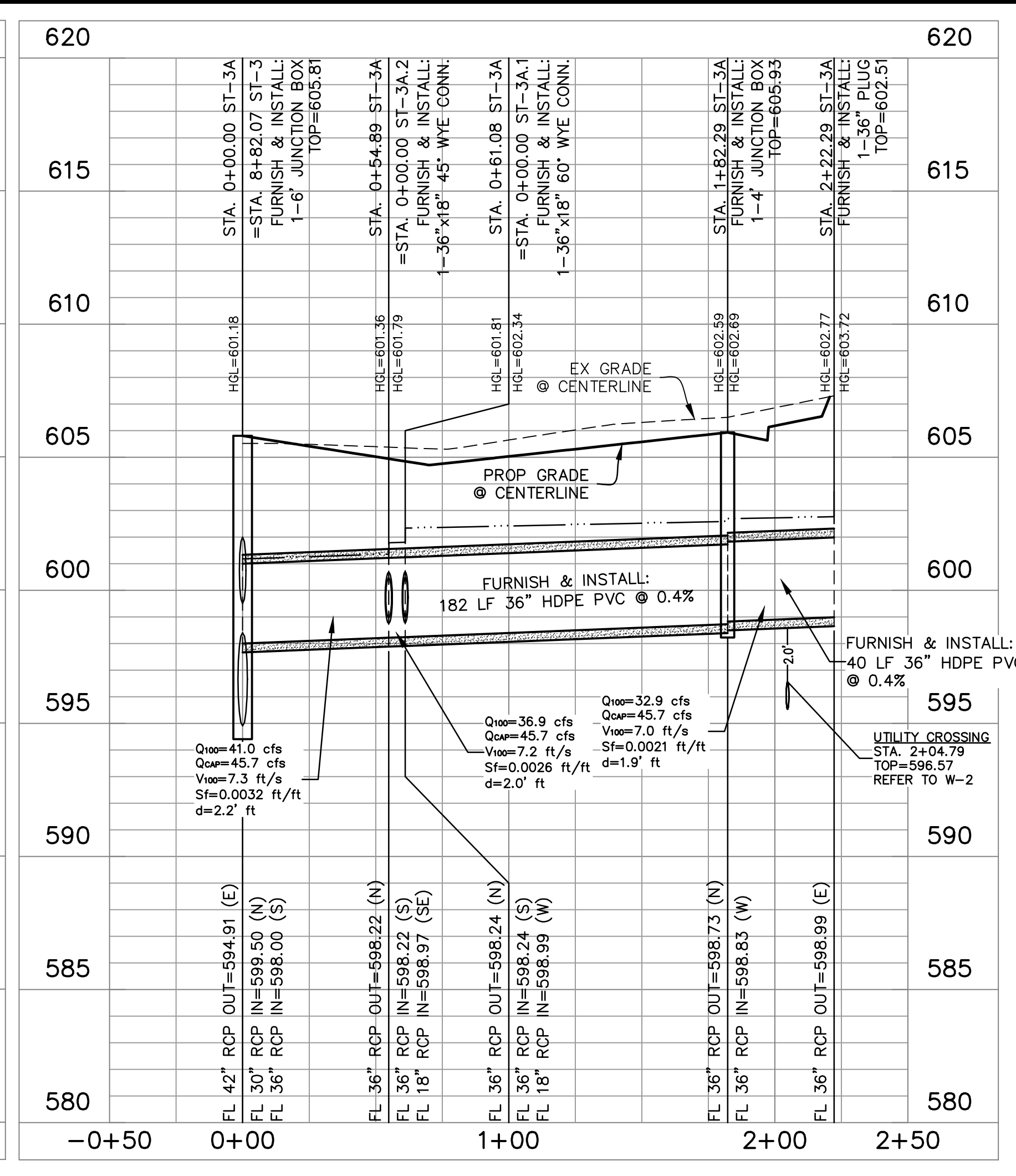
PRELIMINARY PLANS
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Date:	06/01/2020
Scale:	1"=60'
Revisions:	
	07/13/2020
	08/27/2020
	10/27/2020

SPEC-20046

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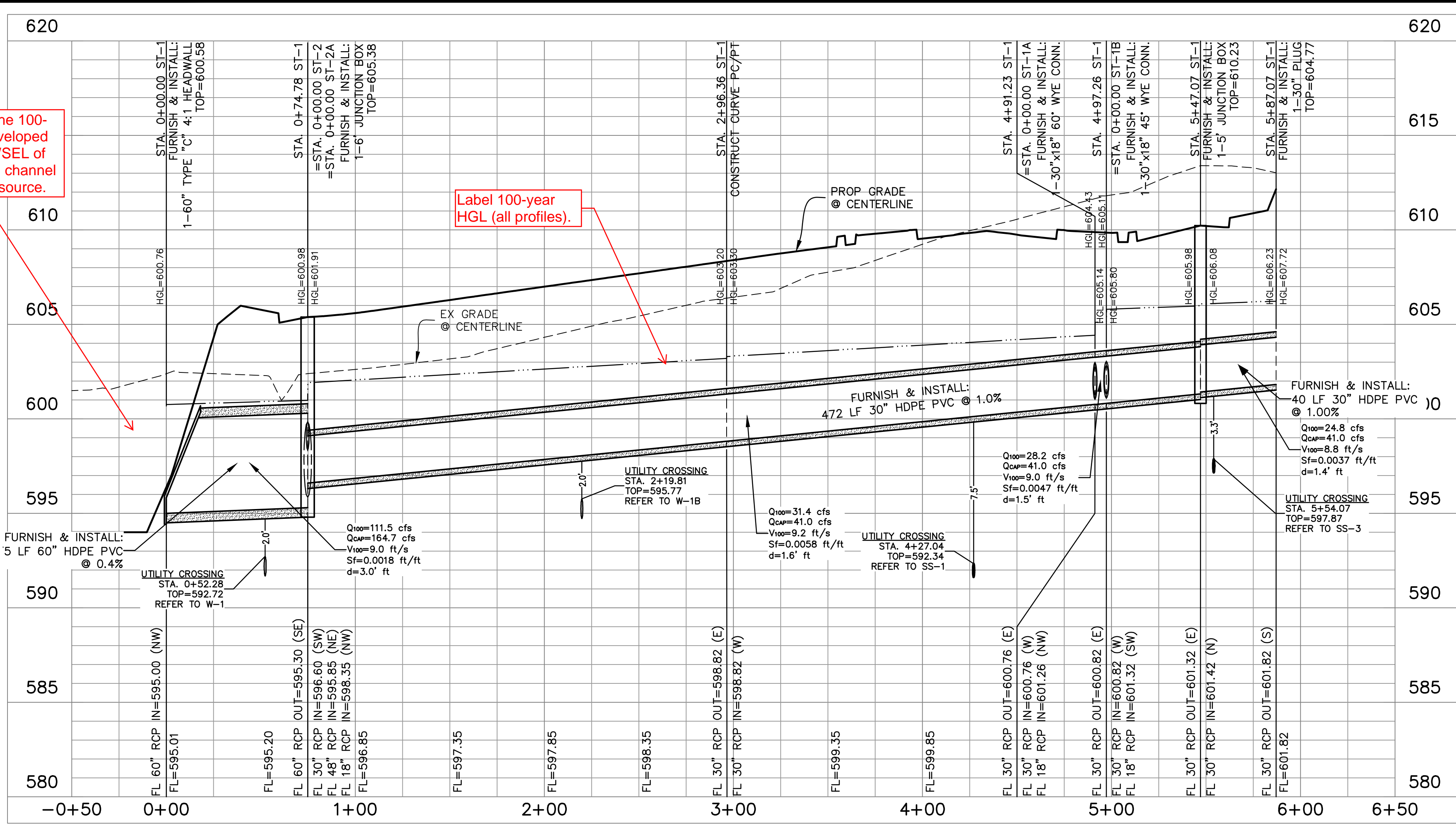


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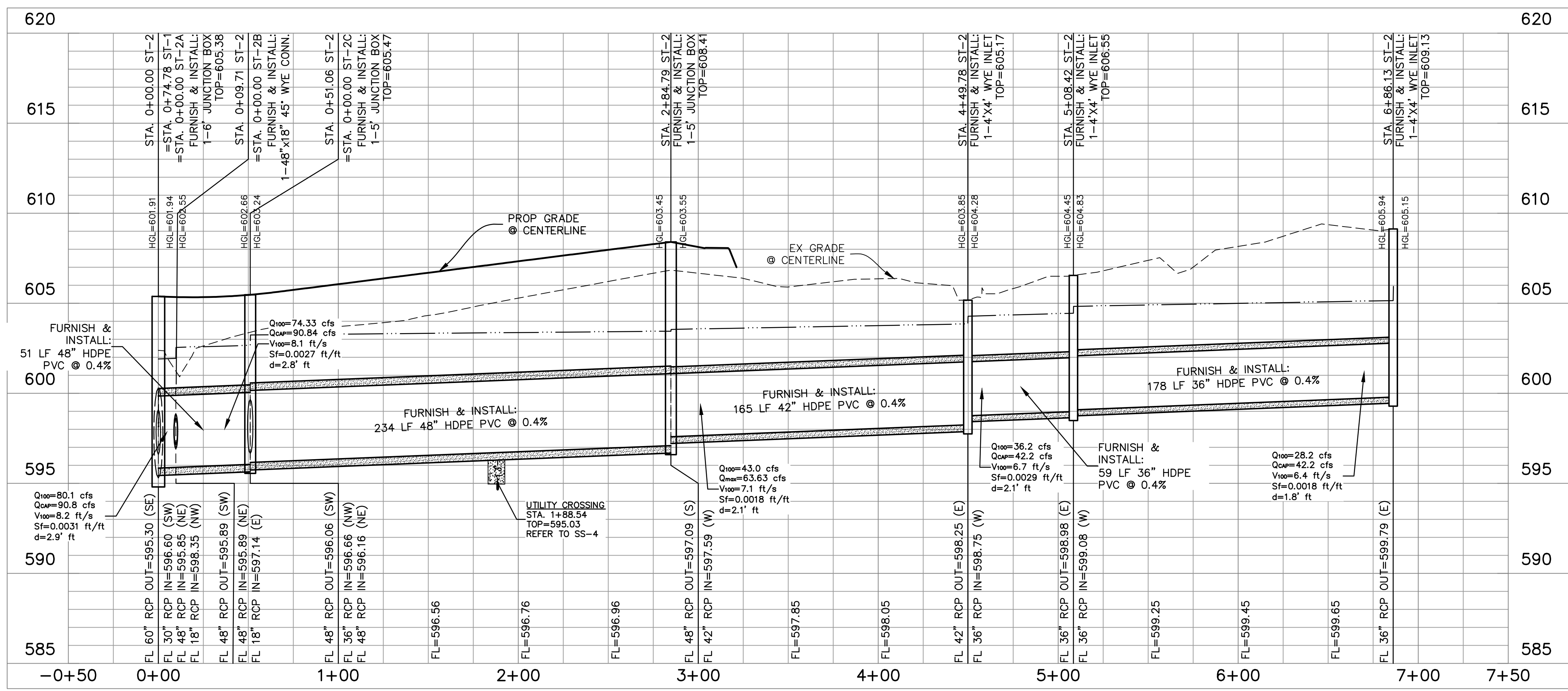
GENERAL NOTES

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6. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL PUBLIC UTILITIES.

Provide all culvert profiles and culvert computations per DSCRR Section IV. Includes ST-4, ST-5, and ST-8



STORM SEWER ST-1

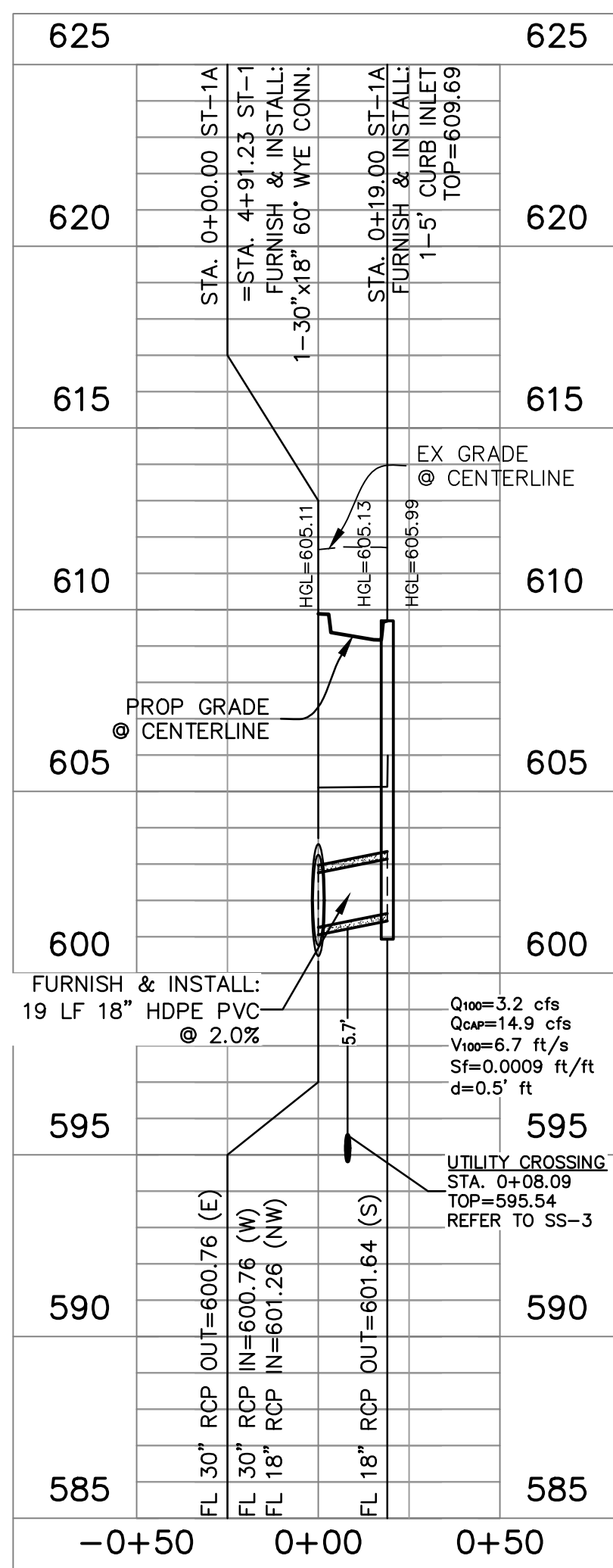


STORM SEWER ST-2

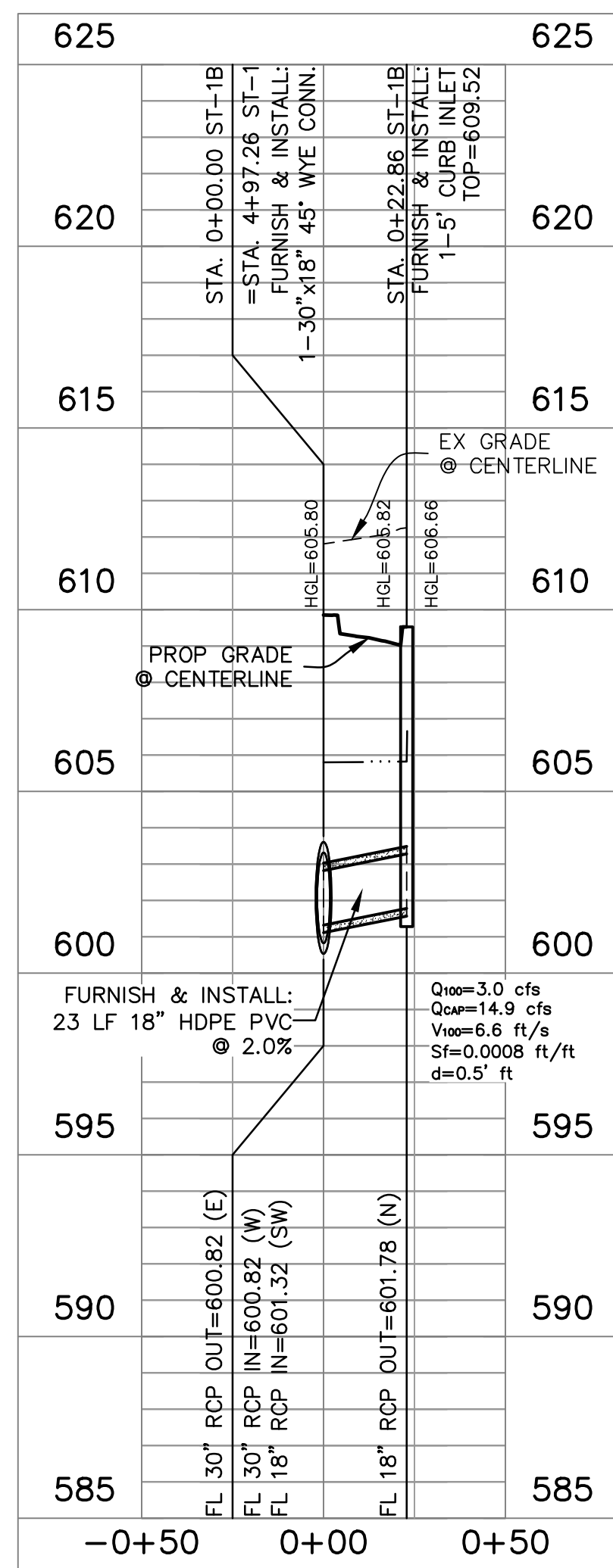
Show/label the 100-year fully developed conditions WSEL of the receiving channel and provide source.

Label 100-year HGL (all profiles).

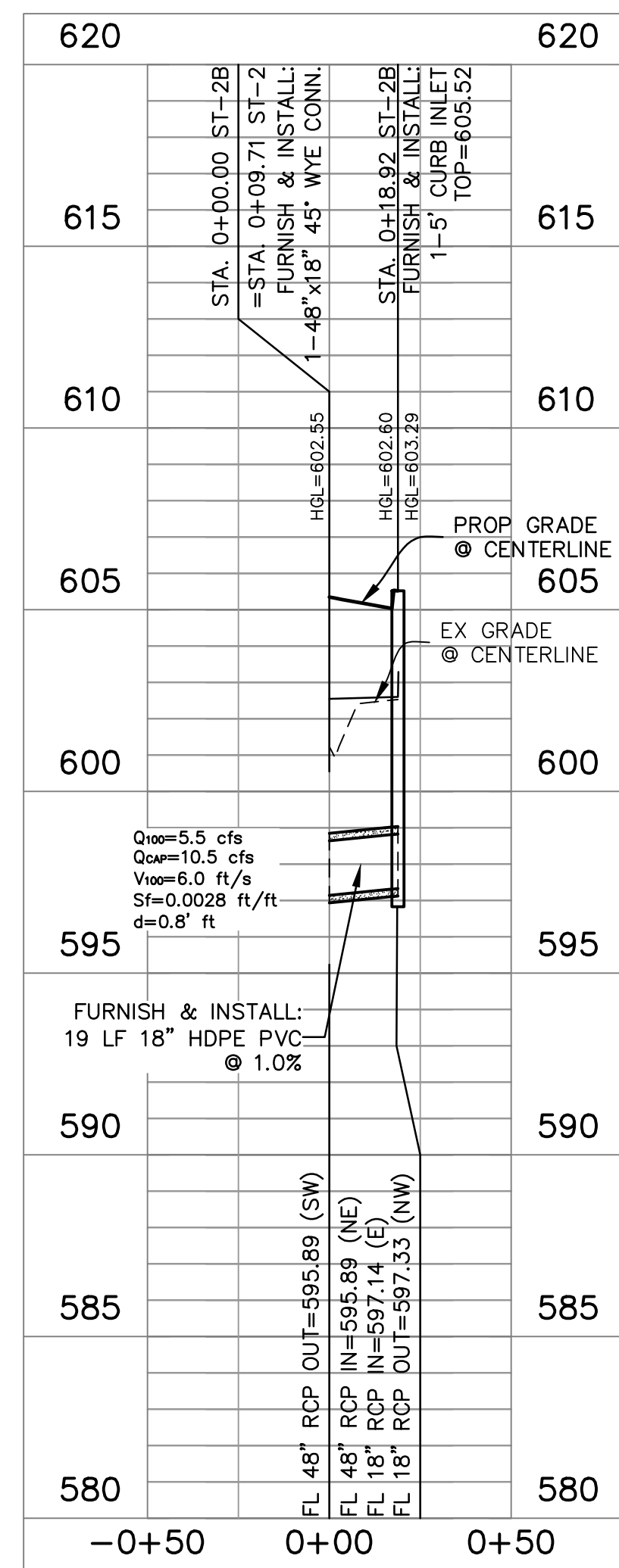
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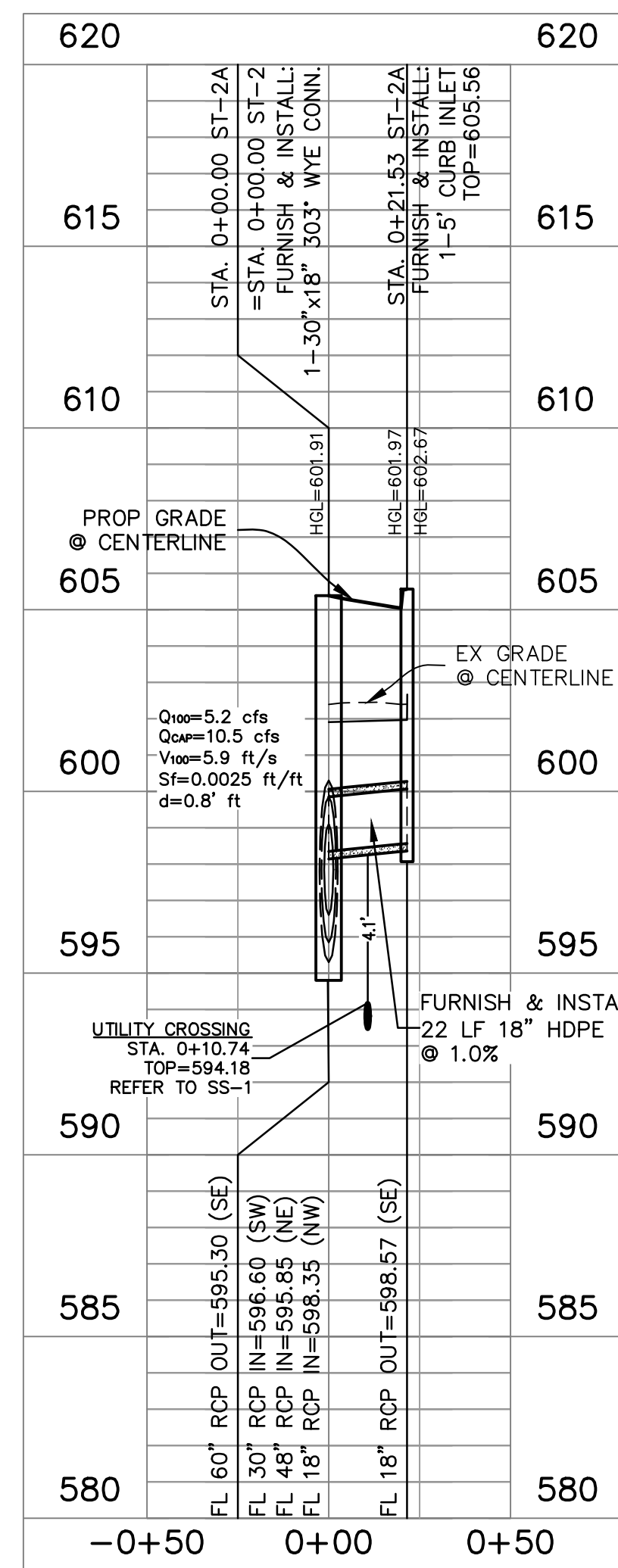
STORM SEWER ST-1A



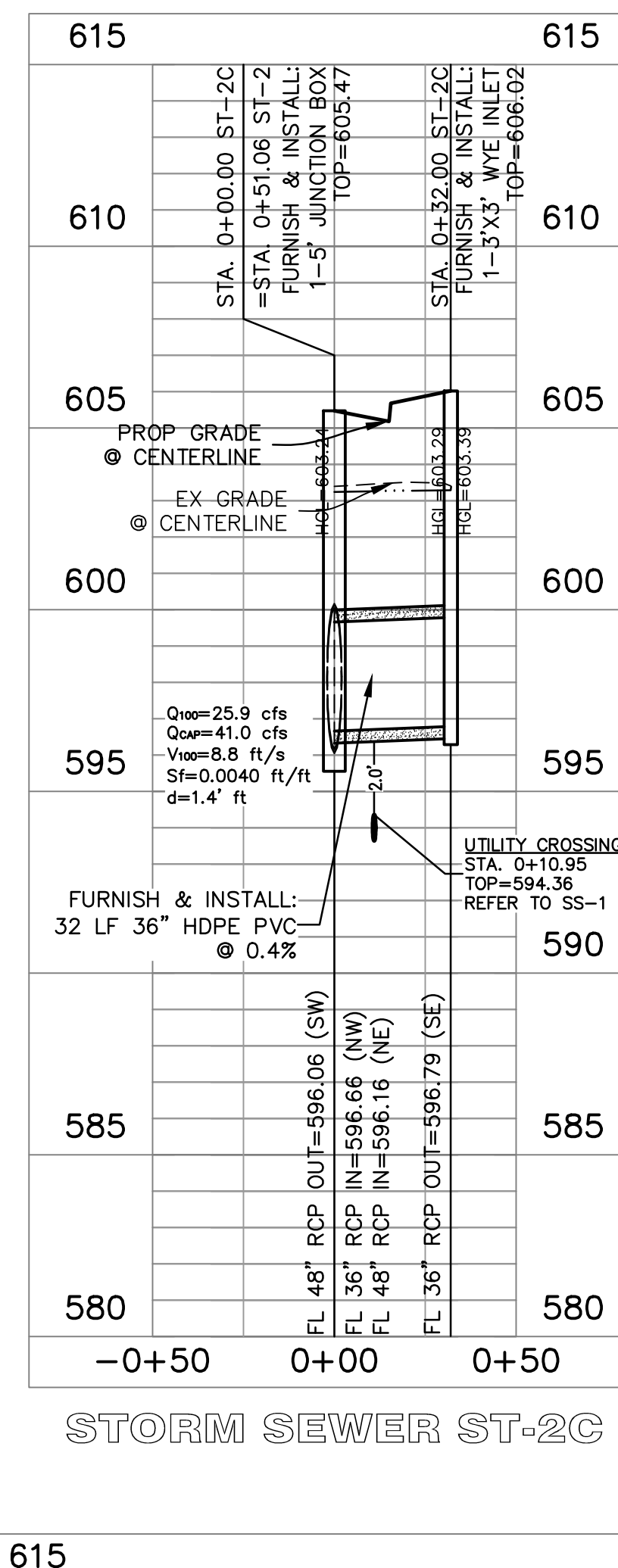
STORM SEWER ST-1B



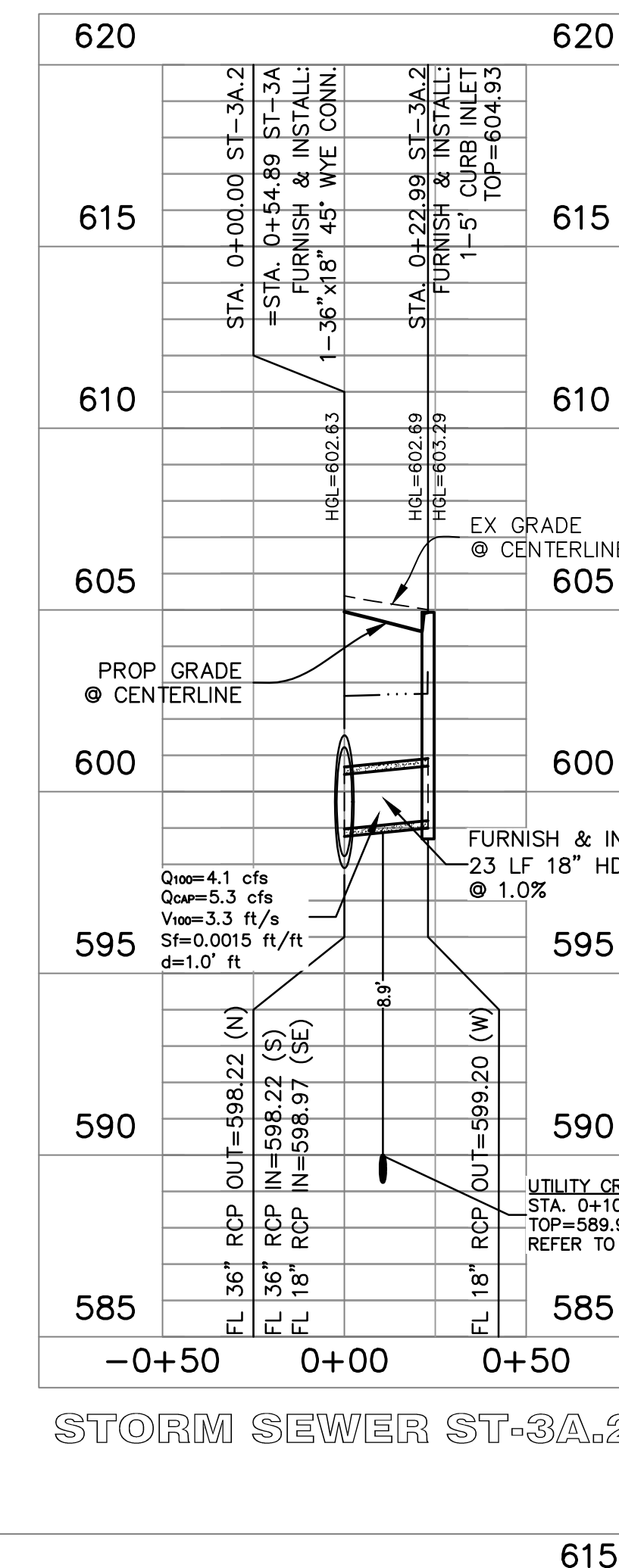
STORM SEWER ST-2B



STORM SEWER ST-2A

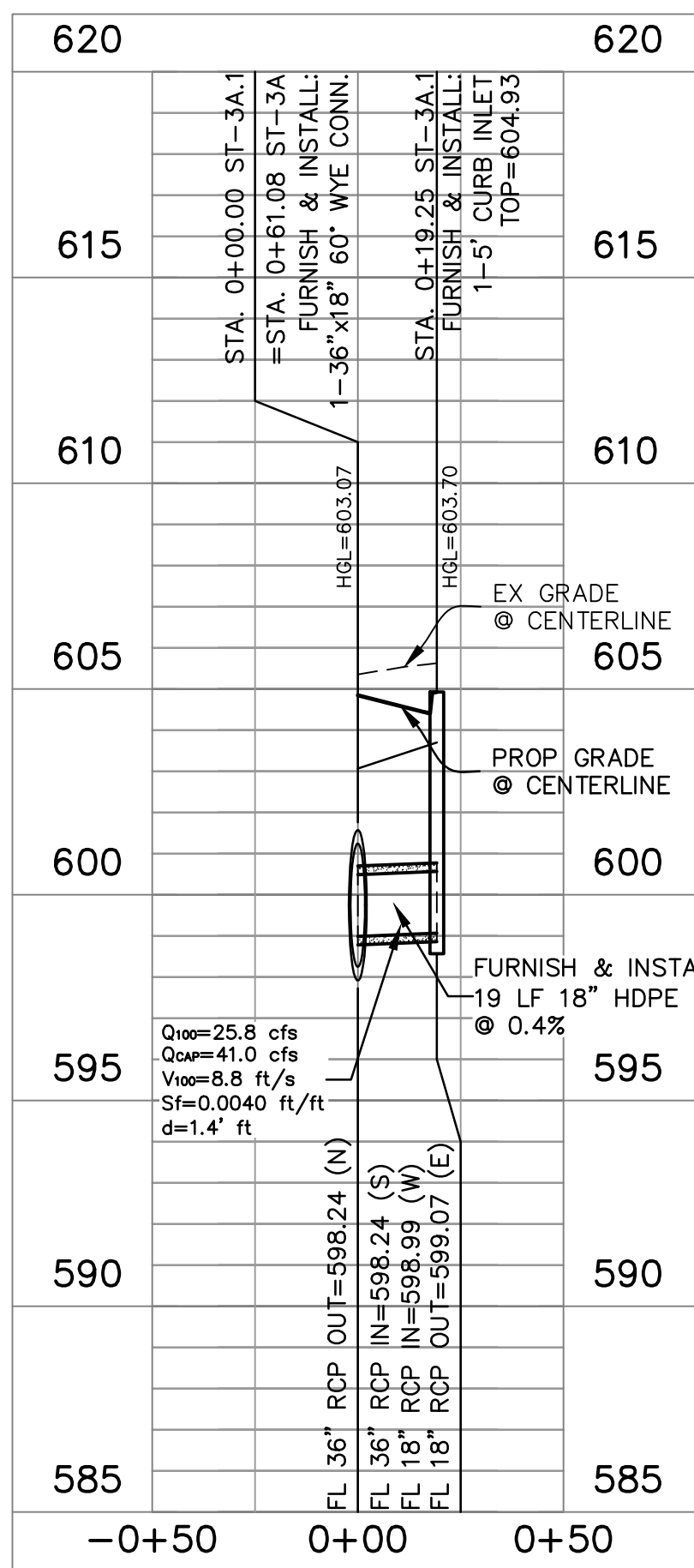


STORM SEWER ST-2C

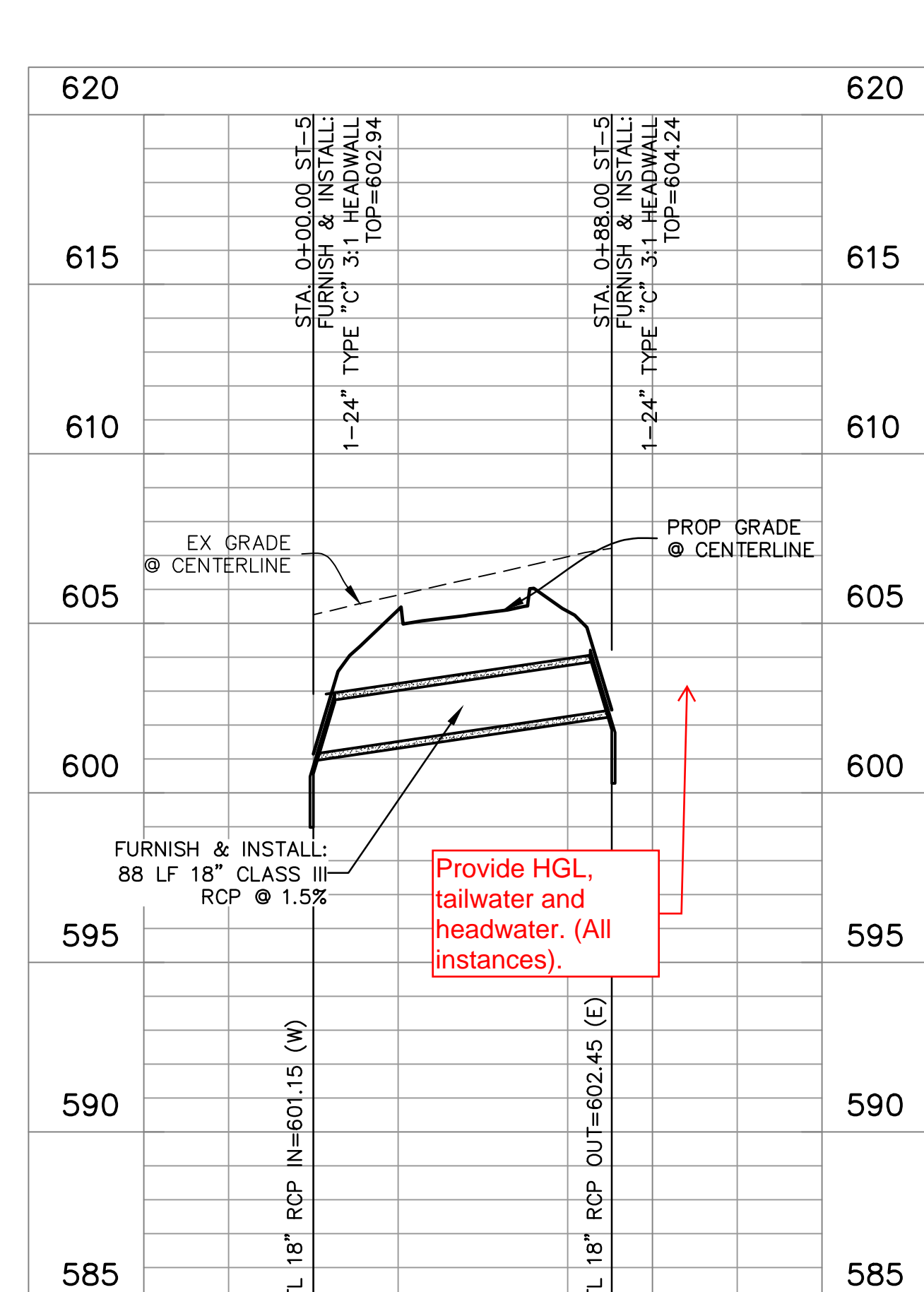


STORM SEWER ST-3A.2

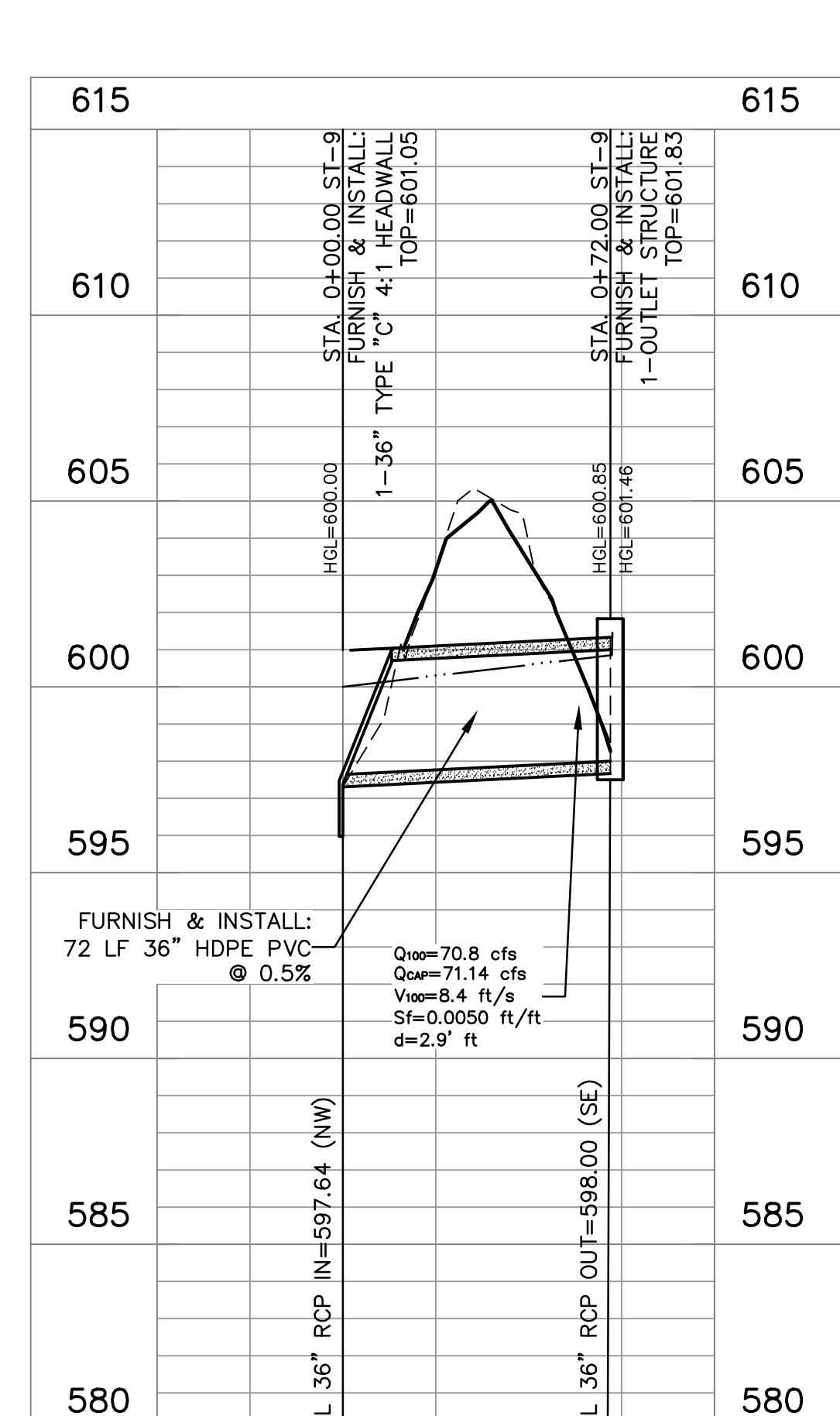
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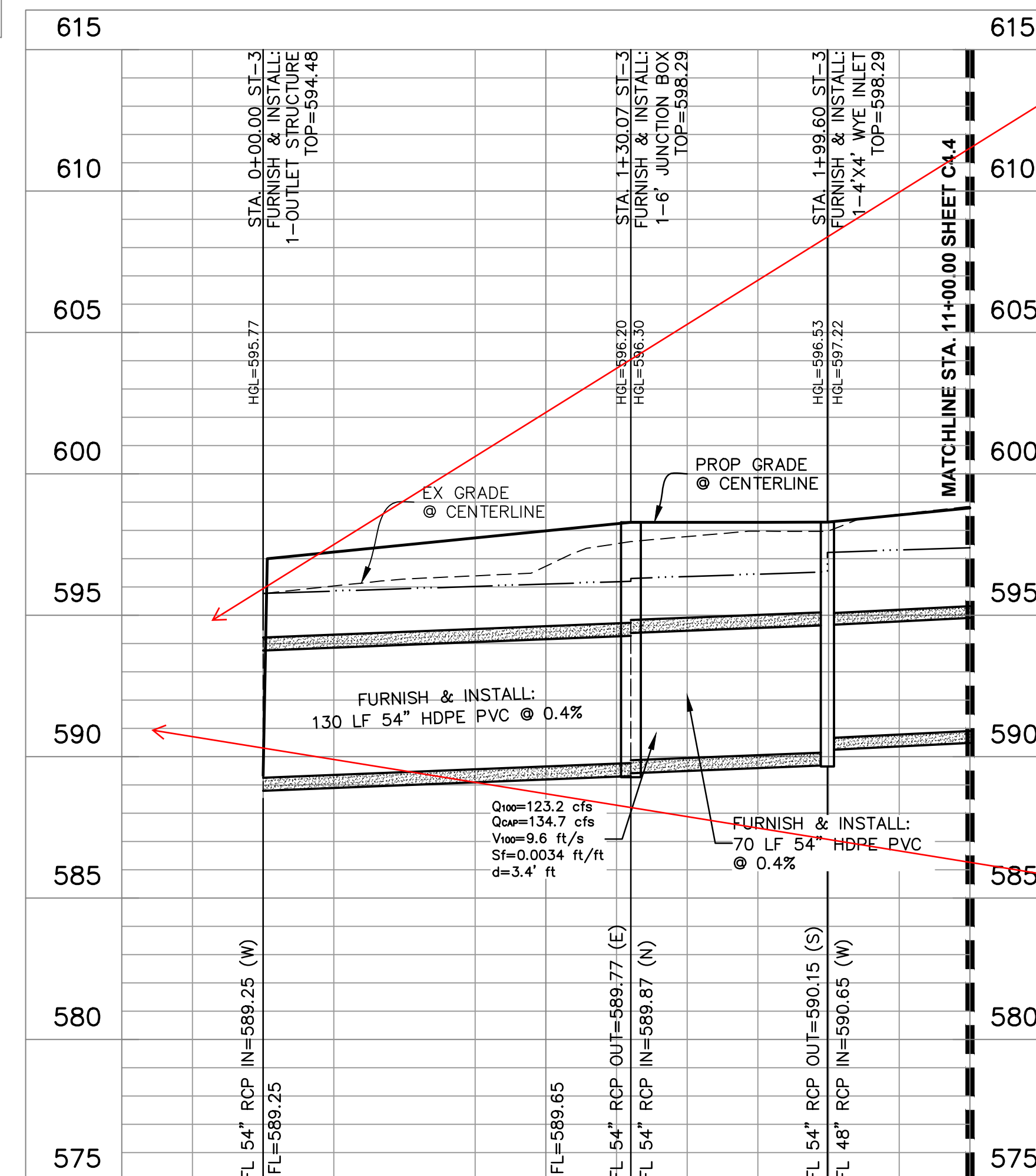
STORM SEWER ST-3A.1



STORM SEWER ST-5



STORM SEWER ST-9



STORM SEWER ST-3

Provide HGL, tailwater and headwater. (All instances).

Show/label the 100-year fully developed conditions WSEL of the receiving channel.

Show the outfall structure. Is a headwall proposed?

CROSS ROADS MARKET SQUARE
 Lot 3R2-1, 3R2-2, 3R2-3, 3R2-4, 3R2-5X, & 3R2-6X, Block A
 VOLUNTEER ENTERPRISES ADDITION
 32,836 Acres
 in the
 MARCELLA JONES SURVEY, ABSTRACT NO. 662
 TOWN OF CROSS ROADS
 DENTON COUNTY, TEXAS

MCADAMS
 The John R. McAdams Company, Inc.
 111 Hillside Drive
 Lewisville, Texas 75057
 972.435.9712
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 940.240.1012
 TBPE: 19762 TBPS: 10194440
 www.mcadams.com

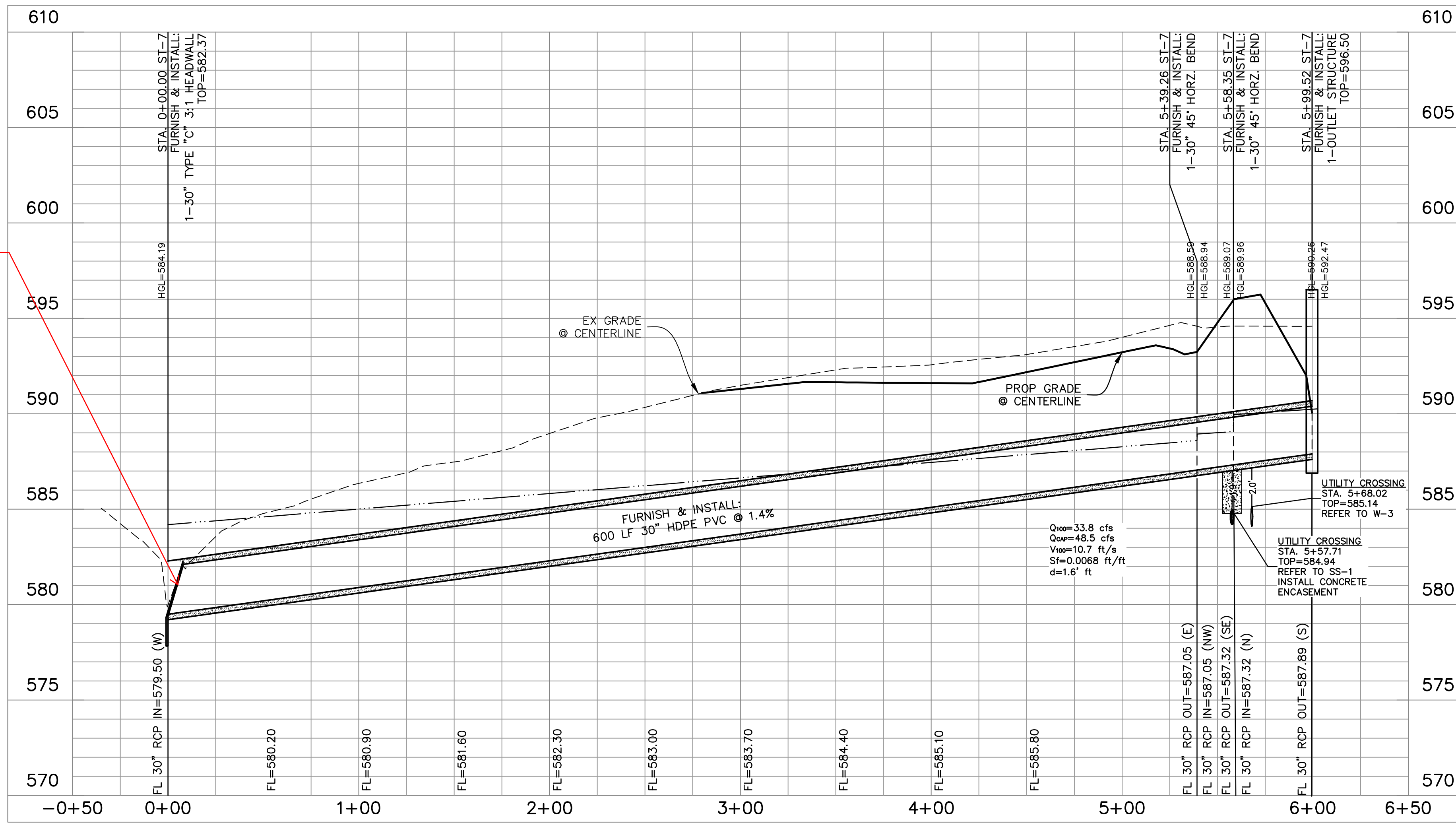
STORM SEWER PROFILES

PRELIMINARY PLANS
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Date: 06/01/2020
Scale: H=1"=1'; V=1"=4'
Revisions:
07/13/2020
08/27/2020
10/27/2020

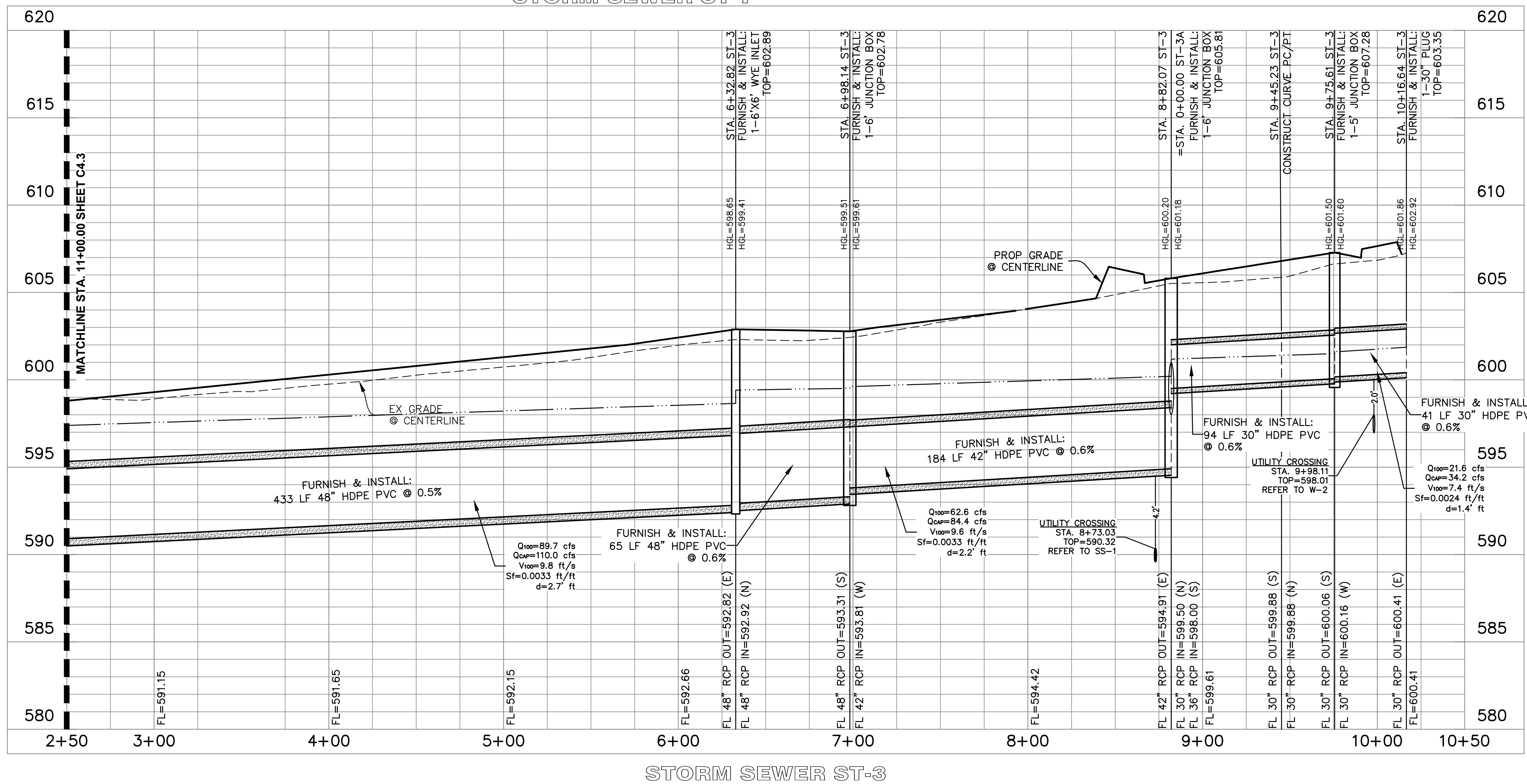
OWNER/DEVELOPER
 VOLUNTEER ENTERPRISES IV, LLC
 1895 OLD COAST ROAD, UNIT 2306
 NAPLES, FLORIDA 34110
 Ph. 840-390-2734
 Contact: FRED NICHOLS

Show/label the 100-year fully developed conditions WSEL of the receiving channel and provide source.



GENERAL NOTES

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CROSS ROADS MARKET SQUARE
 Lot 3R2-1, 3R2-2, 3R2-3, 3R2-4, 3R2-5X, & 3R2-6X, Block A
 VOLUNTEER ENTERPRISES ADDITION
 32.896 Acres
 in the
 MARCELLA JONES SURVEY, ABSTRACT NO. 662
 TOWN OF CROSS ROADS
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STORM SEWER PROFILES

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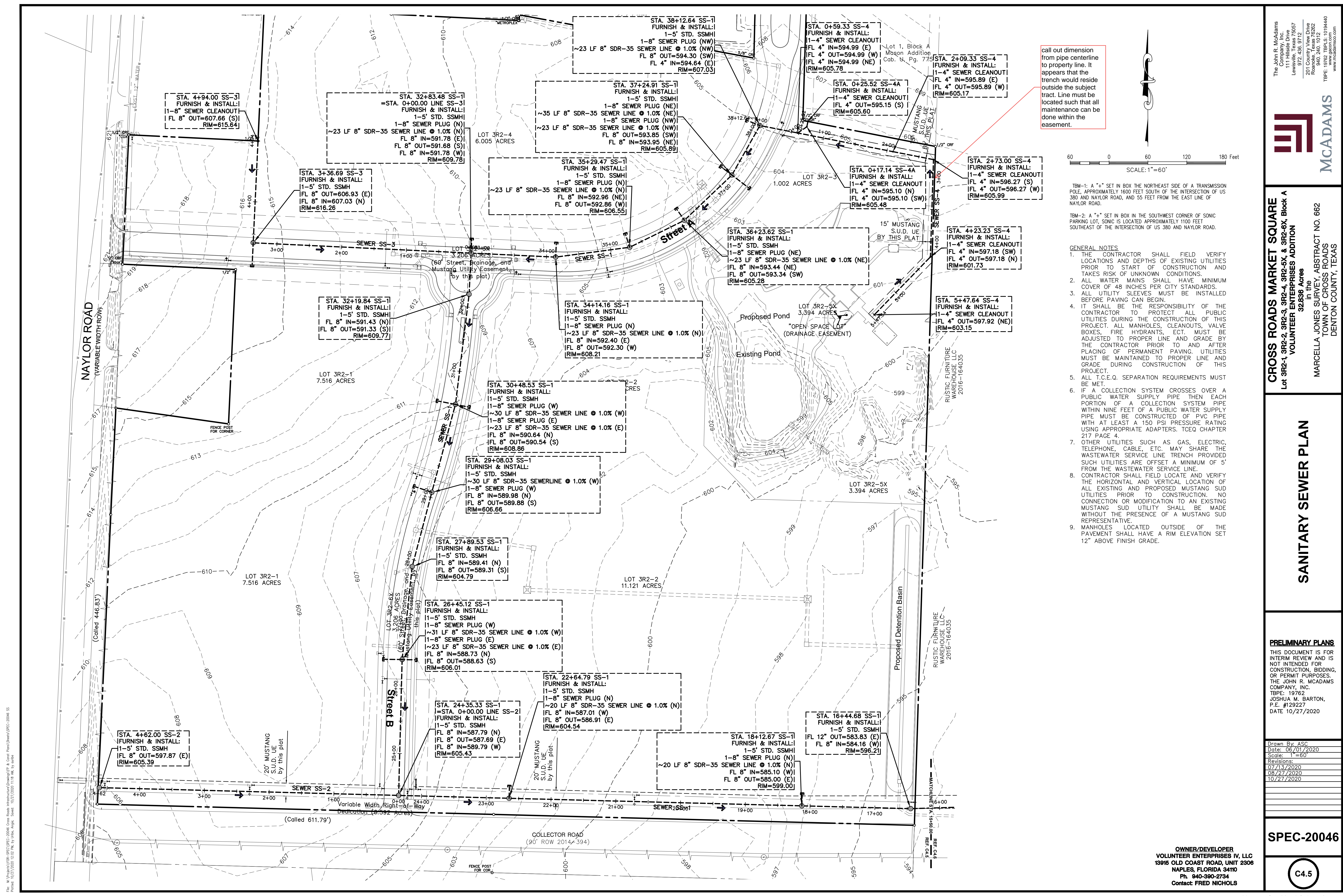
OWNER/DEVELOPER
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 1895 OLD COAST ROAD, UNIT 2306
 NAPLES, FLORIDA 34110
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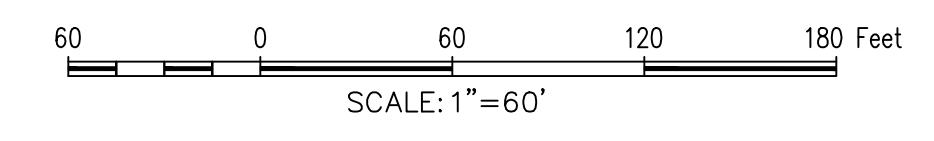
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 201 Country View Drive
 Rockwall, TX 75087
 940.240.1012
 TBPE: 19762 TBPLS: 10194440
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CROSS ROADS MARKET SQUARE

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call out dimension from pipe centerline to property line. It appears that the trench would reside outside the subject tract. Line must be located such that all maintenance can be done within the easement.



TM-1: A "x" SET IN BOX THE NORTHEAST SIDE OF A TRANSMISSION POLE, APPROXIMATELY 1600 FEET SOUTH OF THE INTERSECTION OF US 380 AND NAYLOR ROAD, AND 55 FEET FROM THE EAST LINE OF NAYLOR ROAD.
 TM-2: A "x" SET IN BOX IN THE SOUTHWEST CORNER OF SONIC PARKING LOT, SONIC IS LOCATED APPROXIMATELY 1100 FEET SOUTHEAST OF THE INTERSECTION OF US 380 AND NAYLOR ROAD.

- GENERAL NOTES**
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 - ALL WATER MAINS SHALL HAVE A MINIMUM COVER OF 48 INCHES PER CITY STANDARDS.
 - ALL UTILITY SLEEVES MUST BE INSTALLED BEFORE PAVING CAN BEGIN.
 - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL PUBLIC UTILITIES DURING THE CONSTRUCTION OF THIS PROJECT. ALL MANHOLES, CLEANOUTS, VALVE BOXES, FIRE HYDRANTS, ECT. MUST BE ADJUSTED TO PROPER LINE AND GRADE BY THE CONTRACTOR PRIOR TO AND AFTER PLACING OF PERMANENT PAVING. UTILITIES MUST BE MAINTAINED TO PROPER LINE AND GRADE DURING CONSTRUCTION OF THIS PROJECT.
 - ALL T.C.E.Q. SEPARATION REQUIREMENTS MUST BE MET.
 - IF A COLLECTION SYSTEM CROSSES OVER A PUBLIC WATER SUPPLY PIPE THEN EACH PORTION OF A COLLECTION SYSTEM PIPE WITHIN NINE FEET OF A PUBLIC WATER SUPPLY PIPE MUST BE CONSTRUCTED OF PVC PIPE WITH AT LEAST A 150 PSI PRESSURE RATING USING APPROPRIATE ADAPTERS. TCEC CHAPTER 217 PAGE 4.
 - OTHER UTILITIES SUCH AS GAS, ELECTRIC, TELEPHONE, CABLE, ETC. MAY SHARE THE WASTEWATER SERVICE LINE TRENCH PROVIDED SUCH UTILITIES ARE OFFSET A MINIMUM OF 5' FROM THE WASTEWATER SERVICE LINE.
 - CONTRACTOR SHALL FIELD LOCATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING AND PROPOSED MUSTANG SUD UTILITIES PRIOR TO CONSTRUCTION. NO CONNECTION OR MODIFICATION TO AN EXISTING MUSTANG SUD UTILITY SHALL BE MADE WITHOUT THE PRESENCE OF A MUSTANG SUD REPRESENTATIVE.
 - MANHOLES LOCATED OUTSIDE OF THE PAVEMENT SHALL HAVE A RIM ELEVATION SET 12" ABOVE FINISH GRADE.

CROSS ROADS MARKET SQUARE
 Lot 3R2-1, 3R2-2, 3R2-3, 3R2-4, 3R2-5X, & 3R2-6X, Block A
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 DENTON COUNTY, TEXAS

SANITARY SEWER PLAN

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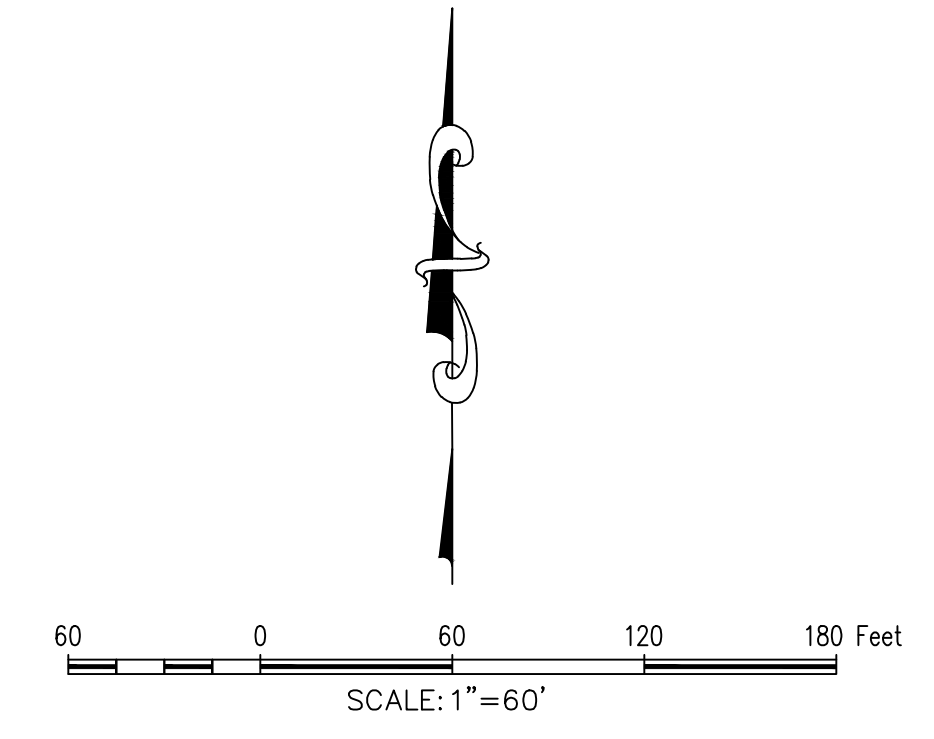
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C4.5

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CROSS ROADS MARKET SQUARE

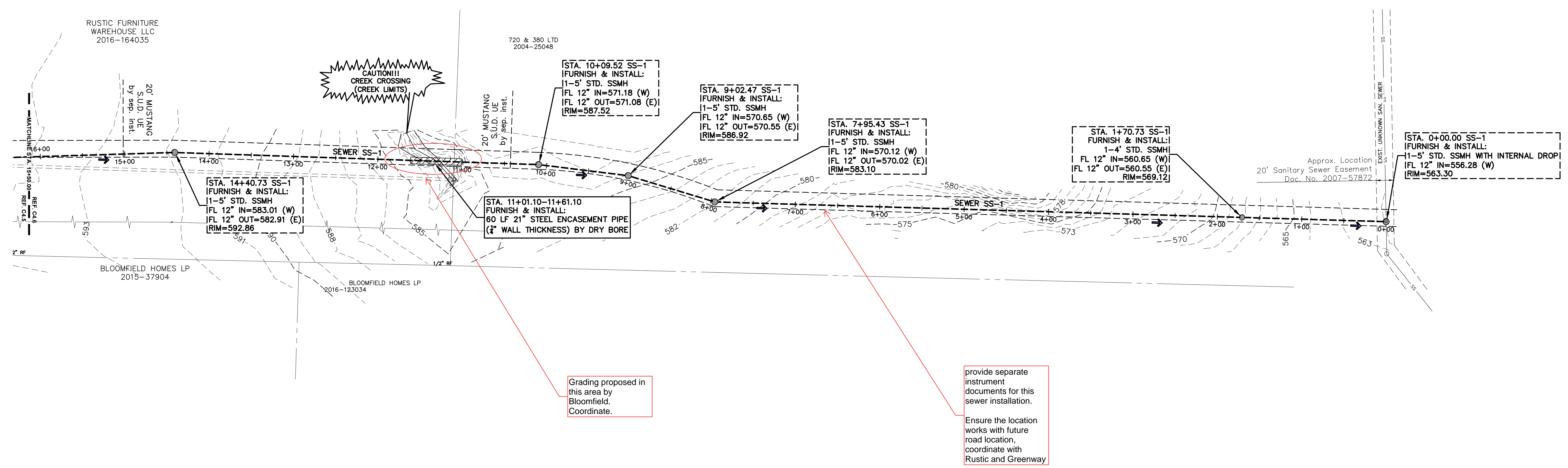
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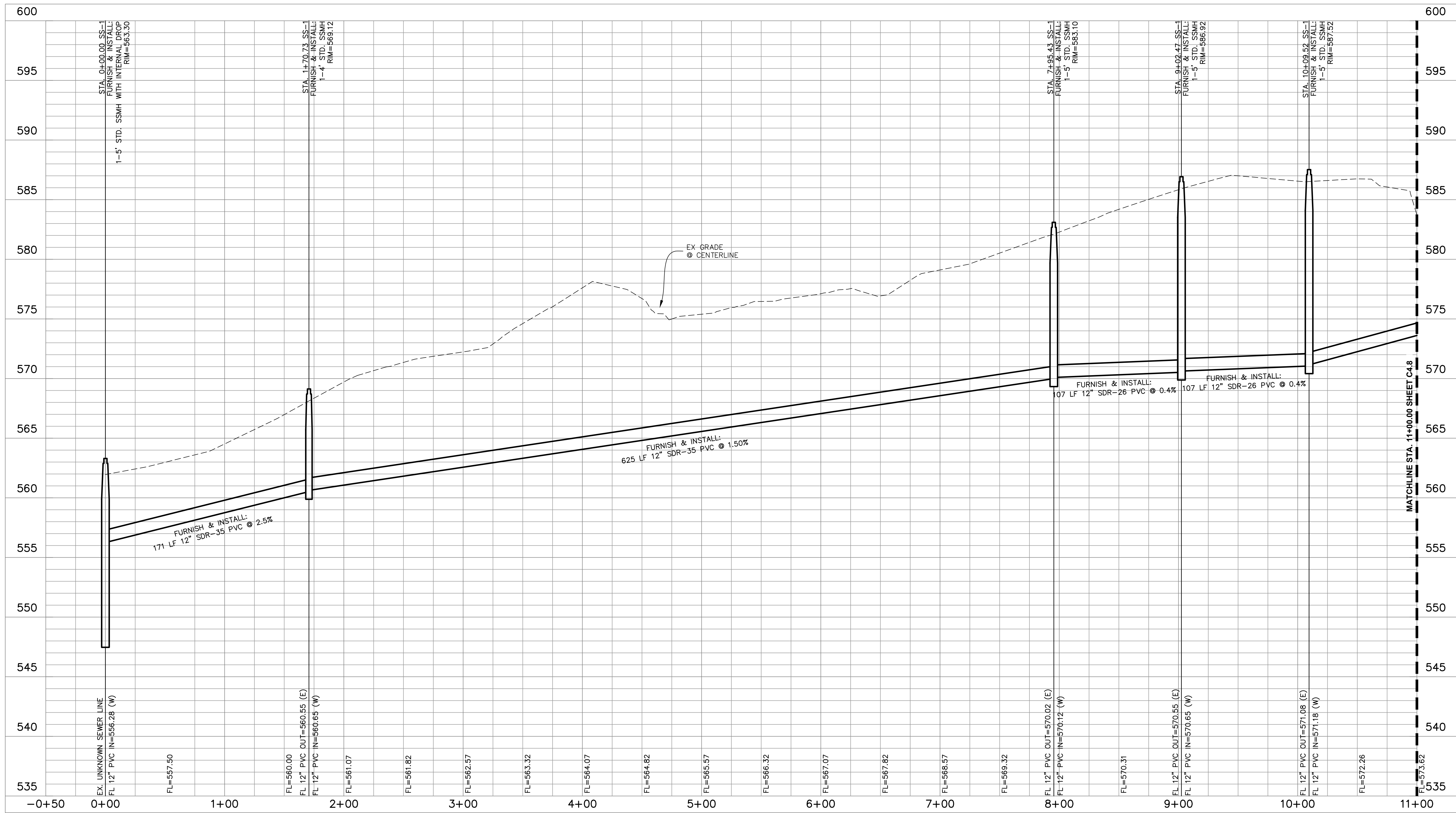
- GENERAL NOTES**
1. THE CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND DEPTHS OF EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION AND TAKES RISK OF UNKNOWN CONDITIONS.
 2. ALL WATER MAINS SHALL HAVE MINIMUM COVER OF 48 INCHES PER CITY STANDARDS.
 3. ALL UTILITY SLEEVES MUST BE INSTALLED BEFORE PAVING CAN BEGIN.
 4. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL PUBLIC UTILITIES DURING THE CONSTRUCTION OF THIS PROJECT. ALL MANHOLES, CLEANOUTS, VALVE BOXES, FIRE HYDRANTS, ECT. MUST BE ADJUSTED TO PROPER LINE AND GRADE BY THE CONTRACTOR PRIOR TO AND AFTER PLACING OF PERMANENT PAVING. UTILITIES MUST BE MAINTAINED TO PROPER LINE AND GRADE DURING CONSTRUCTION OF THIS PROJECT.
 5. ALL T.C.E.Q. SEPARATION REQUIREMENTS MUST BE MET.
 6. IF A COLLECTION SYSTEM CROSSES OVER A PUBLIC WATER SUPPLY PIPE THEN EACH PORTION OF A COLLECTION SYSTEM PIPE WITHIN NINE FEET OF A PUBLIC WATER SUPPLY PIPE MUST BE CONSTRUCTED OF PVC PIPE WITH AT LEAST A 150 PSI PRESSURE RATING USING APPROPRIATE ADAPTERS. TCEQ CHAPTER 217 PAGE 4.
 7. REFER TO STANDARD DETAIL 7.15 FOR DRY BORE UTILITY.
 8. OTHER UTILITIES SUCH AS GAS, ELECTRIC, TELEPHONE, CABLE, ETC. MAY SHARE THE WASTEWATER SERVICE LINE TRENCH PROVIDED SUCH UTILITIES ARE OFFSET A MINIMUM OF 5' FROM THE WASTEWATER SERVICE LINE.
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 10. MANHOLES LOCATED OUTSIDE OF THE PAVEMENT SHALL HAVE A RIM ELEVATION SET 12" ABOVE FINISH GRADE.

TM-1: A "x" SET IN BOX THE NORTHEAST SIDE OF A TRANSMISSION POLE, APPROXIMATELY 1600 FEET SOUTH OF THE INTERSECTION OF US 380 AND NAYLOR ROAD, AND 55 FEET FROM THE EAST LINE OF NAYLOR ROAD.

TM-2: A "x" SET IN BOX IN THE SOUTHWEST CORNER OF SONIC PARKING LOT, SONIC IS LOCATED APPROXIMATELY 1100 FEET SOUTHEAST OF THE INTERSECTION OF US 380 AND NAYLOR ROAD.



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SANITARY SEWER SS-1

GENERAL NOTES

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MCADAMS
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 972.435.9712
 201 Country View Drive
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 940.240.1012
 TBPE: 19762 TBPLS: 10194440
 www.mcadamsco.com

CROSS ROADS MARKET SQUARE
 Lot 3R2-1, 3R2-2, 3R2-3, 3R2-4, 3R2-5X, & 3R2-6X, Block A
 VOLUNTEER ENTERPRISES ADDITION
 32.836 Acres
 in the
 MARCELLA JONES SURVEY, ABSTRACT NO. 662
 TOWN OF CROSS ROADS
 DENTON COUNTY, TEXAS

SANITARY SEWER PROFILES

PRELIMINARY PLANS
 THIS DOCUMENT IS FOR INTERIM REVIEW AND IS NOT INTENDED FOR CONSTRUCTION, BIDDING, OR PERMIT PURPOSES. THE JOHN R. MCADAMS COMPANY, INC. TBPE: 19762 JOSHUA M. BARTON, P.E. #129227 DATE 10/27/2020

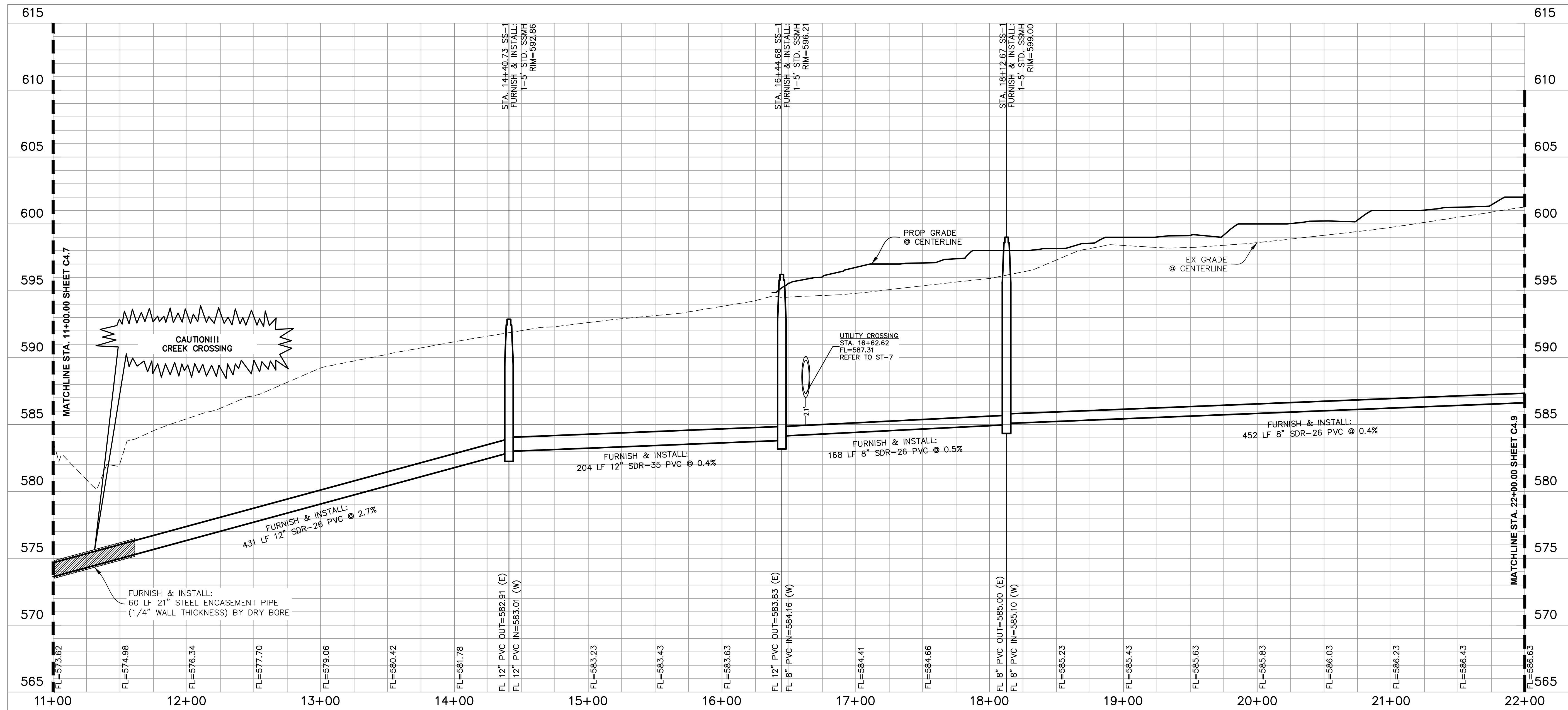
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Revisions:
07/13/2020
08/27/2020
10/27/2020

SPEC-20046

OWNER/DEVELOPER
VOLUNTEER ENTERPRISES IV, LLC
 13915 OLD COAST ROAD, UNIT 2306
 NAPLES, FLORIDA 34110
 Ph. 940-390-2734
 Contact: FRED NICHOLS

C4.7

CROSS ROADS MARKET SQUARE



SANITARY SEWER SS-1

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CROSS ROADS MARKET SQUARE
 Lot 3R2-1, 3R2-2, 3R2-3, 3R2-4, 3R2-5X, & 3R2-6X, Block A
 VOLUNTEER ENTERPRISES ADDITION
 32.836 Acres
 in the
 MARCELLA JONES SURVEY, ABSTRACT NO. 662
 TOWN OF CROSS ROADS
 DENTON COUNTY, TEXAS

SANITARY SEWER PROFILES

PRELIMINARY PLANS
 THIS DOCUMENT IS FOR INTERIM REVIEW AND IS NOT INTENDED FOR CONSTRUCTION, BIDDING, OR PERMIT PURPOSES. THE JOHN R. MCADAMS COMPANY, INC. TBPE: 19762 JOSHUA M. BARTON, P.E. #129227 DATE 10/27/2020

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SPEC-20046

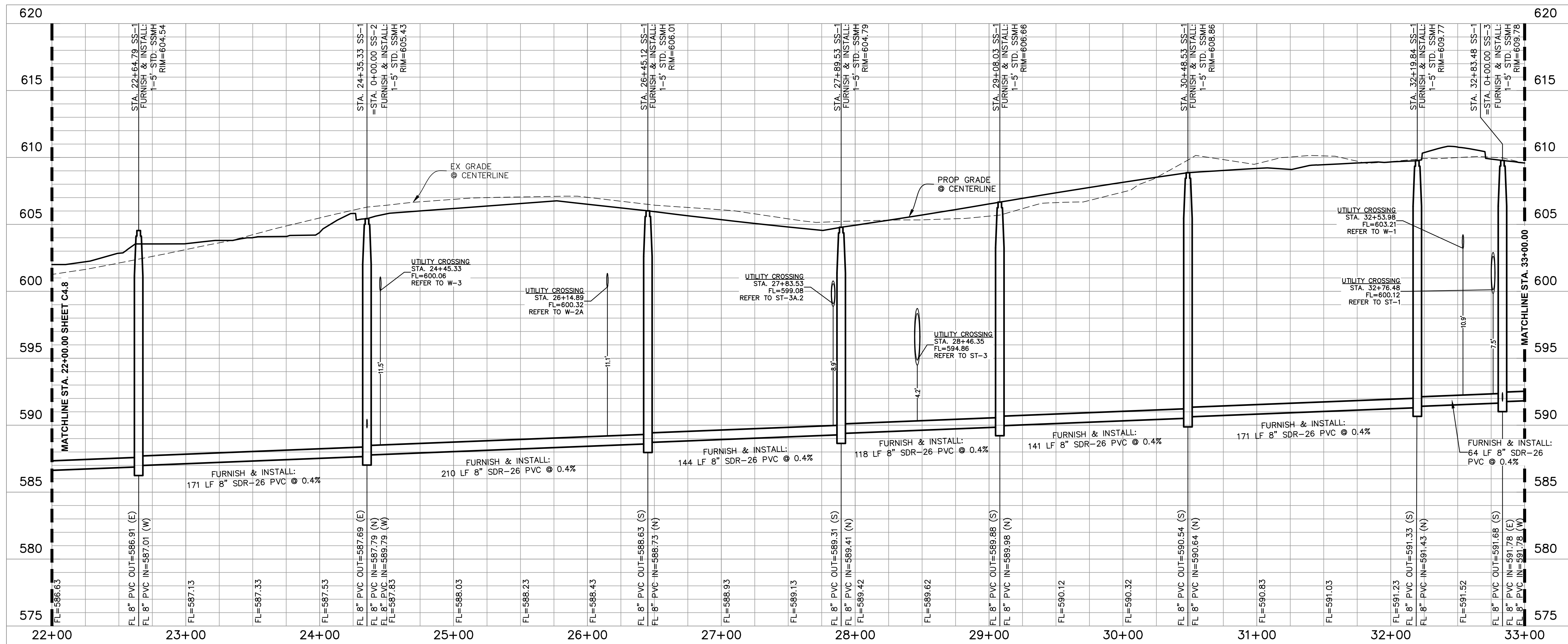
C4.8

OWNER/DEVELOPER
 VOLUNTEER ENTERPRISES IV, LLC
 1895 OLD COAST ROAD, UNIT 2306
 NAPLES, FLORIDA 34110
 Ph. 940-390-2734
 Contact: FRED NICHOLS

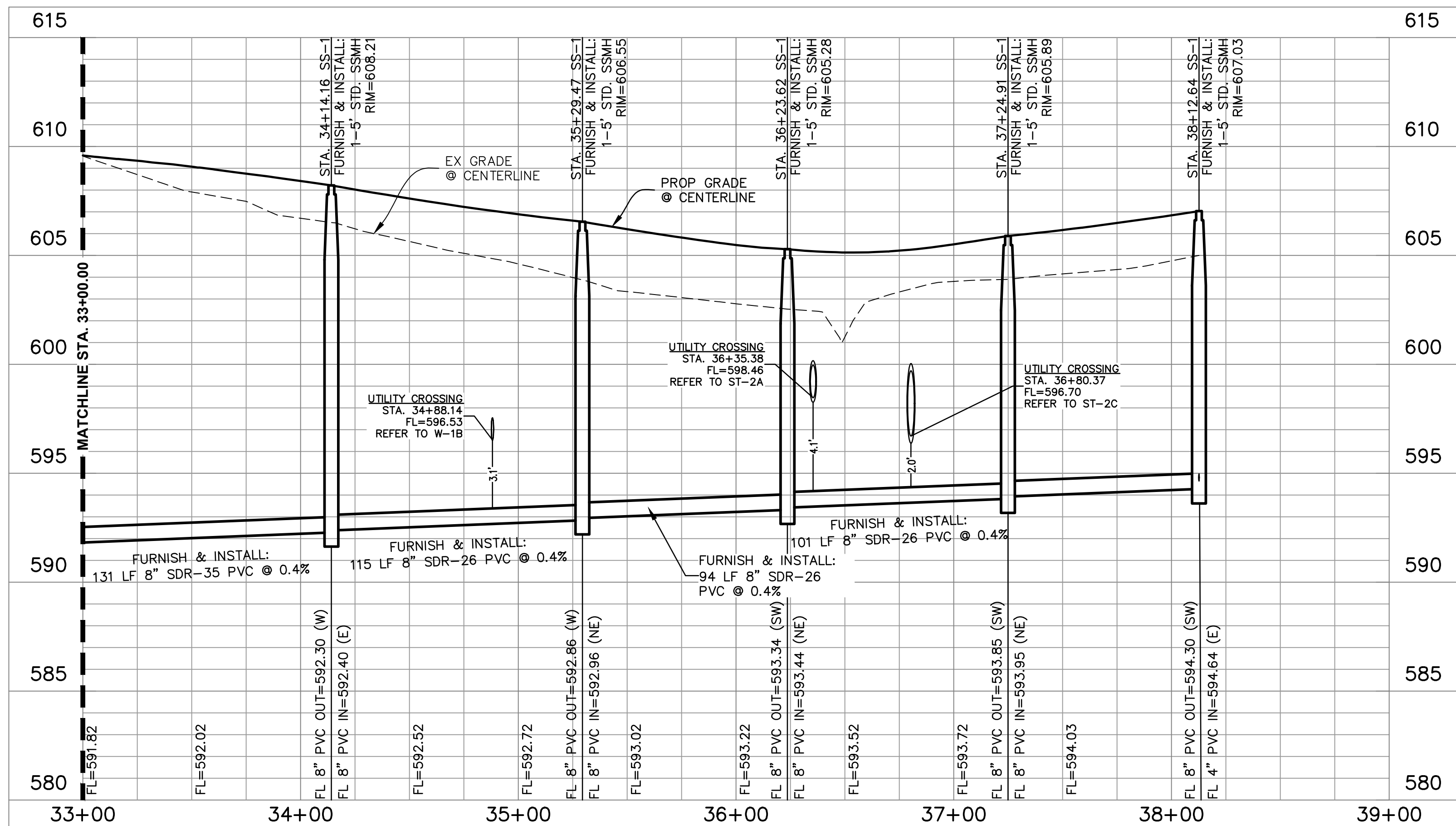


The John R. McAdams Company, Inc.
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 TBPE: 19762 TBPLS: 10194440
 www.mcadamsco.com

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SANITARY SEWER SS-1



SANITARY SEWER SS-1

GENERAL NOTES

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CROSS ROADS MARKET SQUARE
 Lot 3R2-1, 3R2-2, 3R2-3, 3R2-4, 3R2-5X, & 3R2-6X, Block A
 VOLUNTEER ENTERPRISES ADDITION
 32.896 Acres
 in the
 MARCELLA JONES SURVEY, ABSTRACT NO. 662
 TOWN OF CROSS ROADS
 DENTON COUNTY, TEXAS

SANITARY SEWER PROFILES

PRELIMINARY PLANS
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 THE JOHN R. MCADAMS COMPANY, INC.
 TBPE: 19762
 JOSHUA M. BARTON,
 P.E. #129227
 DATE 10/27/2020

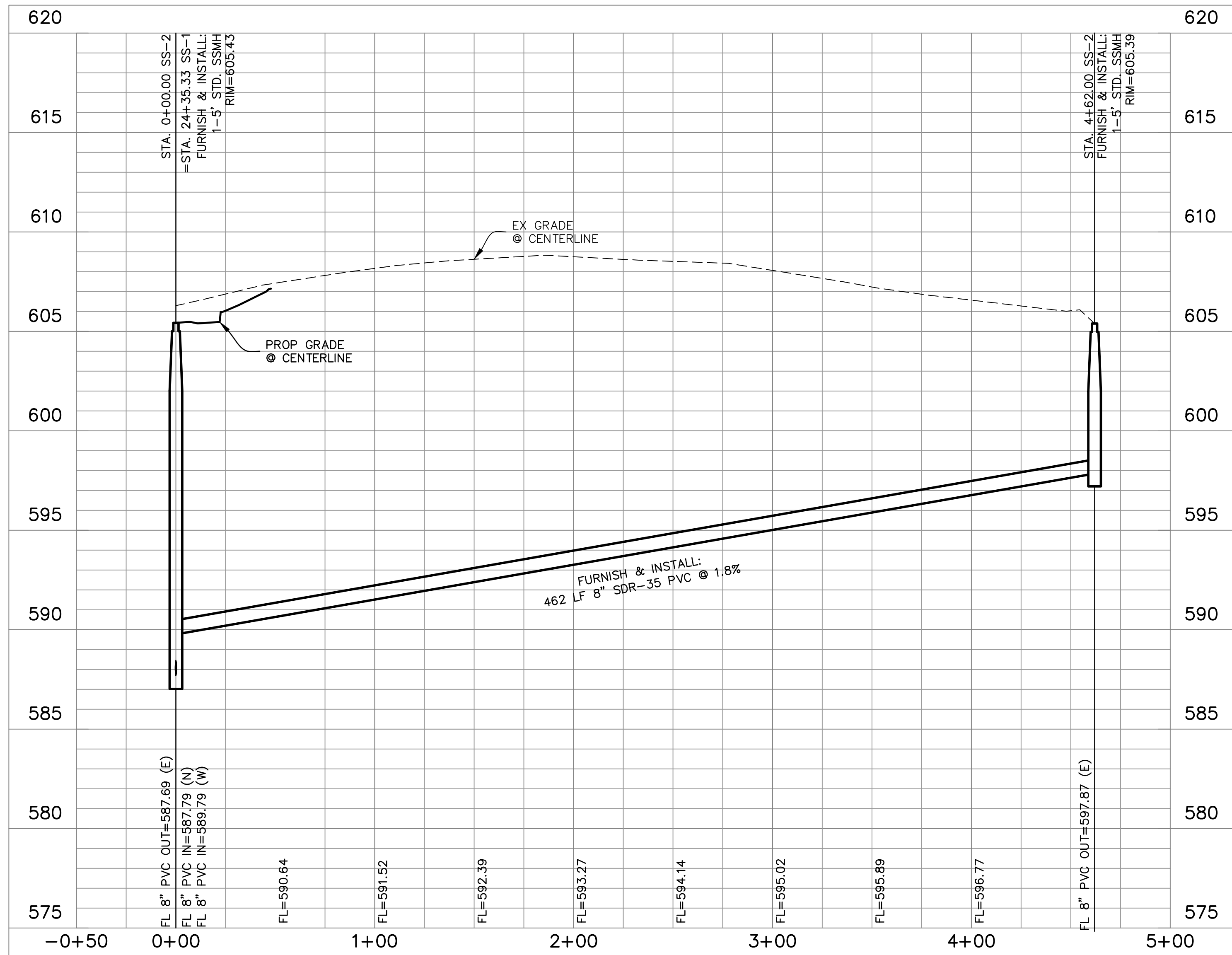
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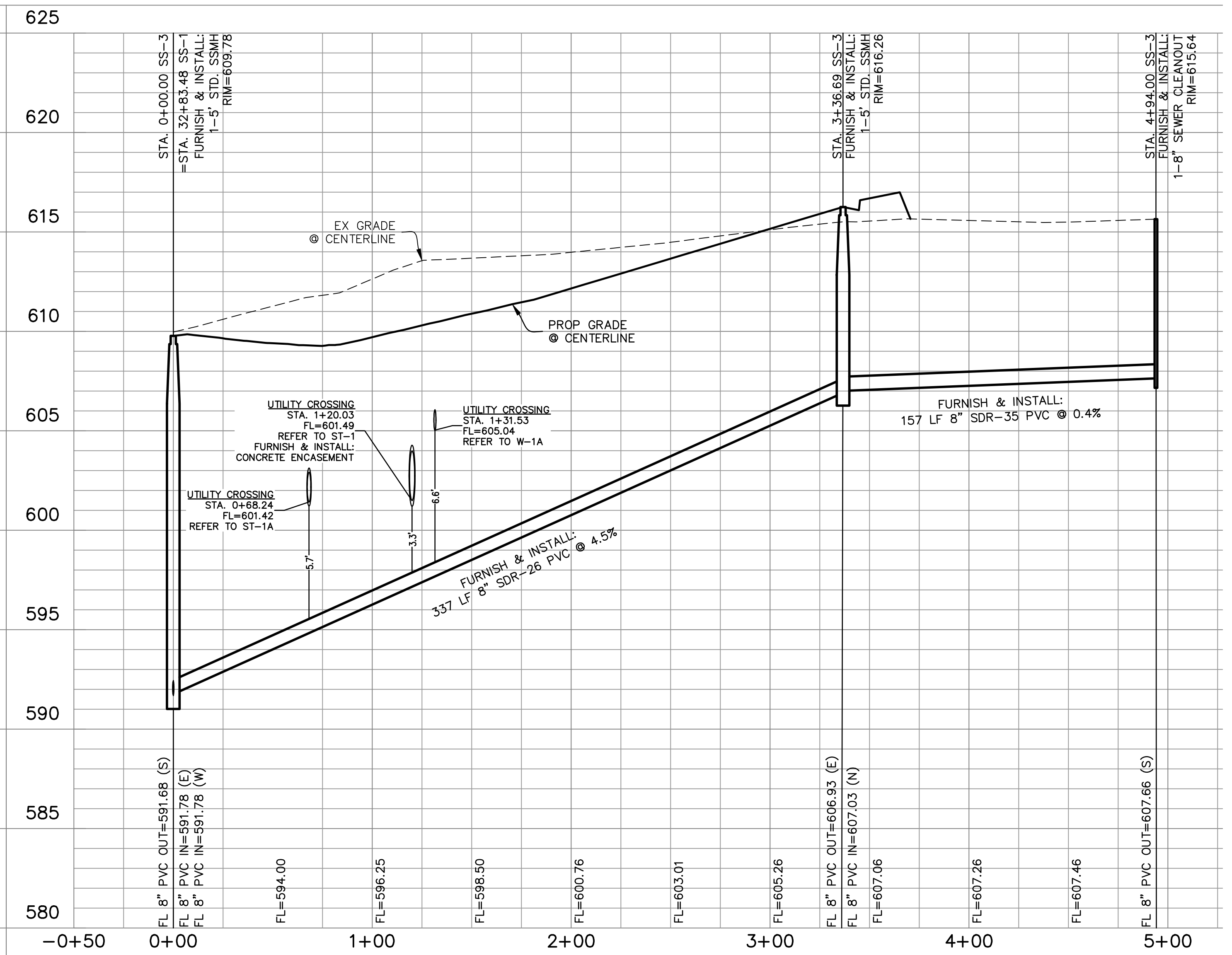
OWNER/DEVELOPER
 VOLUNTEER ENTERPRISES IV, LLC
 1895 OLD COAST ROAD, UNIT 2306
 NAPLES, FLORIDA 34110
 Ph. 840-390-2734
 Contact: FRED NICHOLS

C4.9

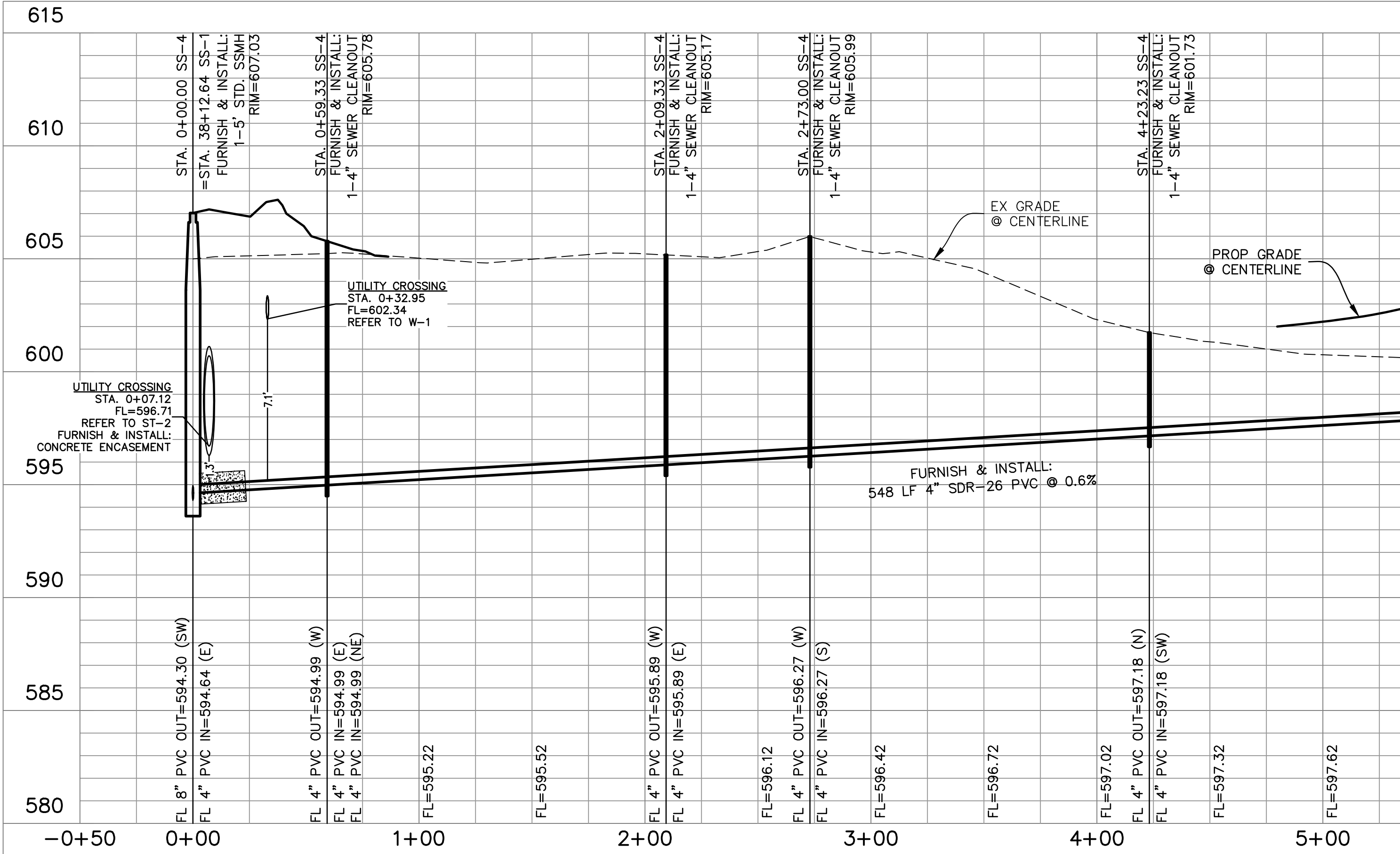
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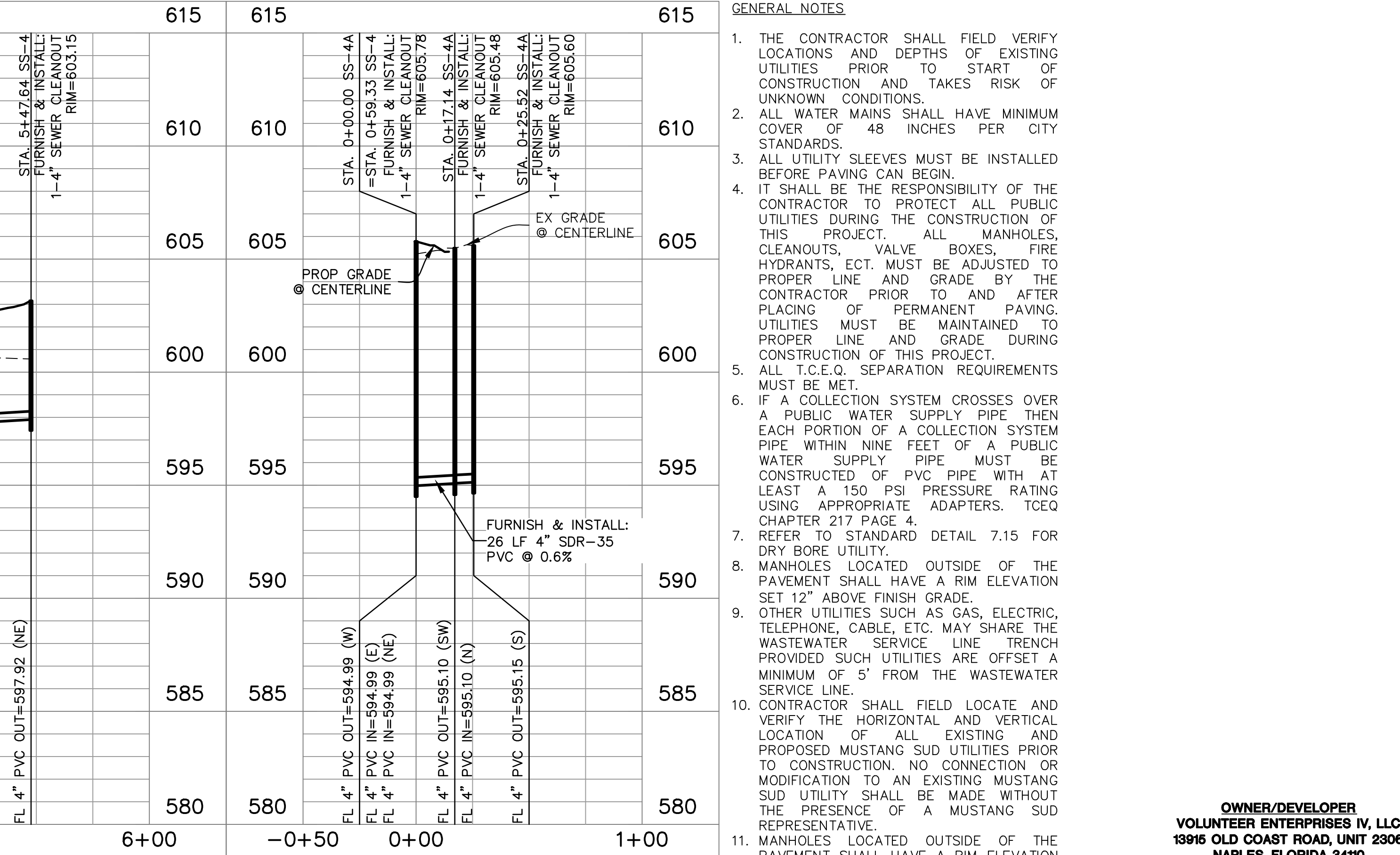
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SANITARY SEWER SS-3



SANITARY SEWER SS-4



SANITARY SEWER SS-4A

GENERAL NOTES

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OWNER/DEVELOPER
VOLUNTEER ENTERPRISES IV, LLC
 1895 OLD COAST ROAD, UNIT 2306
 NAPLES, FLORIDA 34110
 Ph. 840-390-2734
 Contact: FRED NICHOLS

MCADAMS
 CROSS ROADS MARKET SQUARE
 Lot 3R2-1, 3R2-2, 3R2-3, 3R2-4, 3R2-5X, & 3R2-6X, Block A
 VOLUNTEER ENTERPRISES ADDITION
 32.836 Acres
 in the
 MARCELLA JONES SURVEY, ABSTRACT NO. 662
 TOWN OF CROSS ROADS
 DENTON COUNTY, TEXAS

SANITARY SEWER PROFILES

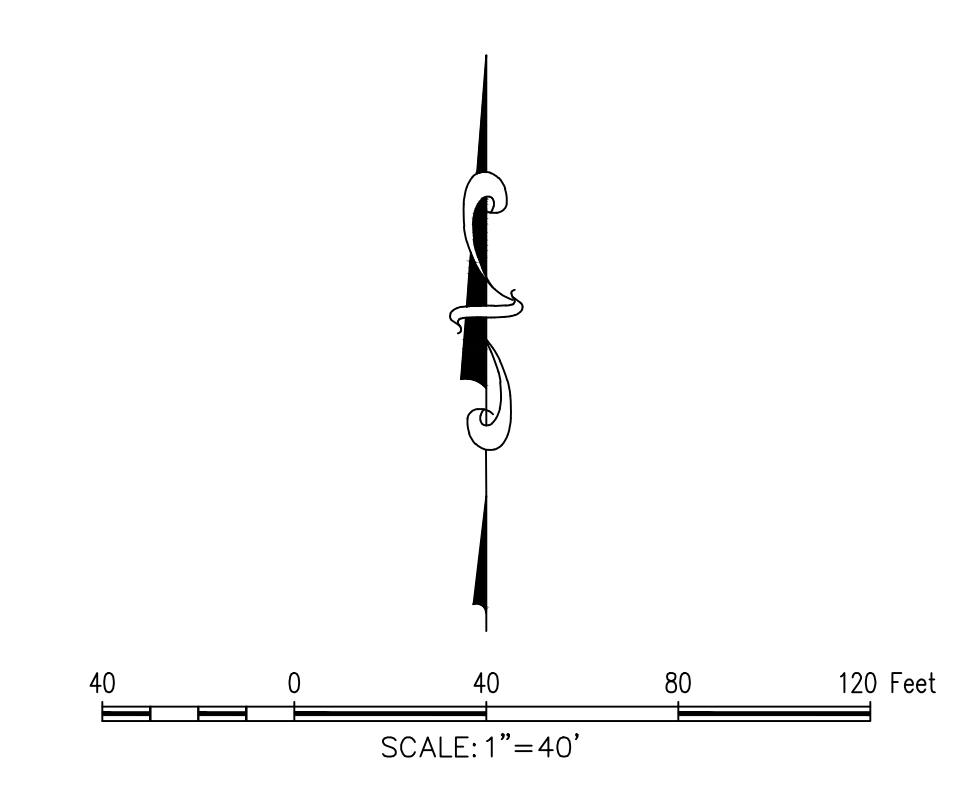
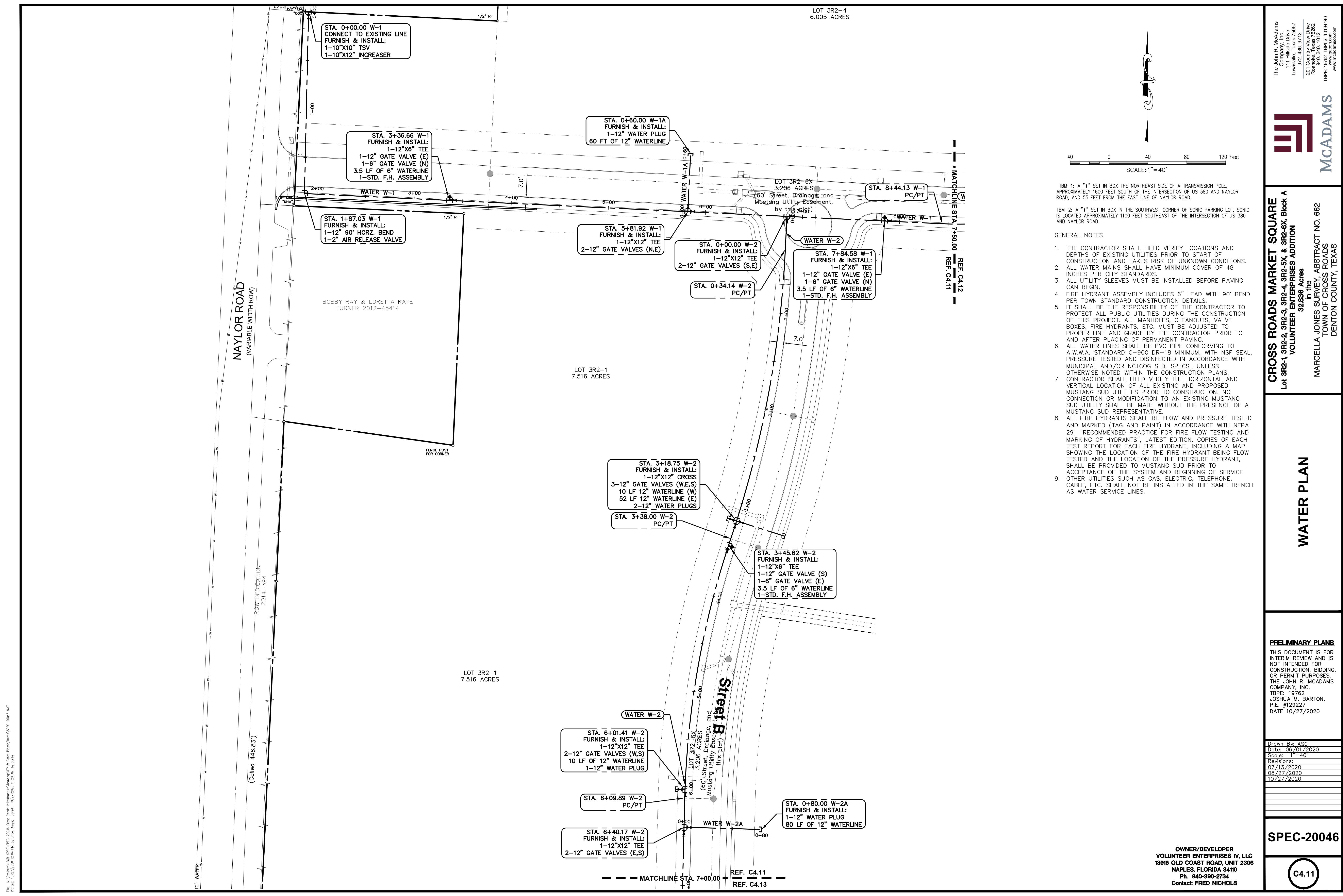
PRELIMINARY PLANS
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 10/27/2020

SPEC-20046

C4.10

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TBM-1: A "T" SET IN BOX THE NORTHEAST SIDE OF A TRANSMISSION POLE, APPROXIMATELY 1600 FEET SOUTH OF THE INTERSECTION OF US 380 AND NAYLOR ROAD, AND 55 FEET FROM THE EAST LINE OF NAYLOR ROAD.

TBM-2: A "T" SET IN BOX IN THE SOUTHWEST CORNER OF SONIC PARKING LOT, SONIC IS LOCATED APPROXIMATELY 1100 FEET SOUTHEAST OF THE INTERSECTION OF US 380 AND NAYLOR ROAD.

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 4. FIRE HYDRANT ASSEMBLY INCLUDES 6" LEAD WITH 90° BEND PER TOWN STANDARD CONSTRUCTION DETAILS.
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 6. ALL WATER LINES SHALL BE PVC PIPE CONFORMING TO A.W.W.A. STANDARD C-900 DR-18 MINIMUM, WITH NSF SEAL, PRESSURE TESTED AND DISINFECTED IN ACCORDANCE WITH MUNICIPAL AND/OR NCTCOG STD. SPECS., UNLESS OTHERWISE NOTED WITHIN THE CONSTRUCTION PLANS.
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 8. ALL FIRE HYDRANTS SHALL BE FLOW AND PRESSURE TESTED AND MARKED (TAG AND PAINT) IN ACCORDANCE WITH NFPA 291 "RECOMMENDED PRACTICE FOR FIRE FLOW TESTING AND MARKING OF HYDRANTS", LATEST EDITION. COPIES OF EACH TEST REPORT FOR EACH FIRE HYDRANT, INCLUDING A MAP SHOWING THE LOCATION OF THE FIRE HYDRANT BEING FLOW TESTED AND THE LOCATION OF THE PRESSURE HYDRANT, SHALL BE PROVIDED TO MUSTANG SUD PRIOR TO ACCEPTANCE OF THE SYSTEM AND BEGINNING OF SERVICE OTHER UTILITIES SUCH AS GAS, ELECTRIC, TELEPHONE, CABLE, ETC. SHALL NOT BE INSTALLED IN THE SAME TRENCH AS WATER SERVICE LINES.
 - 9.

CROSS ROADS MARKET SQUARE

Lot 3R2-1, 3R2-2, 3R2-3, 3R2-4, 3R2-5X, & 3R2-6X, Block A

VOLUNTEER ENTERPRISES ADDITION

32.836 Acres

MARCELLA JONES SURVEY, ABSTRACT NO. 662

TOWN OF CROSS ROADS

DENTON COUNTY, TEXAS

WATER PLAN

PRELIMINARY PLANS

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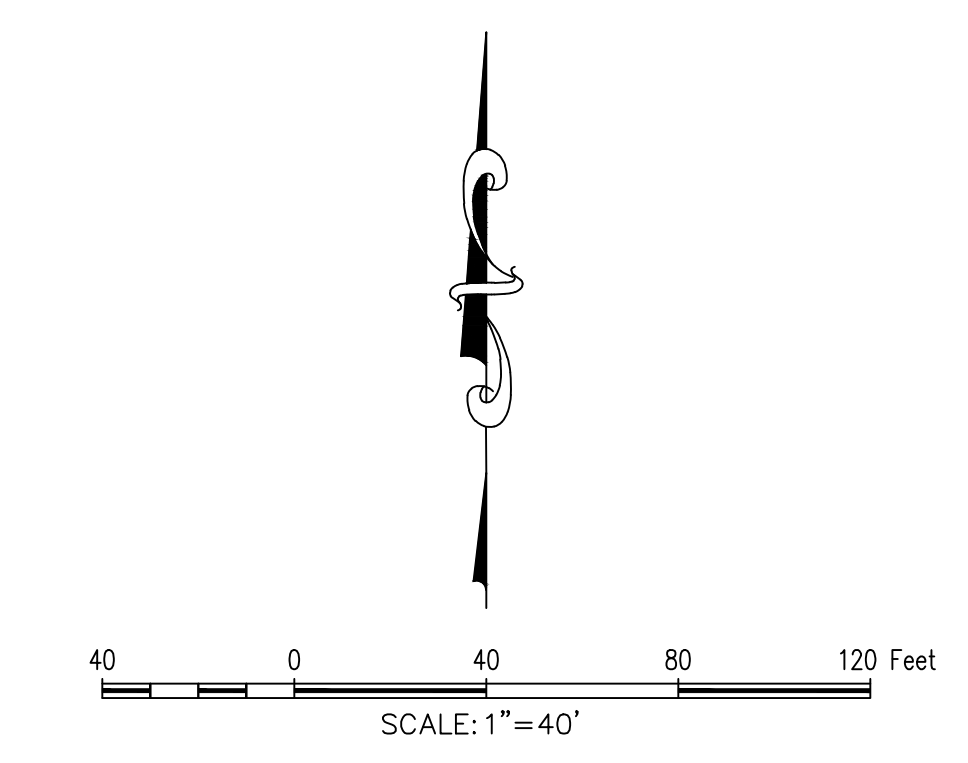
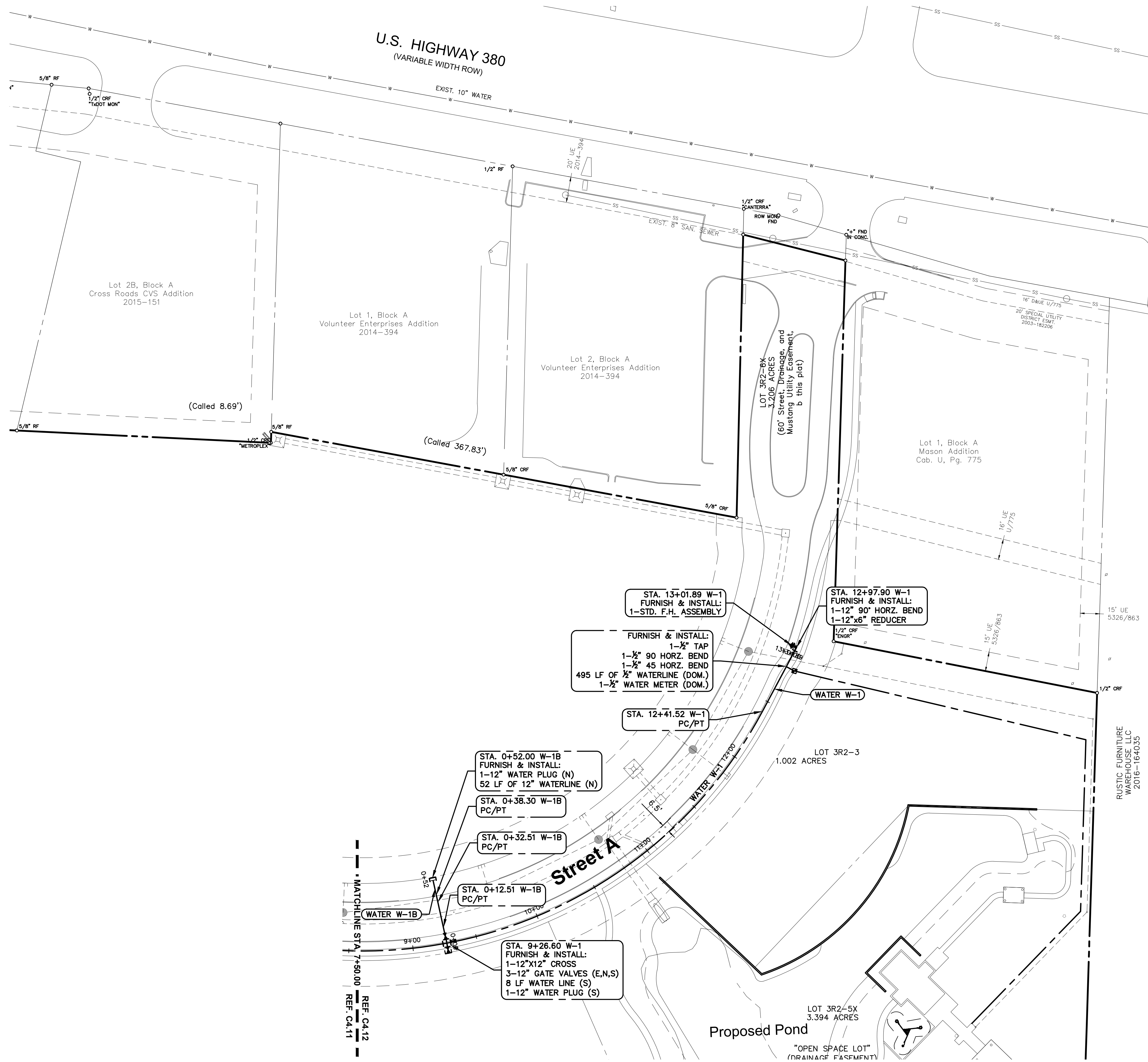
SPEC-20046

C4.11

OWNER/DEVELOPER
VOLUNTEER ENTERPRISES IV, LLC
1895 OLD COAST ROAD, UNIT 2306
NAPLES, FLORIDA 34110
Ph. 940-390-2734
Contact: FRED NICHOLS

The John R. McAdams Company, Inc.
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940.240.1012
TPBE: 19762 TPPLS: 10194440
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TBM-1: A "T" SET IN BOX THE NORTHEAST SIDE OF A TRANSMISSION POLE, APPROXIMATELY 1600 FEET SOUTH OF THE INTERSECTION OF US 380 AND NAYLOR ROAD, AND 55 FEET FROM THE EAST LINE OF NAYLOR ROAD.
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 6. ALL WATER LINES SHALL BE PVC PIPE CONFORMING TO A.W.W.A. STANDARD C-900 DR-18 MINIMUM, WITH NSF SEAL, PRESSURE TESTED AND DISINFECTED IN ACCORDANCE WITH MUNICIPAL AND/OR NCTCOG STD. SPECS., UNLESS OTHERWISE NOTED WITHIN THE CONSTRUCTION PLANS.
 7. CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING AND PROPOSED MUSTANG SUD UTILITIES PRIOR TO CONSTRUCTION. NO CONNECTION OR MODIFICATION TO AN EXISTING MUSTANG SUD UTILITY SHALL BE MADE WITHOUT THE PRESENCE OF A MUSTANG SUD REPRESENTATIVE.
 8. ALL FIRE HYDRANTS SHALL BE FLOW AND PRESSURE TESTED AND MARKED (TAG AND PAINT) IN ACCORDANCE WITH NFPA 291 "RECOMMENDED PRACTICE FOR FIRE FLOW TESTING AND MARKING OF HYDRANTS", LATEST EDITION. COPIES OF EACH TEST REPORT FOR EACH FIRE HYDRANT, INCLUDING A MAP SHOWING THE LOCATION OF THE FIRE HYDRANT BEING FLOW TESTED AND THE LOCATION OF THE PRESSURE HYDRANT, SHALL BE PROVIDED TO MUSTANG SUD PRIOR TO ACCEPTANCE OF THE SYSTEM AND BEGINNING OF SERVICE OTHER UTILITIES SUCH AS GAS, ELECTRIC, TELEPHONE, CABLE, ETC. SHALL NOT BE INSTALLED IN THE SAME TRENCH AS WATER SERVICE LINES.

CROSS ROADS MARKET SQUARE
 Lot 3R2-1, 3R2-2, 3R2-3, 3R2-4, 3R2-5X, & 3R2-6X, Block A
 VOLUNTEER ENTERPRISES ADDITION
 32.896 Acres
 in the
 TOWN OF CROSS ROADS
 DENTON COUNTY, TEXAS

WATER PLAN

PRELIMINARY PLANS
 THIS DOCUMENT IS FOR INTERIM REVIEW AND IS NOT INTENDED FOR CONSTRUCTION, BIDDING, OR PERMIT PURPOSES. THE JOHN R. MCADAMS COMPANY, INC. TPBE: 19762 JOSHUA M. BARTON, P.E. #129227 DATE 10/27/2020

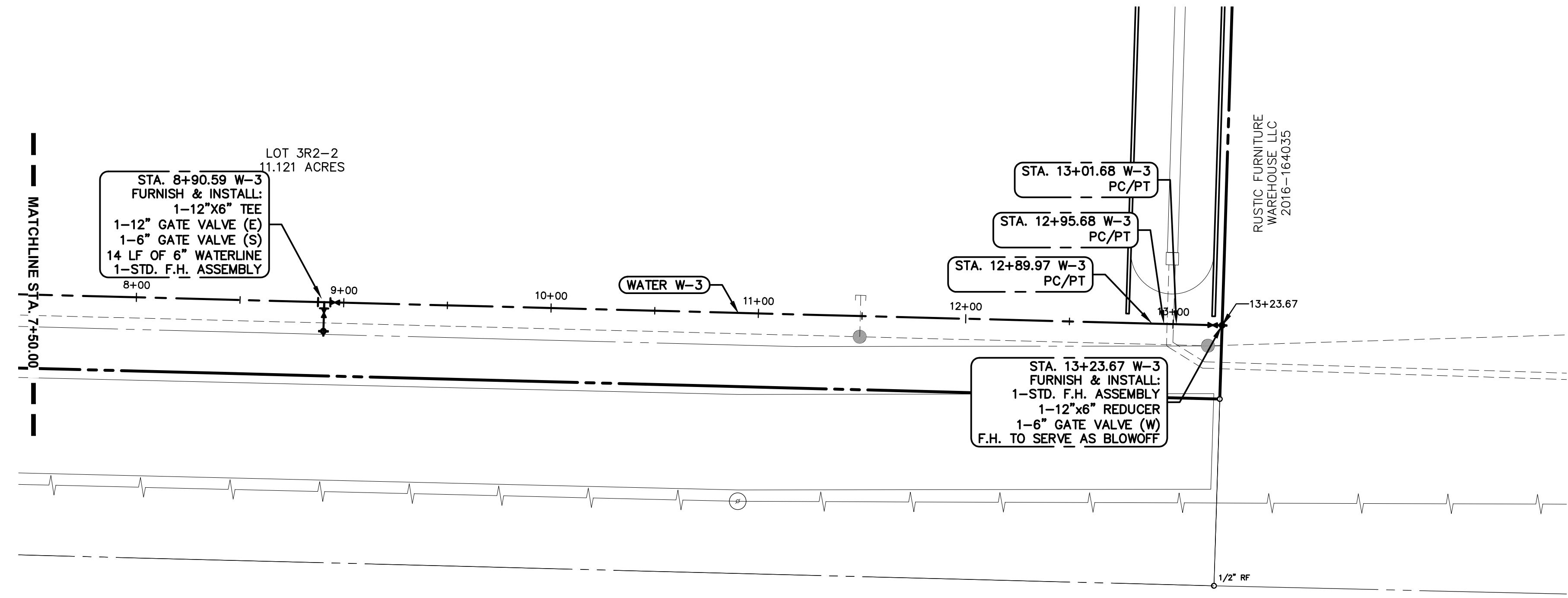
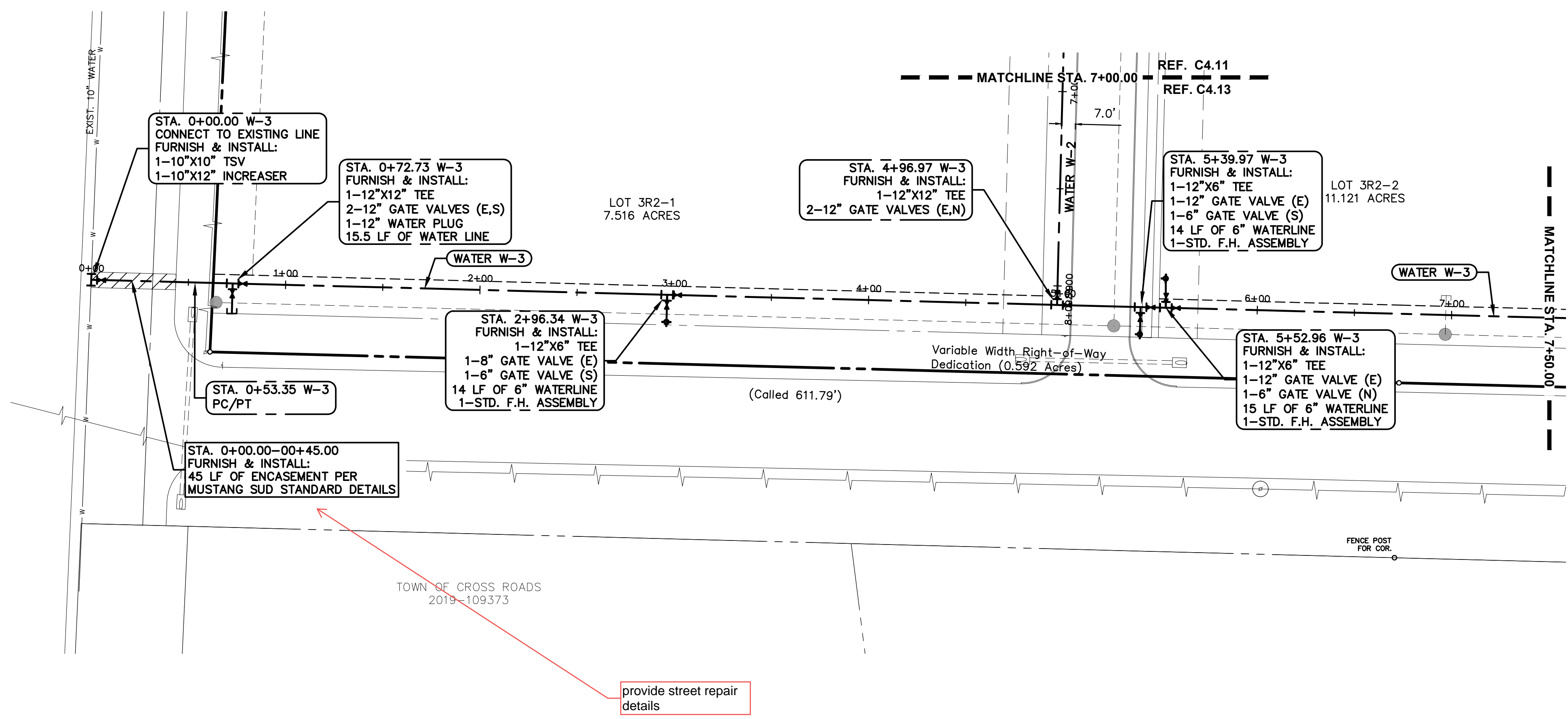
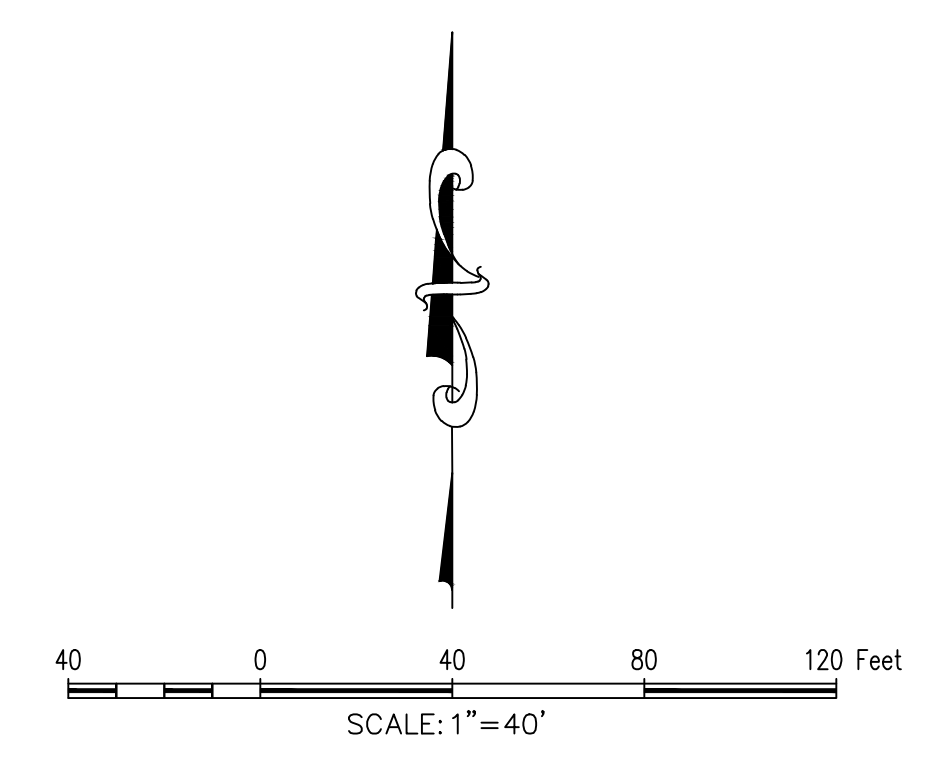
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SPEC-20046

C4.12

OWNER/DEVELOPER
 VOLUNTEER ENTERPRISES IV, LLC
 1895 OLD COAST ROAD, UNIT 2306
 NAPLES, FLORIDA 34110
 Ph. 940-390-2734
 Contact: FRED NICHOLS

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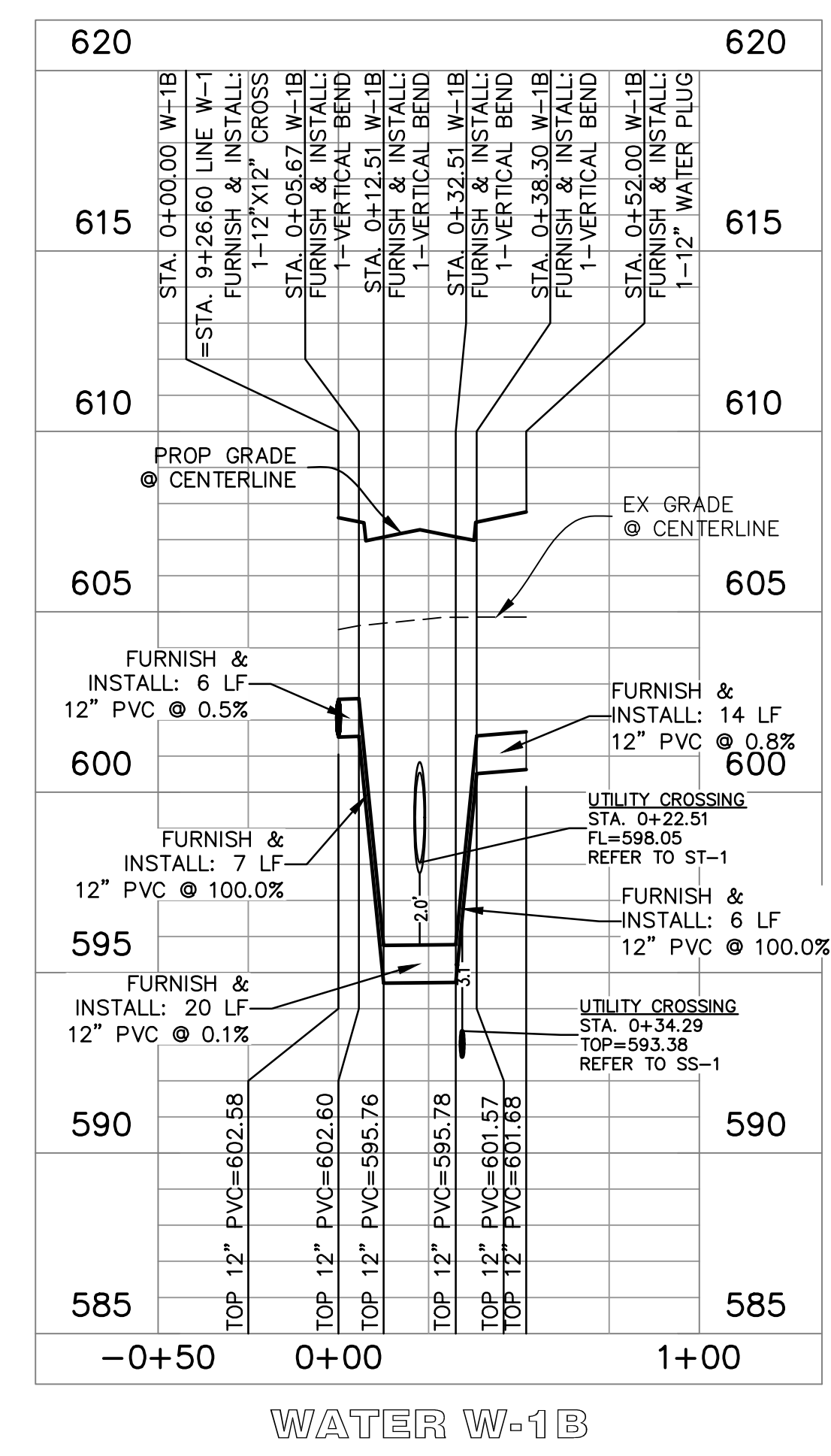
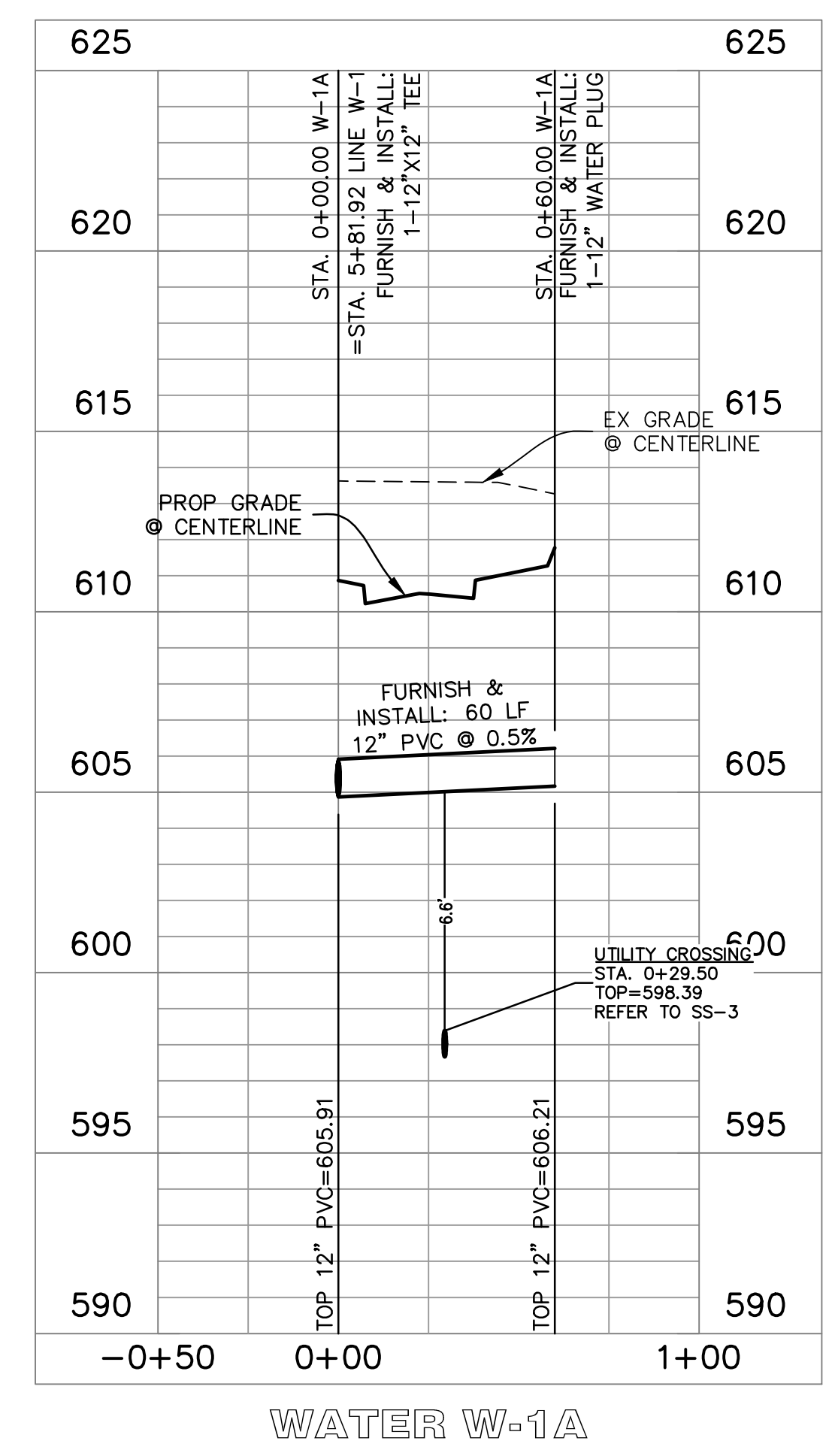
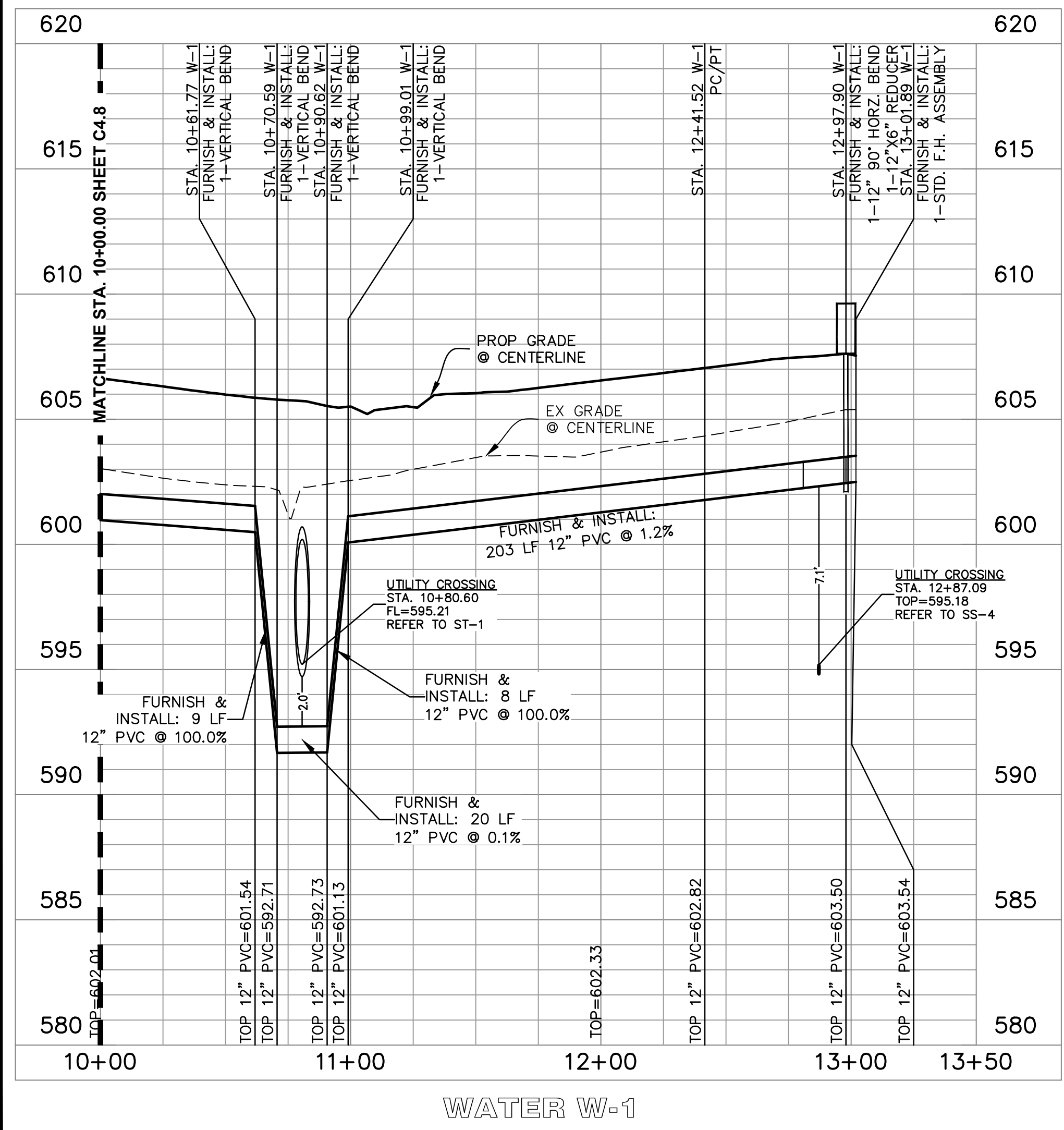
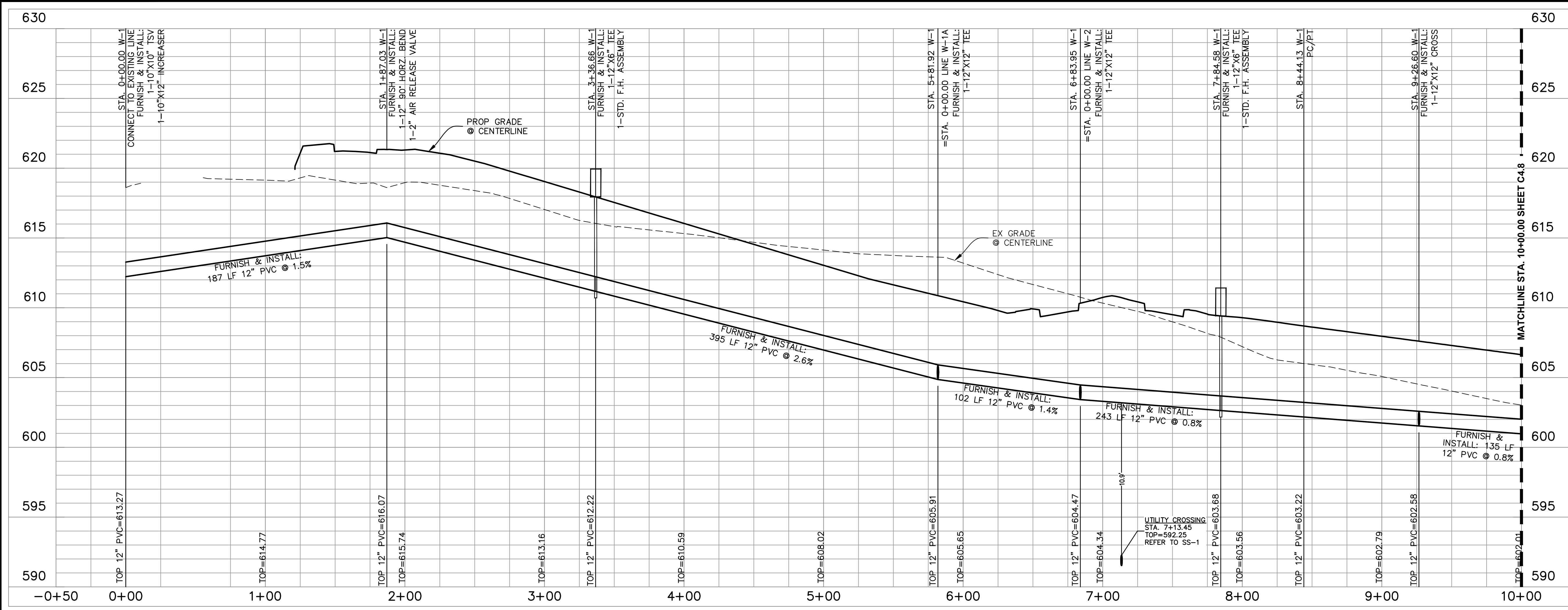
TBM-1: A "T" SET IN BOX ON THE NORTHEAST SIDE OF A TRANSMISSION POLE, APPROXIMATELY 1600 FEET SOUTH OF THE INTERSECTION OF US 380 AND NAYLOR ROAD, AND 55 FEET FROM THE EAST LINE OF NAYLOR ROAD.

TBM-2: A "T" SET IN BOX IN THE SOUTHWEST CORNER OF SONIC PARKING LOT, SONIC IS LOCATED APPROXIMATELY 1100 FEET SOUTHEAST OF THE INTERSECTION OF US 380 AND NAYLOR ROAD.

- GENERAL NOTES**
1. THE CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND DEPTHS OF EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION AND TAKES RISK OF UNKNOWN CONDITIONS.
 2. ALL WATER MAINS SHALL HAVE MINIMUM COVER OF 48 INCHES PER CITY STANDARDS.
 3. ALL UTILITY SLEEVES MUST BE INSTALLED BEFORE PAVING CAN BEGIN.
 4. FIRE HYDRANT ASSEMBLY INCLUDES 6" LEAD WITH 90° BEND PER TOWN STANDARD CONSTRUCTION DETAILS.
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 - 9.

BLOOMFIELD HOMES LP
 2015-37904

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- UTILITY NOTES**
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MCADAMS

CROSS ROADS MARKET SQUARE
 Lot 3R2-1, 3R2-2, 3R2-3, 3R2-4, 3R2-5X, & 3R2-6X, Block A
 VOLUNTEER ENTERPRISES ADDITION
 32.836 Acres

MARCELLA JONES SURVEY, ABSTRACT NO. 662
 TOWN OF CROSS ROADS
 DENTON COUNTY, TEXAS

The John R. McAdams Company, Inc.
 111 Hillside Drive
 Lewisville, Texas 75057
 972.435.9712
 201 Country View Drive
 Rockwall, TX 75087
 940.240.1012
 TBPE: 19762 TBPLS: 10194440
 www.mcadams.com

WATER PROFILES

PRELIMINARY PLANS
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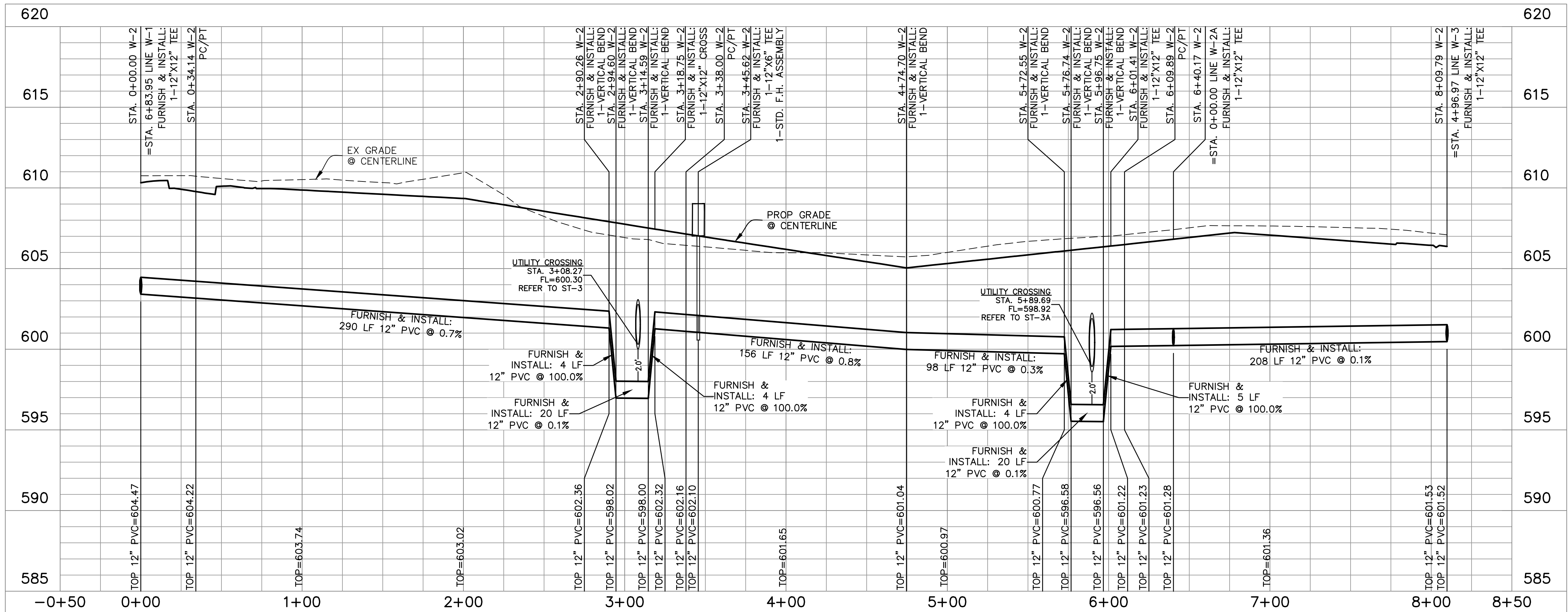
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 Revisions:
 07/13/2020
 08/27/2020
 10/27/2020

OWNER/DEVELOPER
 VOLUNTEER ENTERPRISES IV, LLC
 1895 OLD COAST ROAD, UNIT 2306
 NAPLES, FLORIDA 34110
 Ph. 940-390-2734
 Contact: FRED NICHOLS

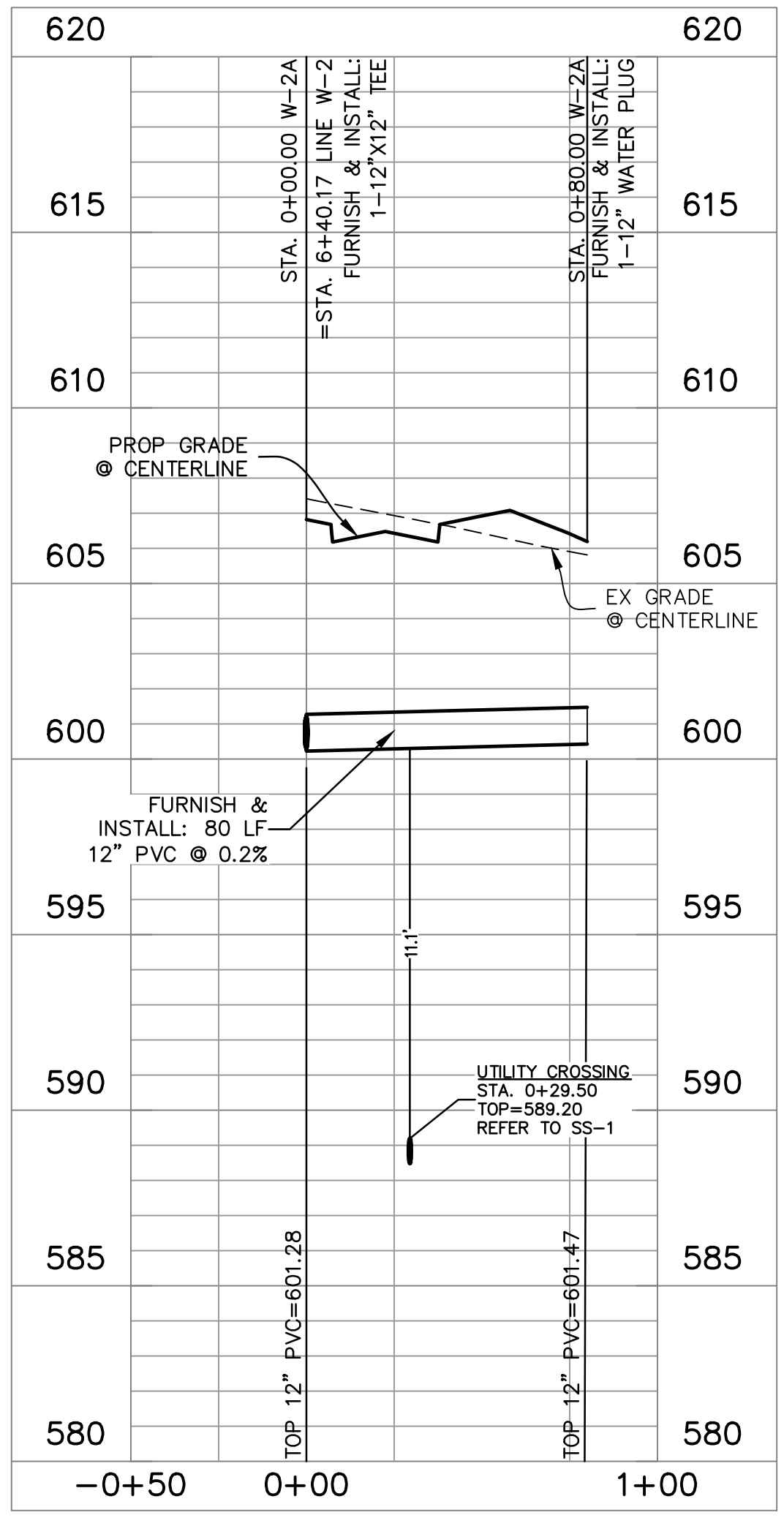
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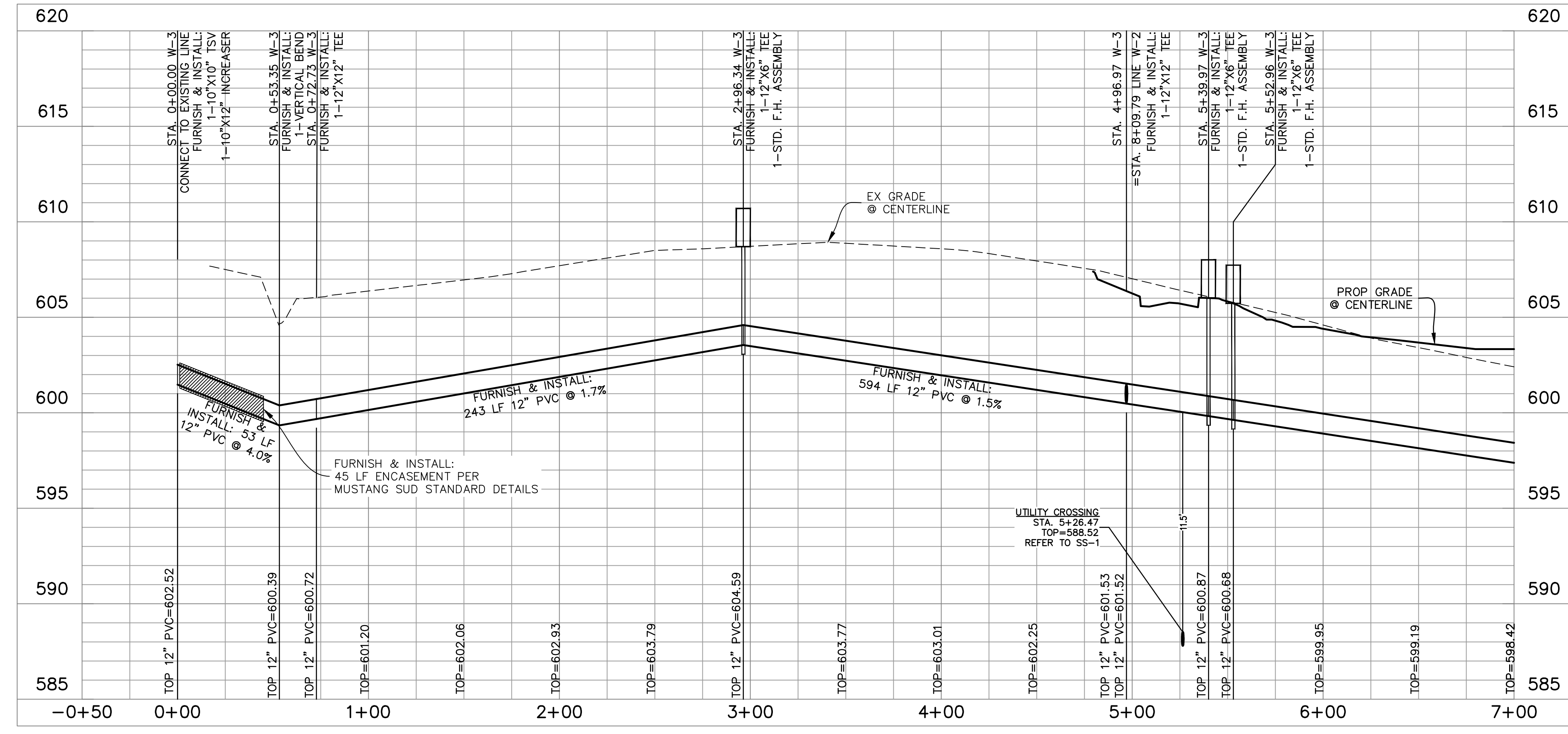
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WATER W-2

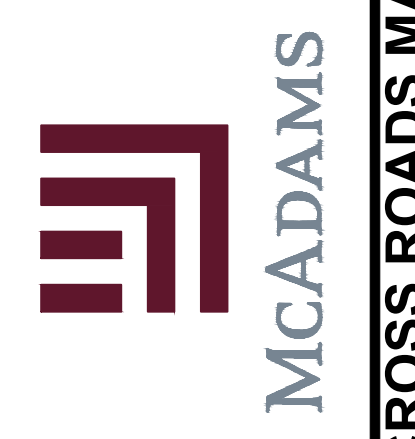


WATER W-2A



WATER W-3

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CROSS ROADS MARKET SQUARE
Lot 3R2-1, 3R2-2, 3R2-3, 3R2-4, 3R2-5X, & 3R2-6X, Block A
VOLUNTEER ENTERPRISES ADDITION
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WATER PROFILES

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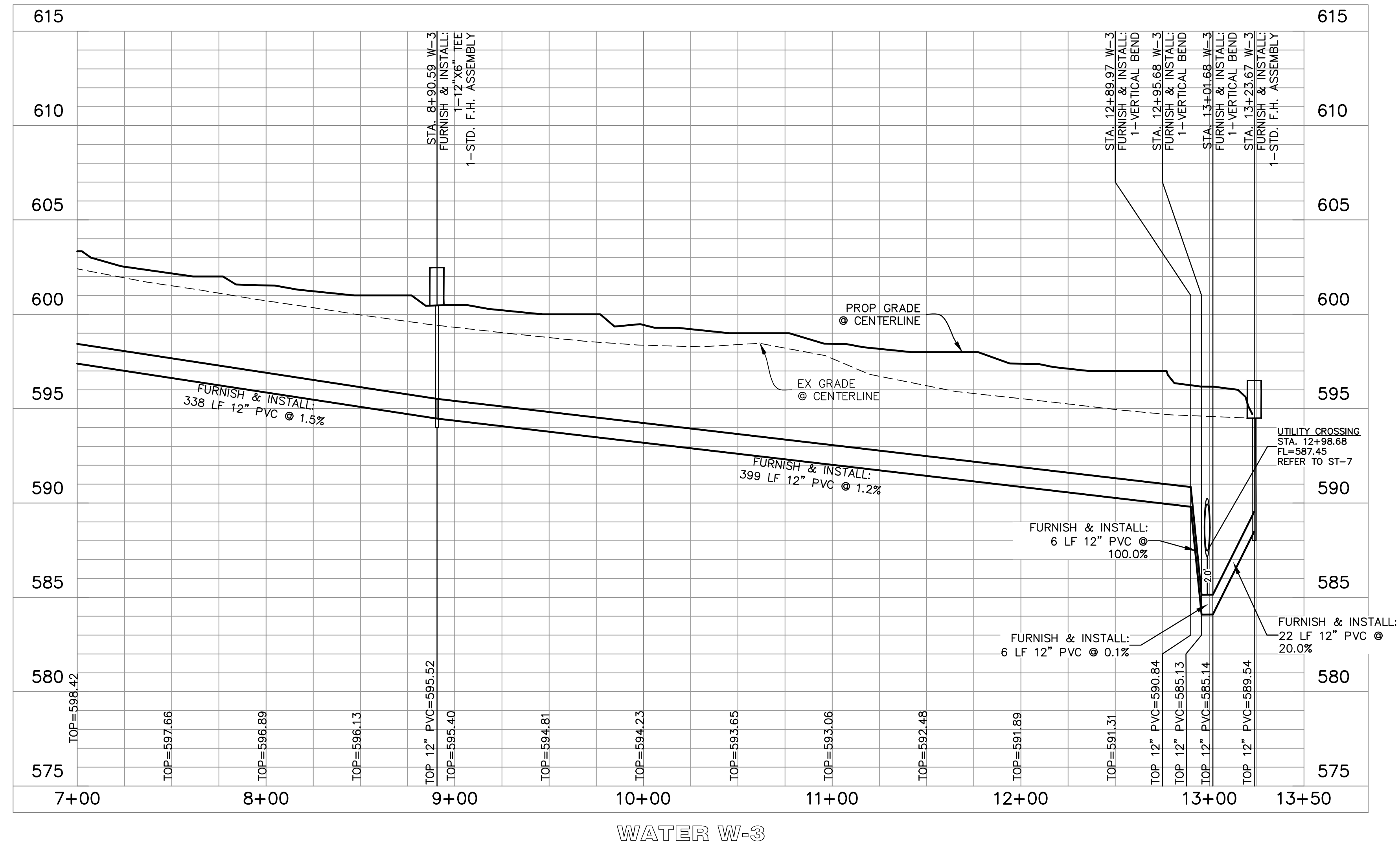
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SPEC-20046

OWNER/DEVELOPER
VOLUNTEER ENTERPRISES IV, LLC
1895 OLD COAST ROAD, UNIT 2306
NAPLES, FLORIDA 34110
Ph. 840-390-2734
Contact: FRED NICHOLS



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- UTILITY NOTES**
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WATER PROFILES

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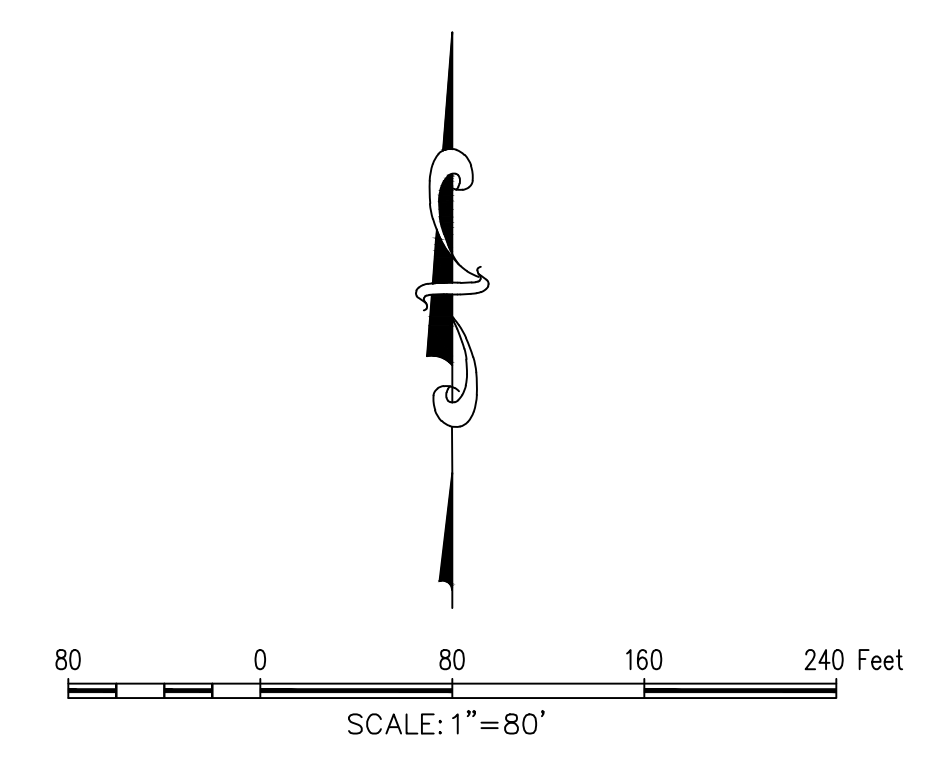
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 NAPLES, FLORIDA 34110
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MCADAMS
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 111 Hillside Drive
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 972.435.9712
 201 Country View Drive
 Rowlett, Texas 75087
 940.240.1012
 TBPE: 19762 TBPLS: 10194440
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- GENERAL NOTES**
1. EROSION CONTROL MATTING SHALL BE PLACED ON ANY SLOPE 4:1 OR GREATER.
 2. THE TOWN OF CROSS ROADS CONSTRUCTION STANDARDS APPLY WHETHER INDICATED ON THESE PLANS OR NOT.
 3. THE CONTRACTOR SHALL RESTORE ALL AREAS, ONSITE AND OFFSITE, DISTURBED BY CONSTRUCTION TO ORIGINAL CONDITION OR BETTER. RESTORED AREAS INCLUDE, BUT ARE NOT LIMITED TO: TRENCH BACKFILL, SIDE SLOPES, FENCES, CULVERT PIPES, DRAINAGE SWALES, STAGING AREAS, DRIVEWAYS, PRIVATE YARDS AND ROADWAYS. UNLESS OTHERWISE DIRECTED BY THE LANDSCAPE DRAWINGS, RESTORATION SHALL INCLUDE HYDROMULCHING ALL DISTURBED AREAS WITH A SLOPE OF LESS THAN 20% (1:5) AND SODDING AREAS WITH A SLOPE OF 20% (1:5) OR GREATER. ESTABLISHMENT OF GRASS THROUGH PROPER WATERING IS LEFT UP TO THE CONTRACTOR'S MEANS AND METHODS, UNLESS OTHERWISE DIRECTED BY THE LANDSCAPE/IRRIGATION DRAWINGS.

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 www.mcadamsco.com

MCADAMS

CROSS ROADS MARKET SQUARE
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MARCELLA JONES SURVEY, ABSTRACT NO. 662

EROSION CONTROL PLAN

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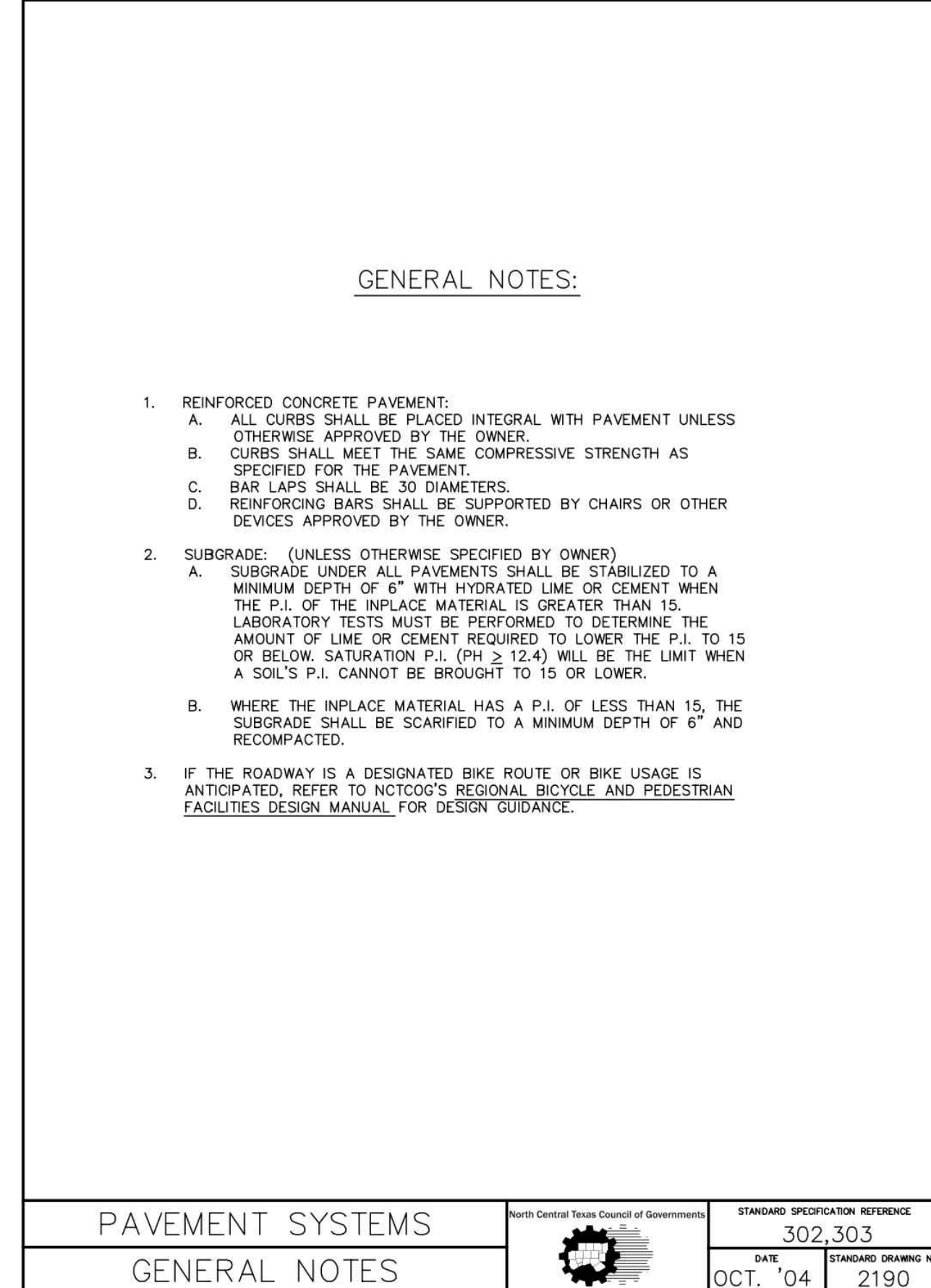
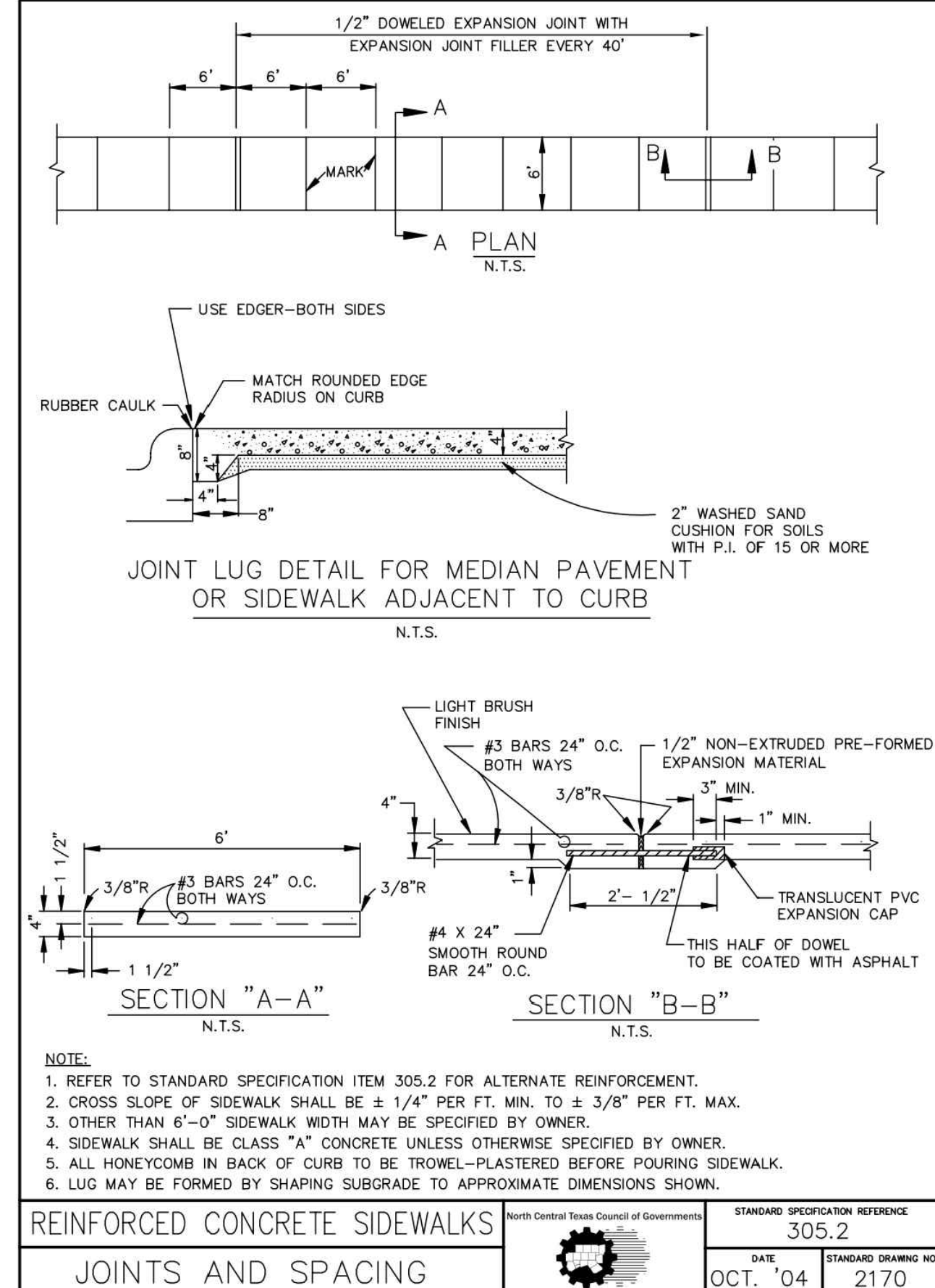
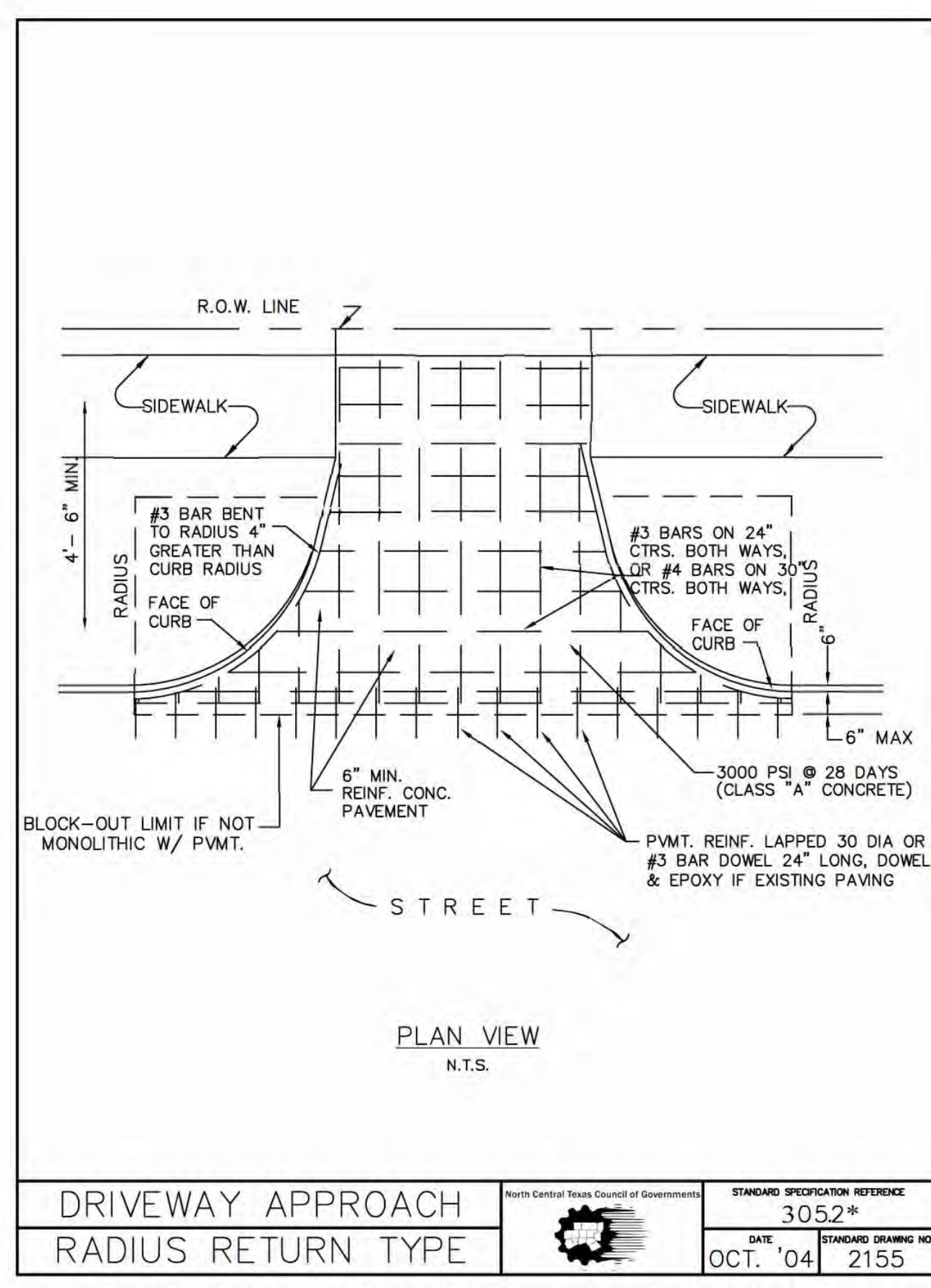
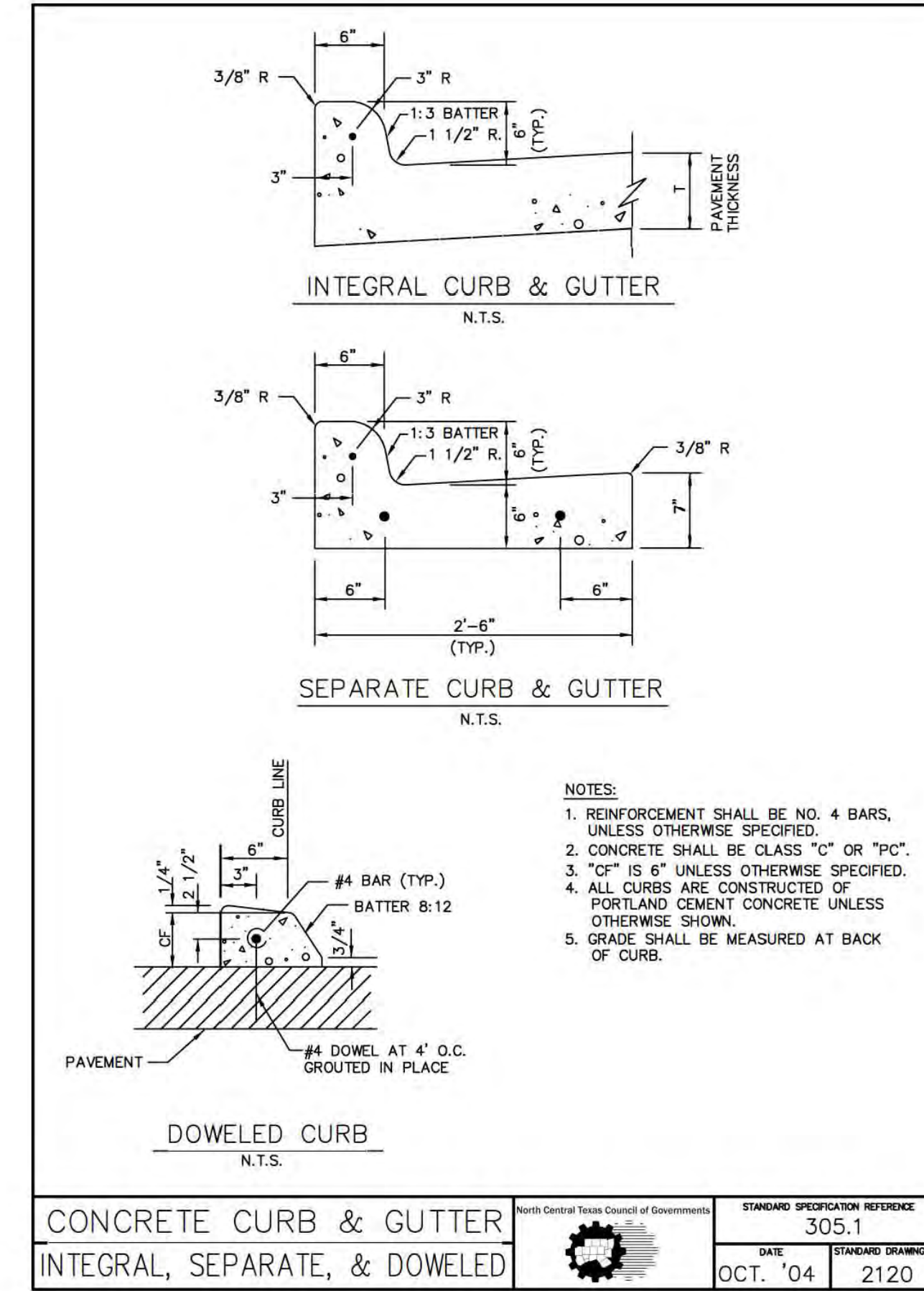
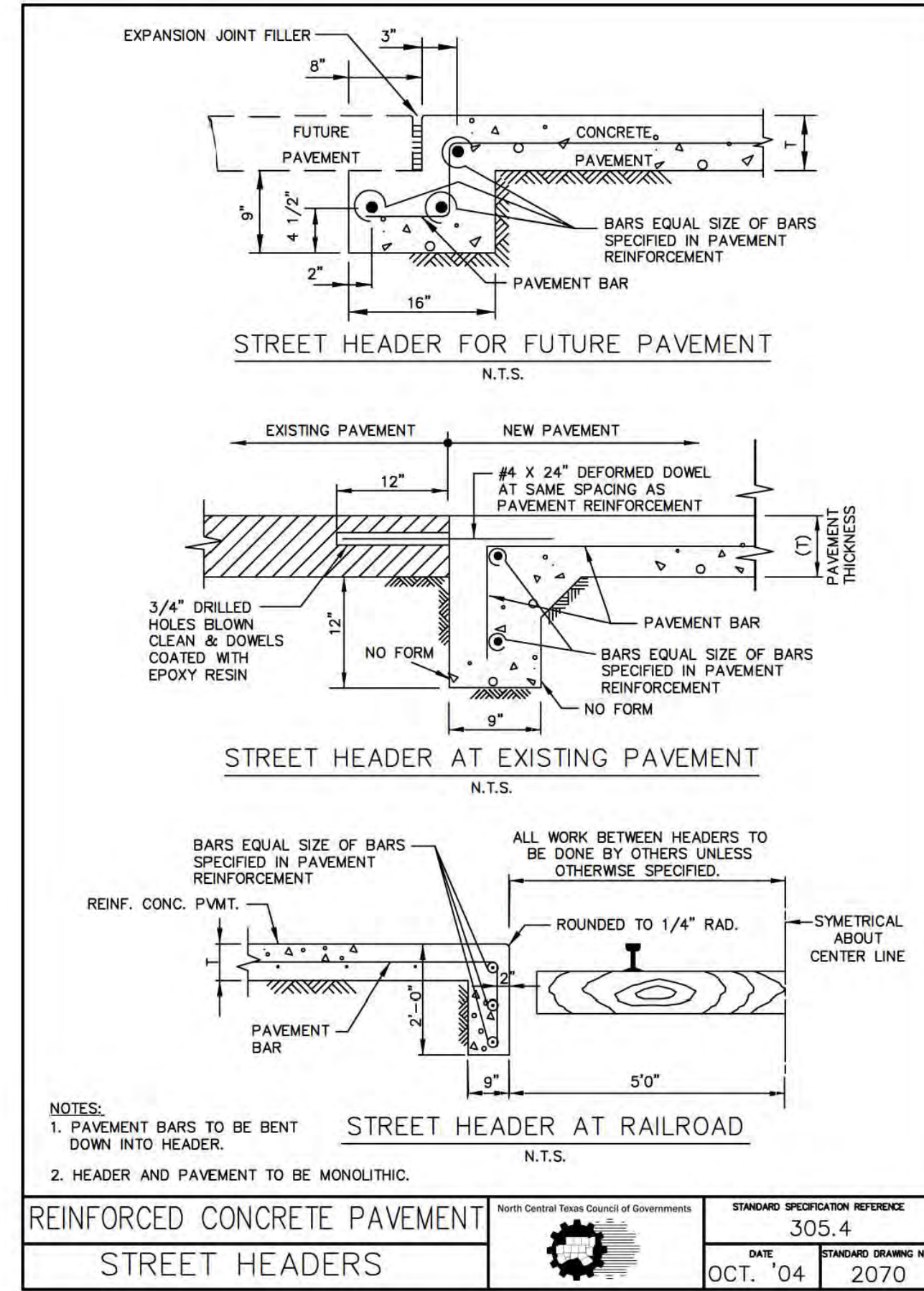
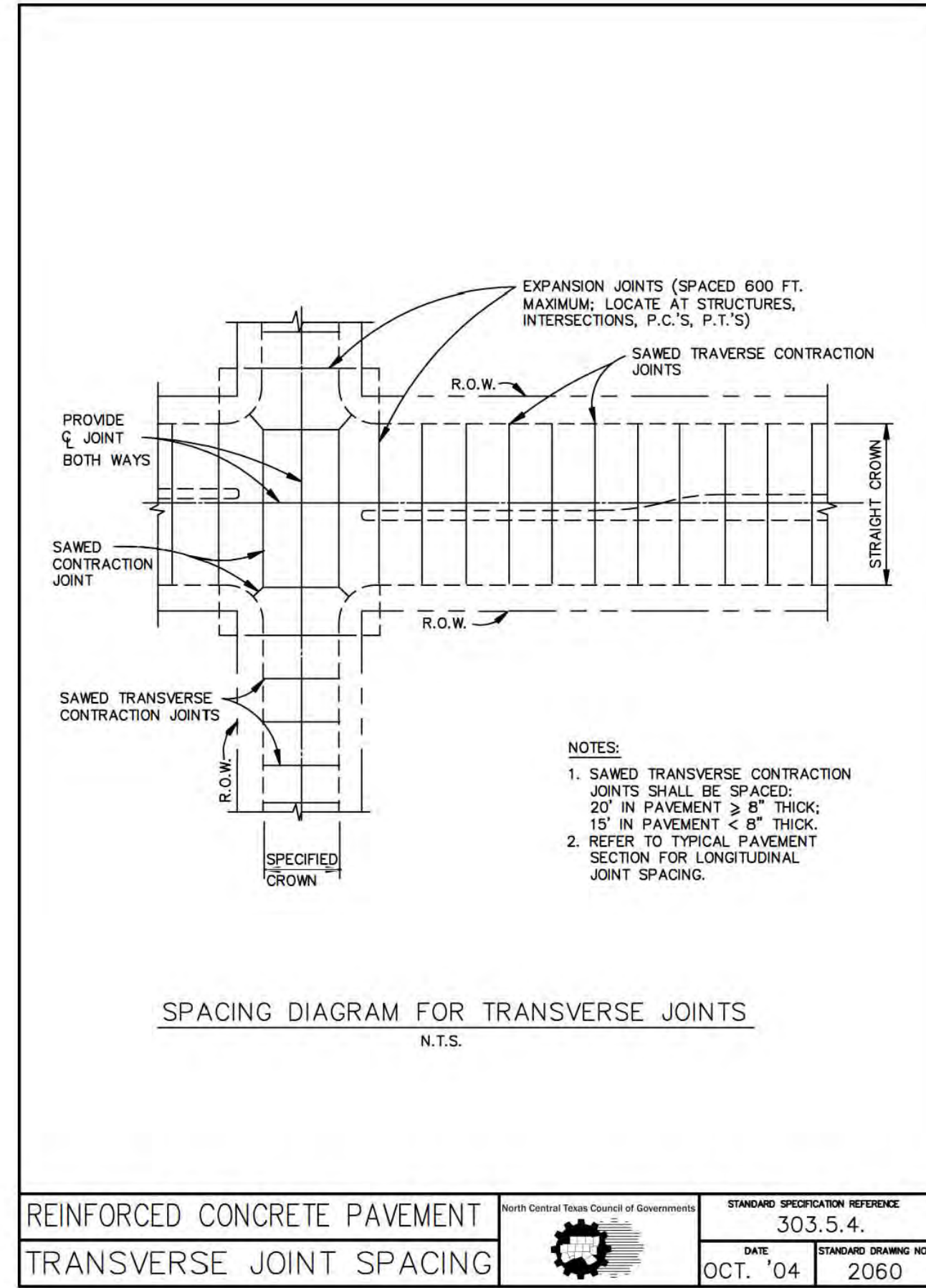
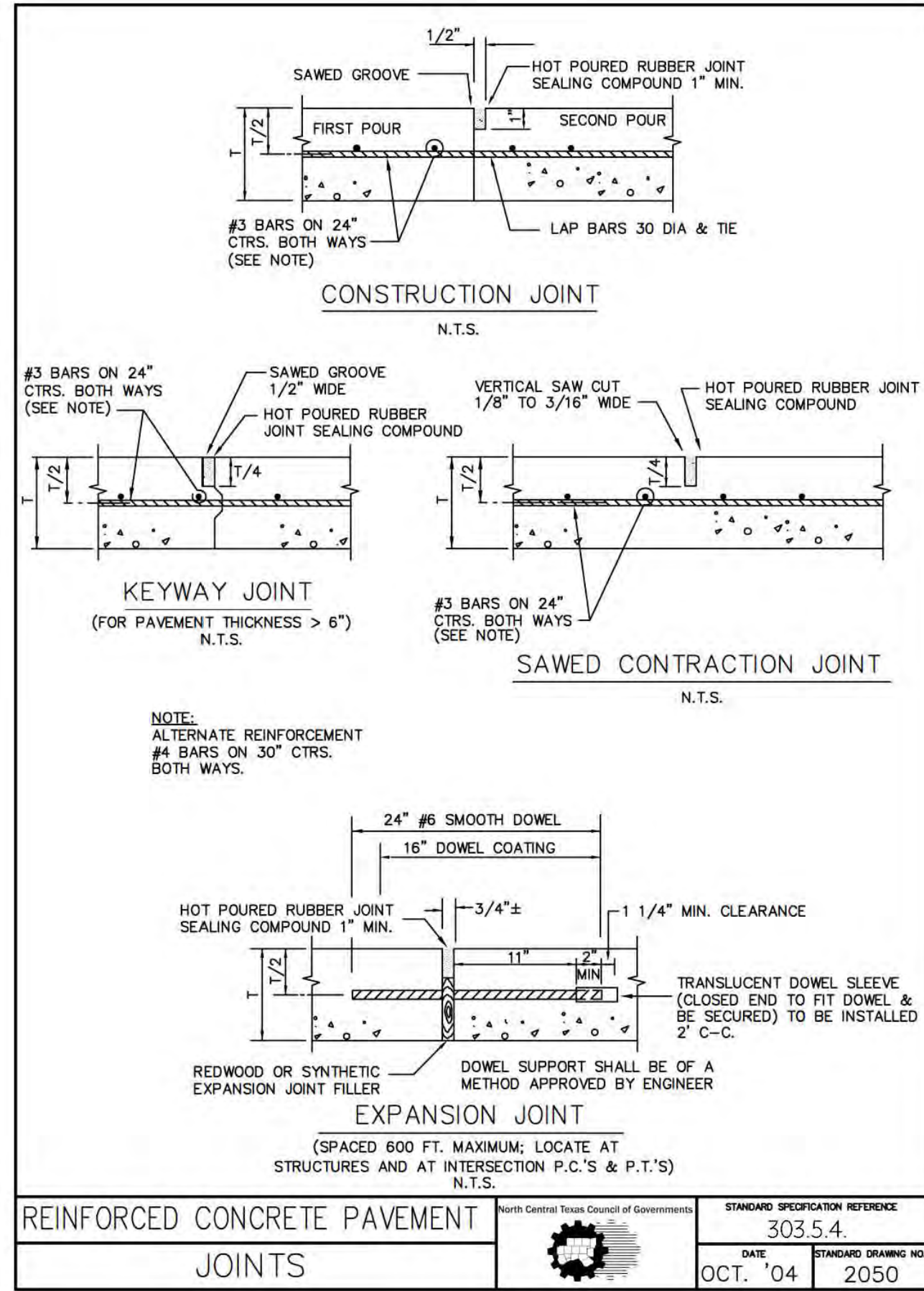
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08/27/2020
10/27/2020

SPEC-20046

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OWNER/DEVELOPER
 VOLUNTEER ENTERPRISES IV, LLC
 1895 OLD COAST ROAD, UNIT 2306
 NAPLES, FLORIDA 34110
 Ph. 940-390-2734
 Contact: FRED NICHOLS

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MCADAMS

CROSS ROADS MARKET SQUARE
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VOLUNTEER ENTERPRISES ADDITION
32.896 Acres
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MARCELLA JONES SURVEY, ABSTRACT NO. 662
TOWN OF CROSS ROADS
DENTON COUNTY, TEXAS

STANDARD CONSTRUCTION DETAILS

PRELIMINARY PLANS
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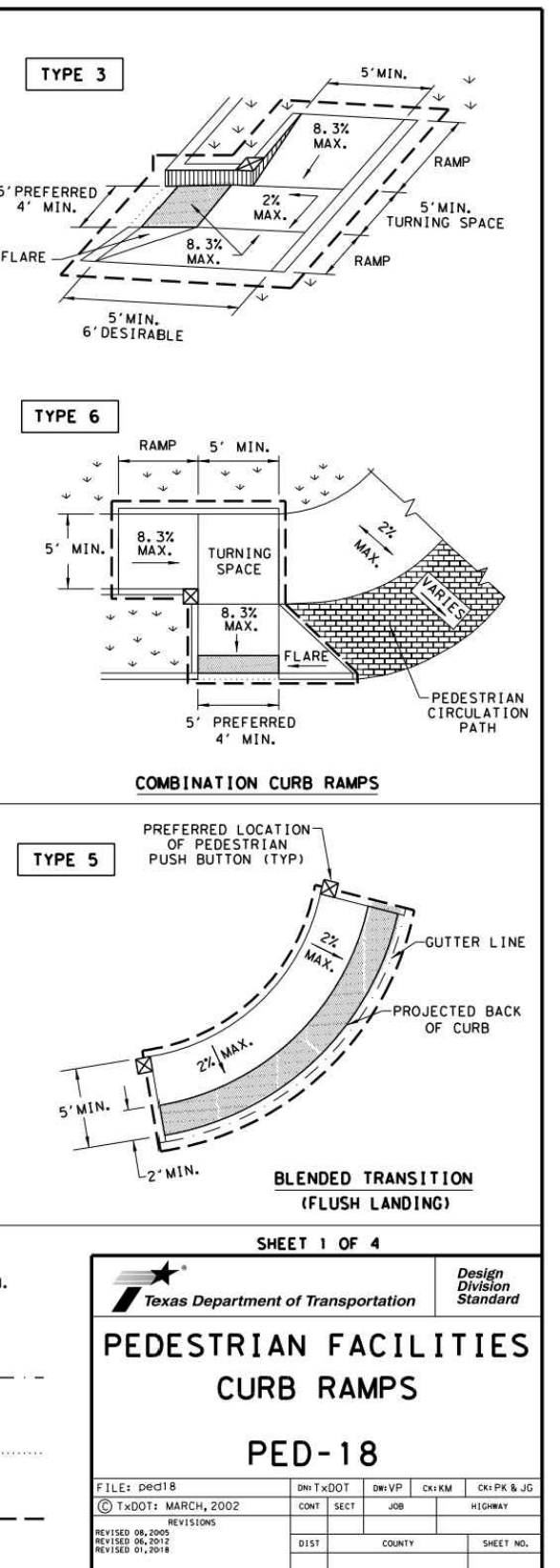
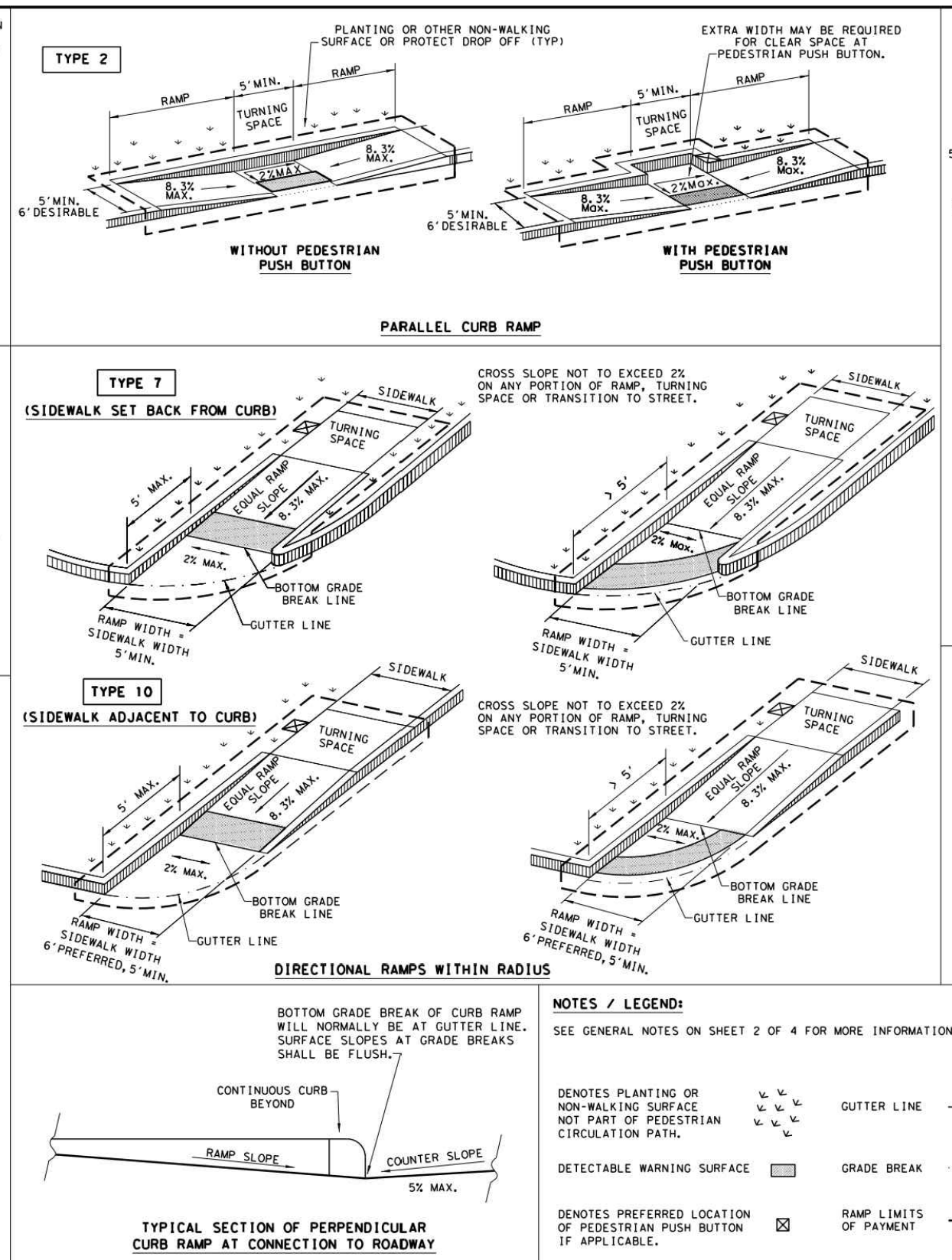
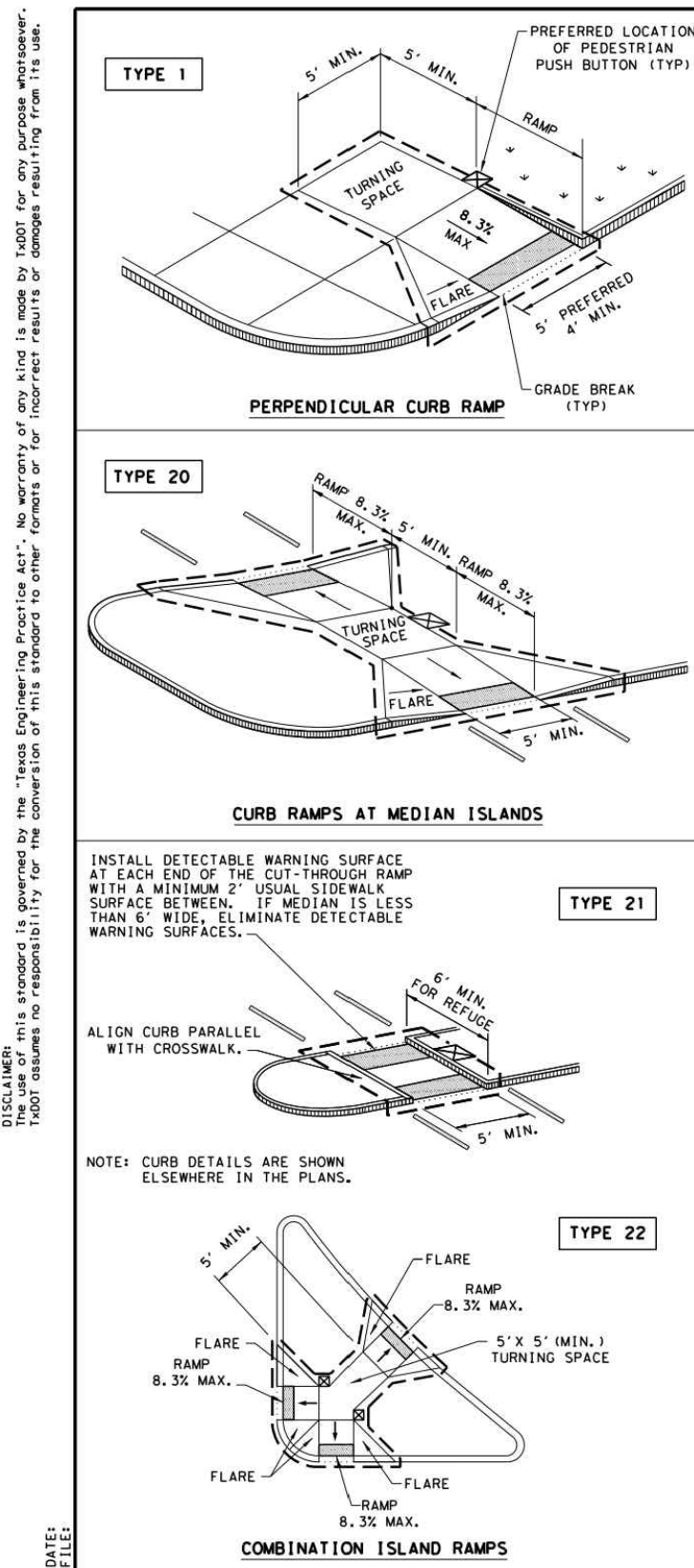
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Contact: FRED NICHOLS

C8.1

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PEDESTRIAN FACILITIES CURB RAMPS

PED-18

SHEET 1 OF 4

Texas Department of Transportation

Design Division Standard

FILED: 06/01/2020

DATE: 06/01/2020

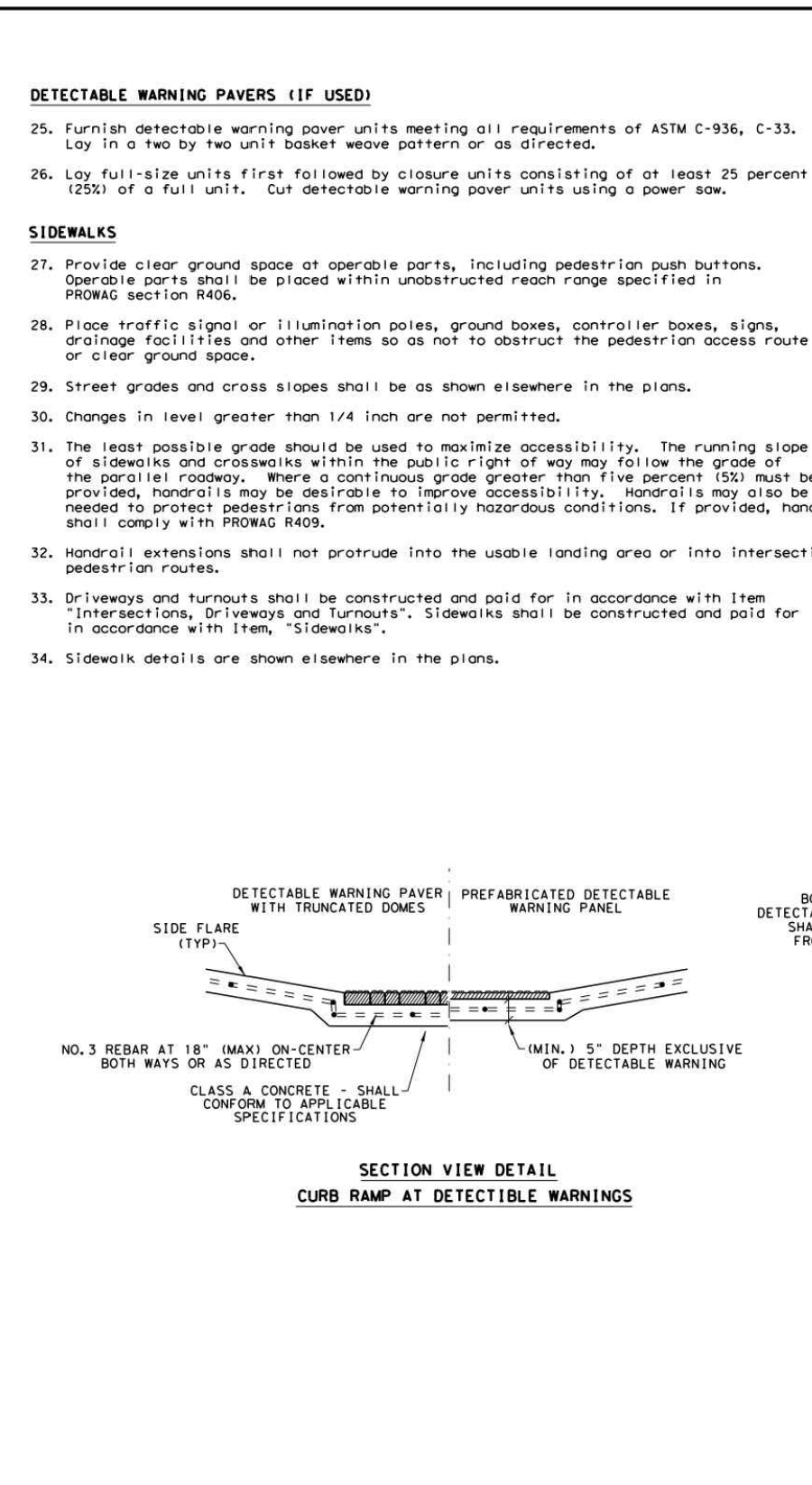
GENERAL NOTES

CURB RAMPS

1. Install a curb ramp or blended transition at each pedestrian street crossing.
2. All slopes shall be a maximum of 1:12. Cross slopes of 1:55 and lesser running shall be used. Adjust curb ramp length or grade of approach sidewalks as directed.
3. Maximum allowable cross slope on sidewalk and curb ramp surfaces is 2%.
4. The minimum sidewalk width is 5', where the sidewalk is adjacent to the back of curb, a sidewalk width is desirable, where a 5' sidewalk cannot be provided due to the 5' x 5' passing area of ramps not to exceed 200' are required.
5. Turning spaces shall be 5' x 5' minimum. Cross slope shall be maximum 2%.
6. Clear space at the bottom of curb ramps shall be a minimum of 4' x 4' wholly contained within the crosswalk and wholly outside the parallel vehicular travel lanes.
7. Provide flared sides where the pedestrian circulation path crosses the curb ramp. Flared sides shall be a slope of 10% maximum, measured parallel to the curb. Retained curbs may be used only where pedestrians would not normally walk across the ramp, either because the adjacent surface is planted, substantially obstructed, or otherwise protected.
8. Additional information on curb ramp location, design, lighting, reflective value and texture may be found in the latest draft of the proposed guidelines for Pedestrian Facilities in the Public Right of Way (PRFW) as published by the U.S. Architectural and Transportation Barriers Compliance Board (Access Board).
9. To serve as a pedestrian refuge area, the median shall be a minimum of 6' wide measured from back of curb. Medians should be designed to provide accessible passage over or through them.
10. Small channelization islands, which do not provide a minimum 5' x 5' landing at the top of curb ramps, shall be cut through level with the surface of the street.
11. Crosswalk dimensions, crosswalk markings and stop bar locations shall be as shown elsewhere in the plans. At intersections where crosswalk markings are not required, curb ramps shall align with theoretical crosswalks unless otherwise directed.
12. Provide curb ramps to connect the pedestrian access route of each pedestrian street crossing. Handrails are not required on curb ramps.
13. Curb ramps and landings shall be constructed and paid for in accordance with Item 531 "Sidewalks".
14. Place concrete to a minimum depth of 5" for ramps, flares and landings, unless otherwise directed.
15. Furnish and install No. 3 reinforcing steel bars at 18" o.c. both ways.
16. Provide a smooth transition where the curb ramps connect to the street.
17. Curb ramps shall be 1' within the limits of payment or considered part of the curb ramp for payment, whether it is concrete curb, gutter, or combined curb and gutter.
18. Existing features that comply with applicable standards may remain in place unless otherwise shown on the plans.

DETECTABLE WARNING MATERIAL

19. Curb ramps must contain a detectable warning surface that consists of raised truncated domes complying with PROWAG. The surface must contrast visually with adjoining surfaces, including side flares. Furnish and install an approved cost-in-place curb ramp or detectable warning surface material adjacent to uncolored concrete, unless specified elsewhere in the plans.
20. Detectable warning materials must meet TxDOT Departmental Materials Specification DM-400 and be listed on the Material Producer List. Initial products in accordance with manufacturer's specifications.
21. Detectable warning surfaces must be firm, stable and slip resistant.
22. Detectable warning surfaces shall be a minimum of 24 inches in depth in the direction of pedestrian travel, and extend the full width of the curb ramp or landing where the pedestrian access route enters the street.
23. Detectable warning surfaces shall be located so that the edge nearest the curb line is on the back of curb and neither end of that edge is greater than 5 feet from the back of curb. Detectable warning surfaces may be curved along the corner radius.
24. Shaded areas on Sheet 1 of 4 indicate the approximate location for the detectable warning surface for each curb ramp type.



PEDESTRIAN FACILITIES CURB RAMPS

PED-18

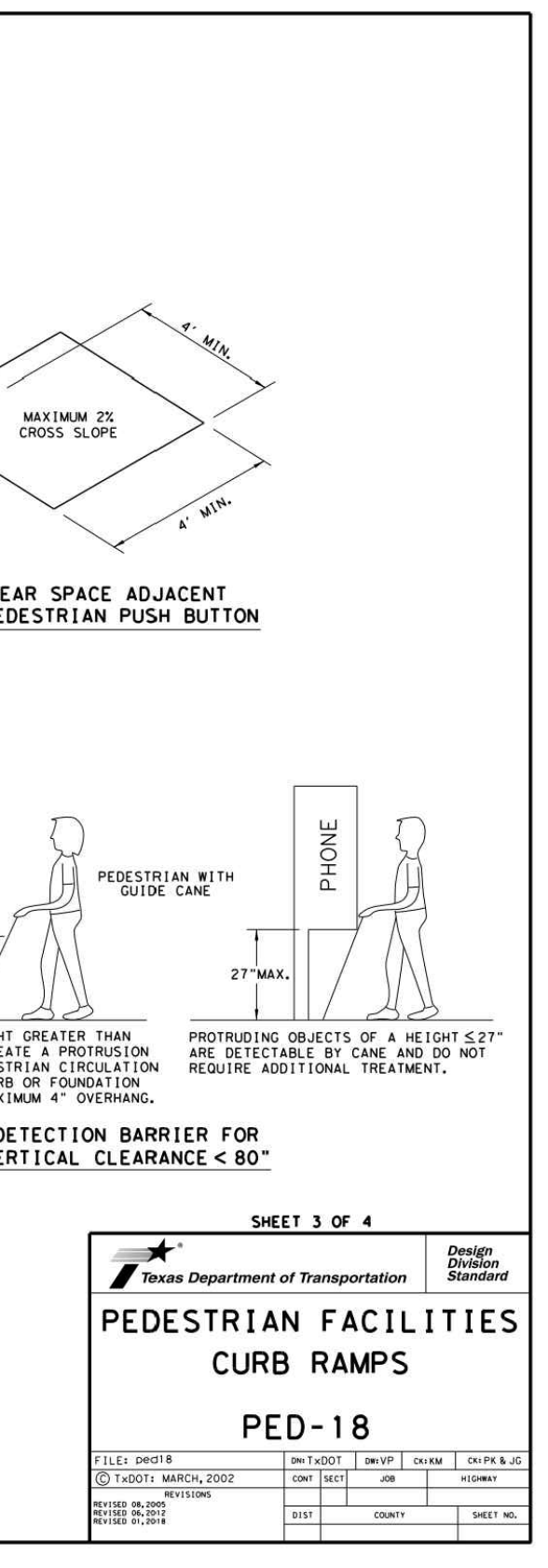
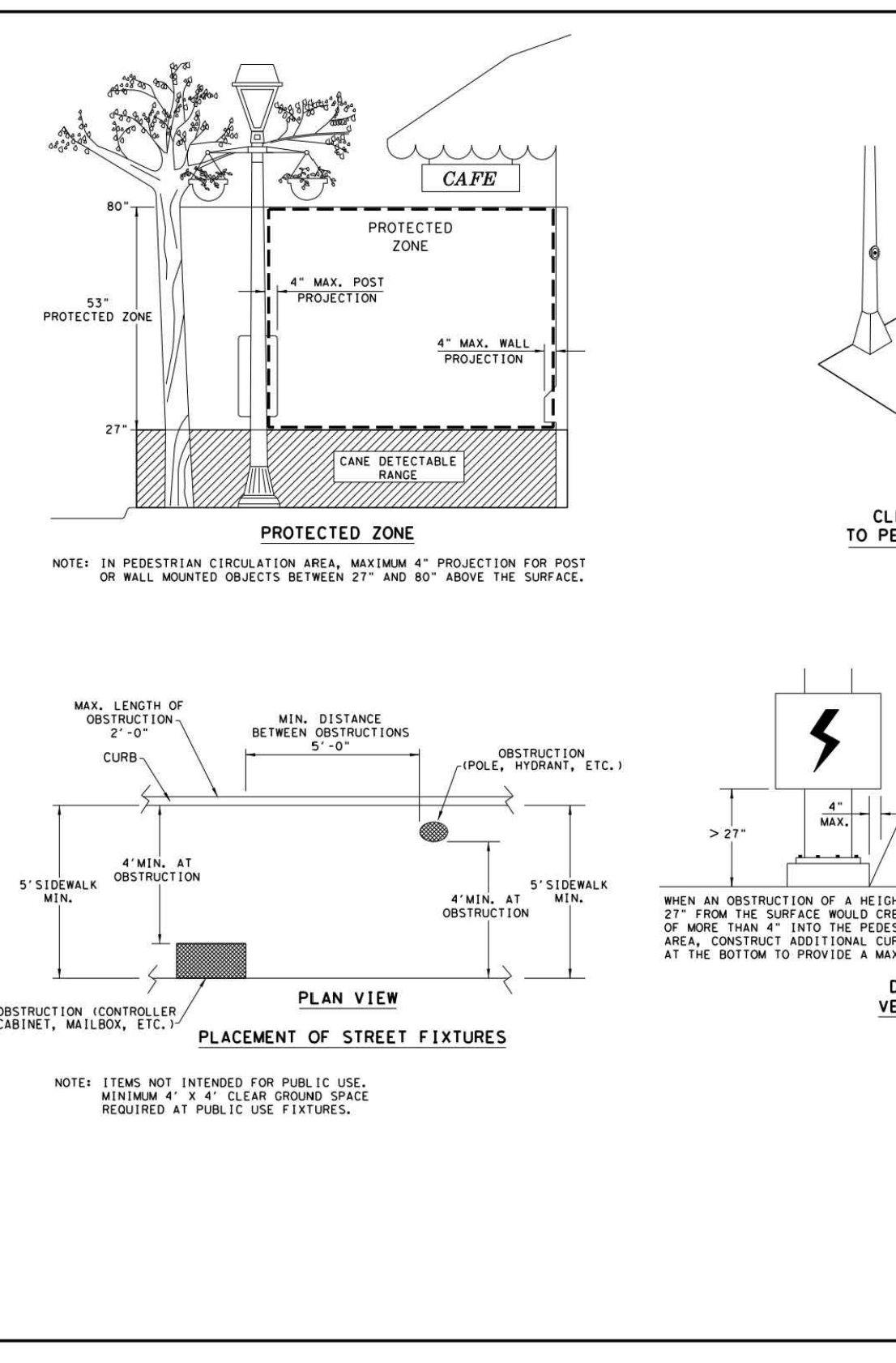
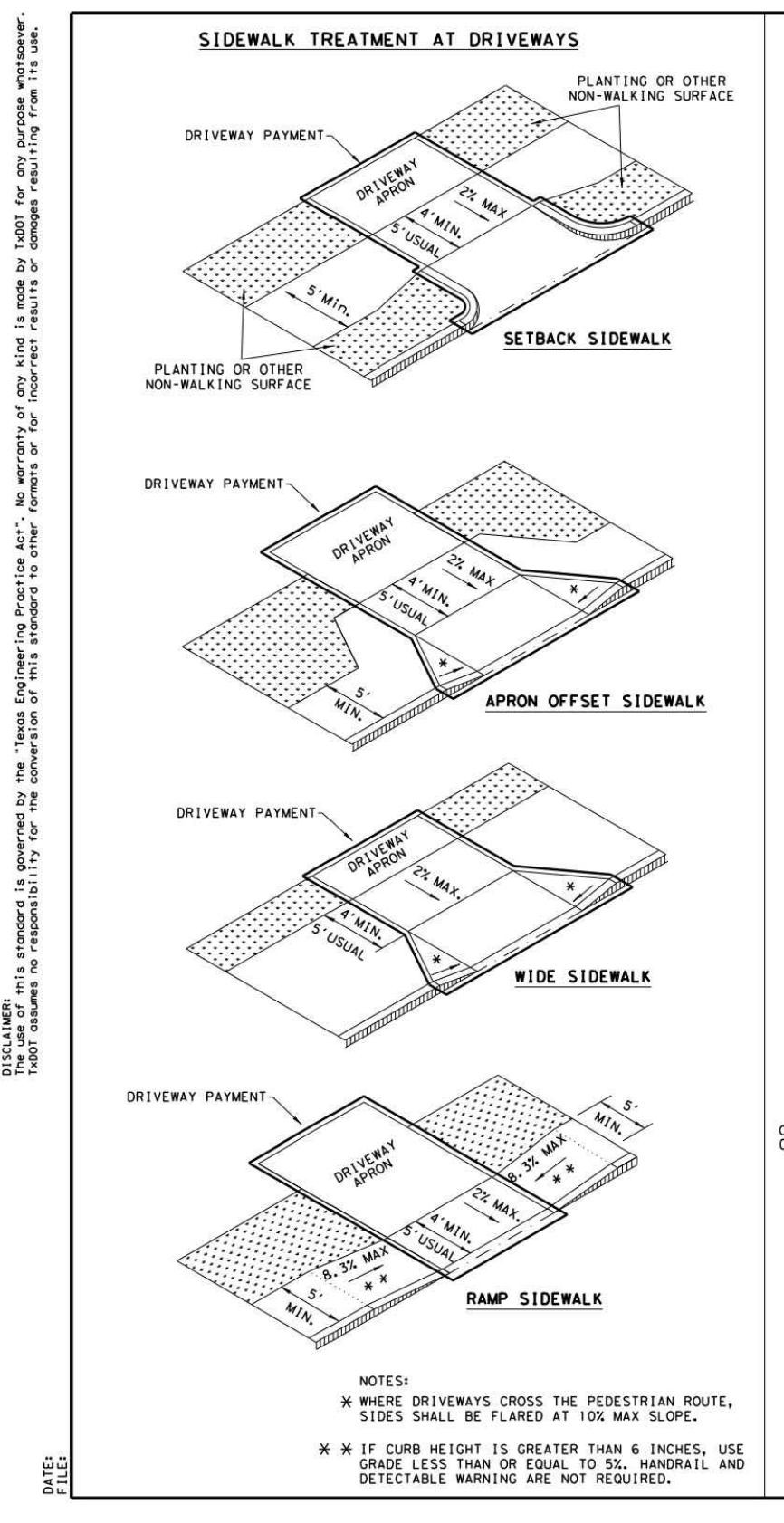
SHEET 2 OF 4

Texas Department of Transportation

Design Division Standard

FILED: 06/01/2020

DATE: 06/01/2020



PEDESTRIAN FACILITIES CURB RAMPS

PED-18

SHEET 3 OF 4

Texas Department of Transportation

Design Division Standard

FILED: 06/01/2020

DATE: 06/01/2020

TYPICAL CROSSING LAYOUTS

SEE SHEET 1 OF 4 FOR DETAILS AND DIMENSIONS

SPLIT RADIAL RAMP PLACEMENT

SIDEWALK ADJACENT TO CURB

SIDEWALK REMOTE FROM CURB

SKewed INTERSECTION WITH "LARGE" RADIUS

SKewed INTERSECTION WITH "SMALL" RADIUS

NORMAL INTERSECTION WITH "SMALL" RADIUS

AT INTERSECTION W/ FREE RIGHT TURN & ISLAND

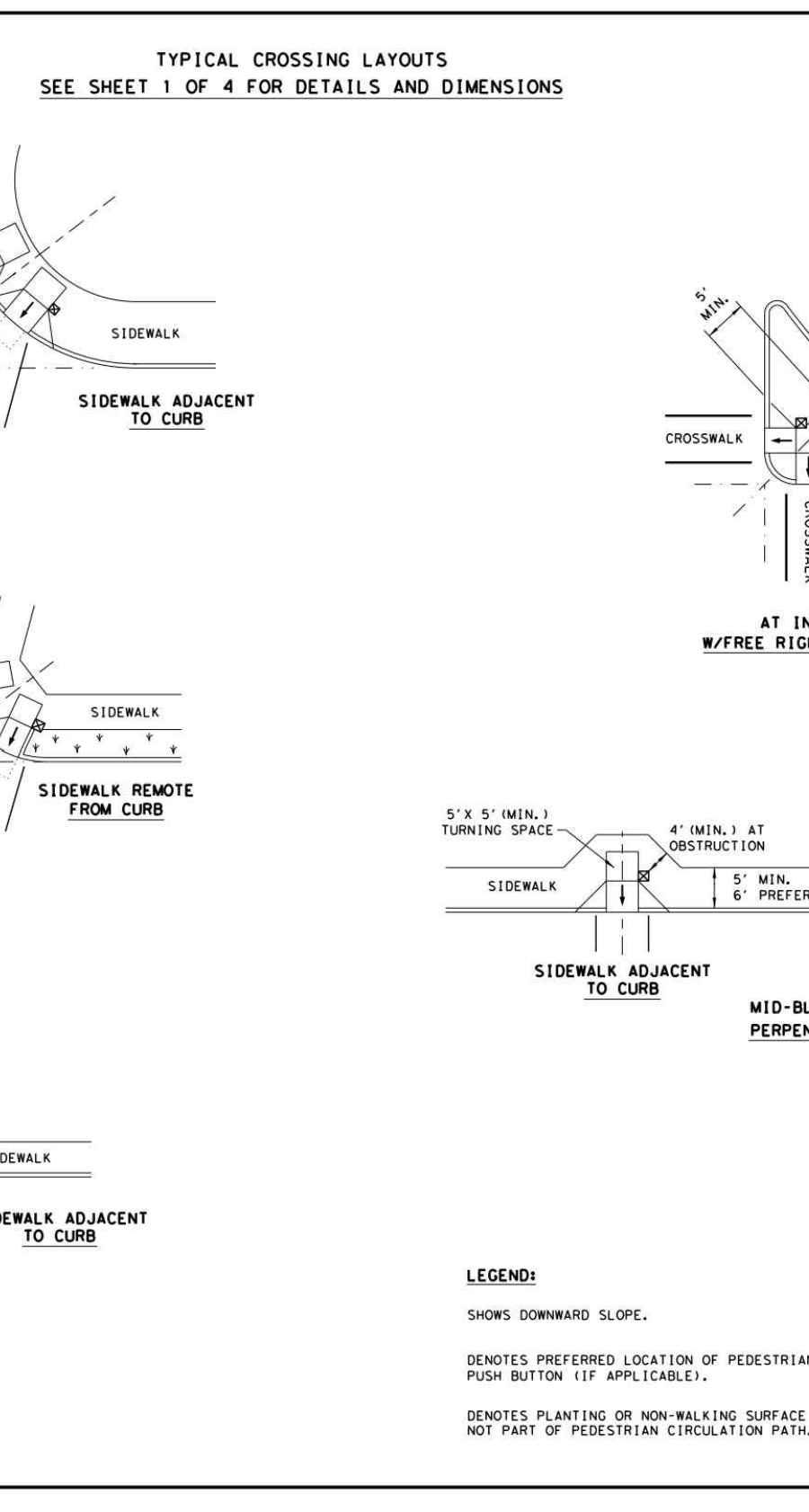
MID-BLOCK PLACEMENT PERPENDICULAR RAMPS

LEGEND:

SHOWS DOWNWARD SLOPE.

DENOTES PREFERRED LOCATION OF PEDESTRIAN PUSH BUTTON (IF APPLICABLE).

DENOTES PLANTING OR NON-WALKING SURFACE NOT PART OF PEDESTRIAN CIRCULATION PATH.



PEDESTRIAN FACILITIES CURB RAMPS

PED-18

SHEET 4 OF 4

Texas Department of Transportation

Design Division Standard

FILED: 06/01/2020

DATE: 06/01/2020



PEDESTRIAN FACILITIES CURB RAMPS

PED-18

SHEET 3 OF 4

Texas Department of Transportation

Design Division Standard

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TYPICAL CROSSING LAYOUTS

SEE SHEET 1 OF 4 FOR DETAILS AND DIMENSIONS

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LEGEND:

SHOWS DOWNWARD SLOPE.

DENOTES PREFERRED LOCATION OF PEDESTRIAN PUSH BUTTON (IF APPLICABLE).

DENOTES PLANTING OR NON-WALKING SURFACE NOT PART OF PEDESTRIAN CIRCULATION PATH.



PEDESTRIAN FACILITIES CURB RAMPS

PED-18

SHEET 4 OF 4

Texas Department of Transportation

Design Division Standard

FILED: 06/01/2020

DATE: 06/01/2020

CROSS ROADS MARKET SQUARE

Lot 3R2-1, 3R2-2, 3R2-3, 3R2-4, 3R2-5X, & 3R2-6X, Block A

VOLUNTEER ENTERPRISES ADDITION

32,836 Acres

MARCELLA JONES SURVEY, ABSTRACT NO. 662

TOWN OF CROSS ROADS

DENTON COUNTY, TEXAS

STANDARD CONSTRUCTION DETAILS

PRELIMINARY PLANS

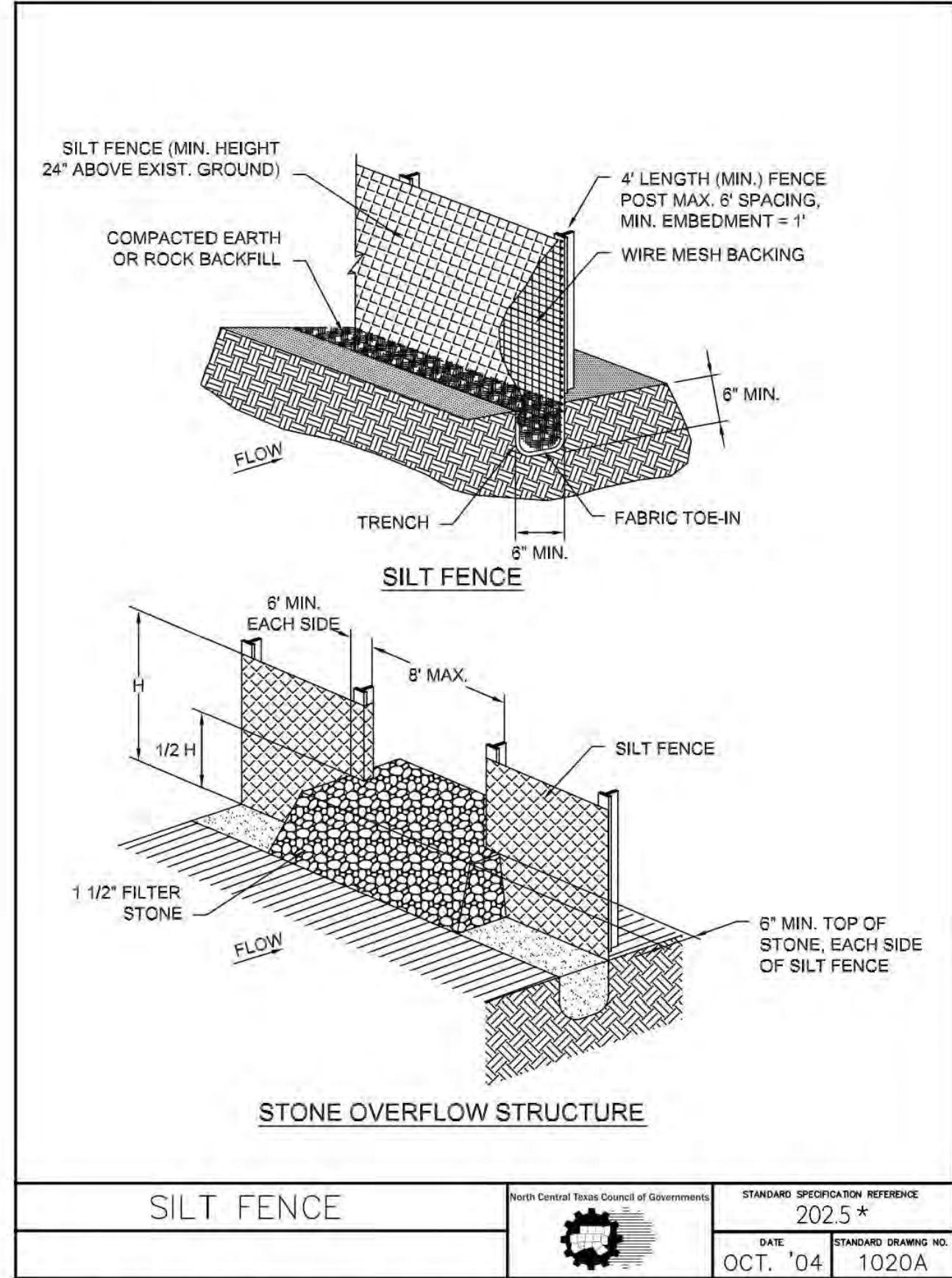
THIS DOCUMENT IS FOR INTERIM REVIEW AND IS NOT INTENDED FOR CONSTRUCTION, BIDDING, OR PERMIT PURPOSES. THE JOHN R. MCADAMS COMPANY, INC. TPBE: 19762 JOSHUA M. BARTON, P.E. #129227 DATE 10/27/2020

Drawn By: ASC
Date: 06/01/2020
Scale: N.T.S.
Revisions:
07/13/2020
08/27/2020
10/27/2020

OWNER/DEVELOPER
VOLUNTEER ENTERPRISES IV, LLC
1895 OLD COAST ROAD, UNIT 2306
NAPLES, FLORIDA 34110
Ph. 840-390-2734
Contact: FRED NICHOLS

C8.2

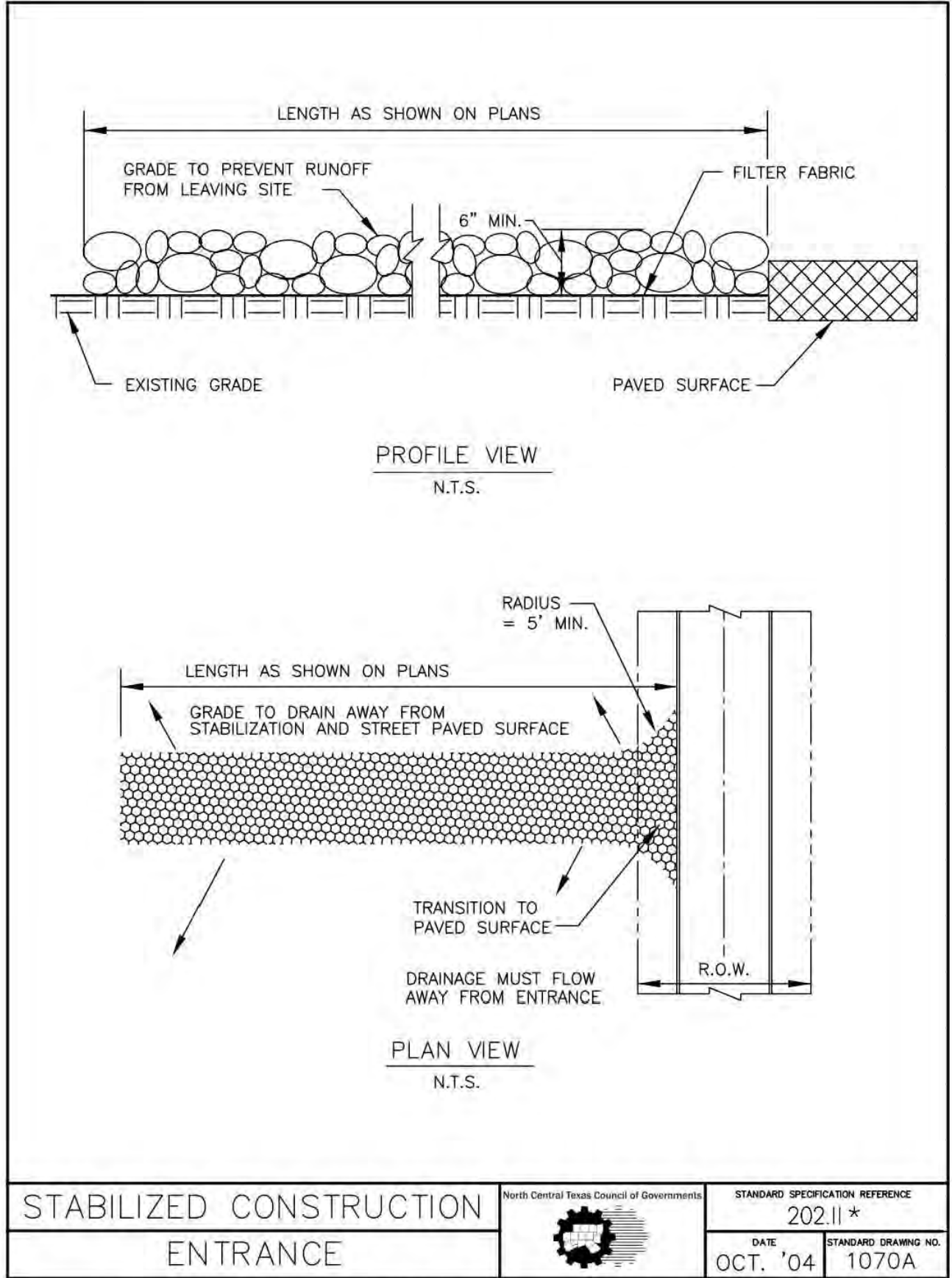
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SILT FENCE GENERAL NOTES:

1. POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POST MUST BE EMBEDDED A MINIMUM OF ONE FOOT.
2. THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWNSLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW. WHERE FENCE CANNOT BE TRENCHED (e.g. PAVEMENT), WEIGHT FABRIC FLAP WITH ROCK ON UPHILL SIDE TO PREVENT FLOW FROM SEEPING UNDER FENCE.
3. THE TRENCH MUST BE A MINIMUM OF 6 INCHES DEEP AND 6 INCHES WIDE TO ALLOW FOR THE SILT FENCE FABRIC TO BE LAID IN THE GROUND AND BACKFILLED WITH COMPACTED MATERIAL.
4. SILT FENCE SHOULD BE SECURELY FASTENED TO EACH SUPPORT POST OR TO WIRE BACKING, WHICH IN TURN IS ATTACHED TO THE FENCE POST. THERE SHALL BE A 3 FOOT OVERLAP, SECURELY FASTENED WHERE ENDS OF FABRIC MEET.
5. INSPECTION SHALL BE AS SPECIFIED IN THE SWPPP. REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
6. SILT FENCE SHALL BE REMOVED WHEN FINAL STABILIZATION IS ACHIEVED OR ANOTHER EROSION OR SEDIMENT CONTROL DEVICE IS EMPLOYED.
7. ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF HALF THE HEIGHT OF THE FENCE. THE SILT SHALL BE DISPOSED OF AT AN APPROVED SITE AND IN SUCH A MANNER AS TO NOT CONTRIBUTE TO ADDITIONAL SILTATION.

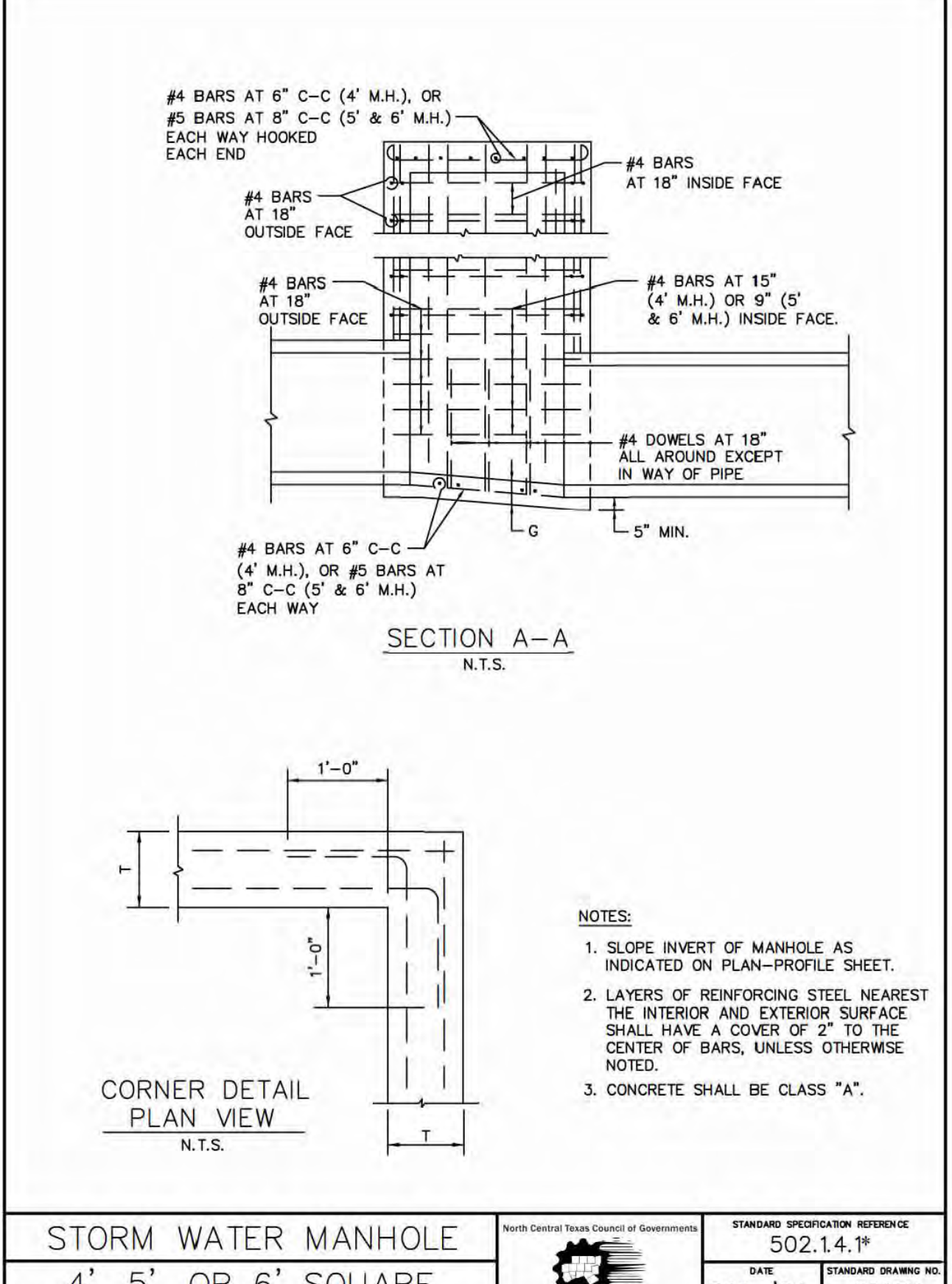
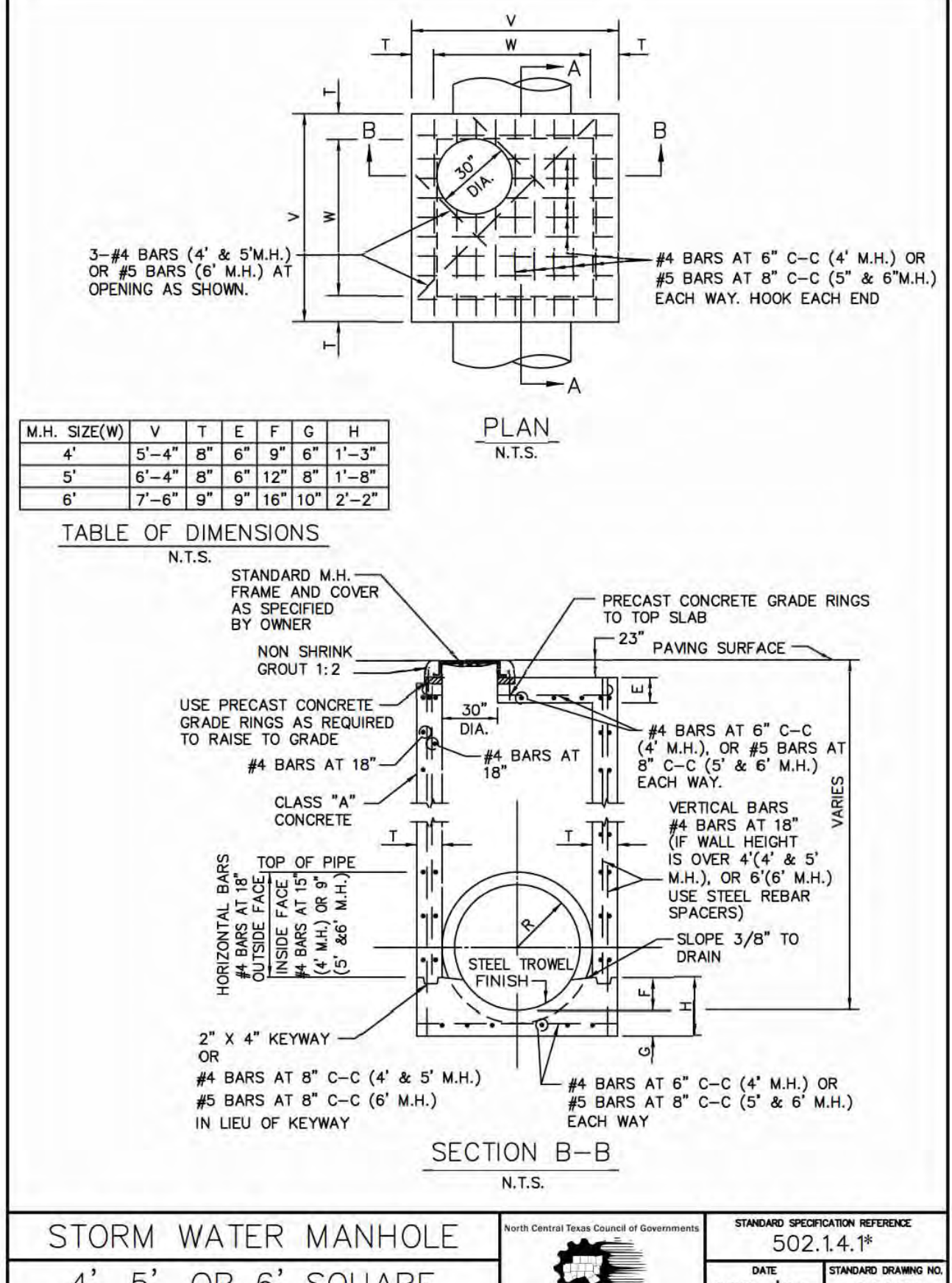
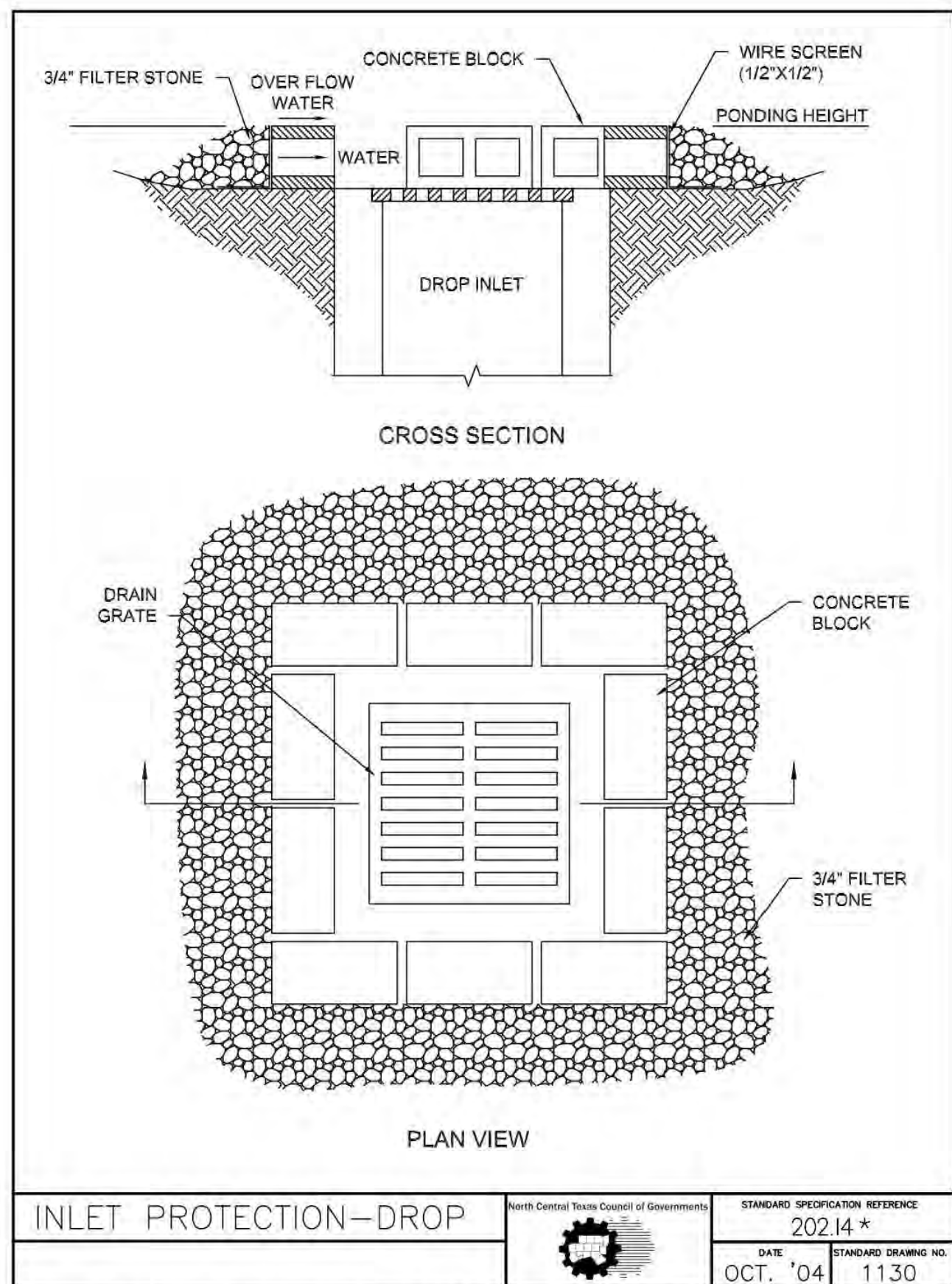
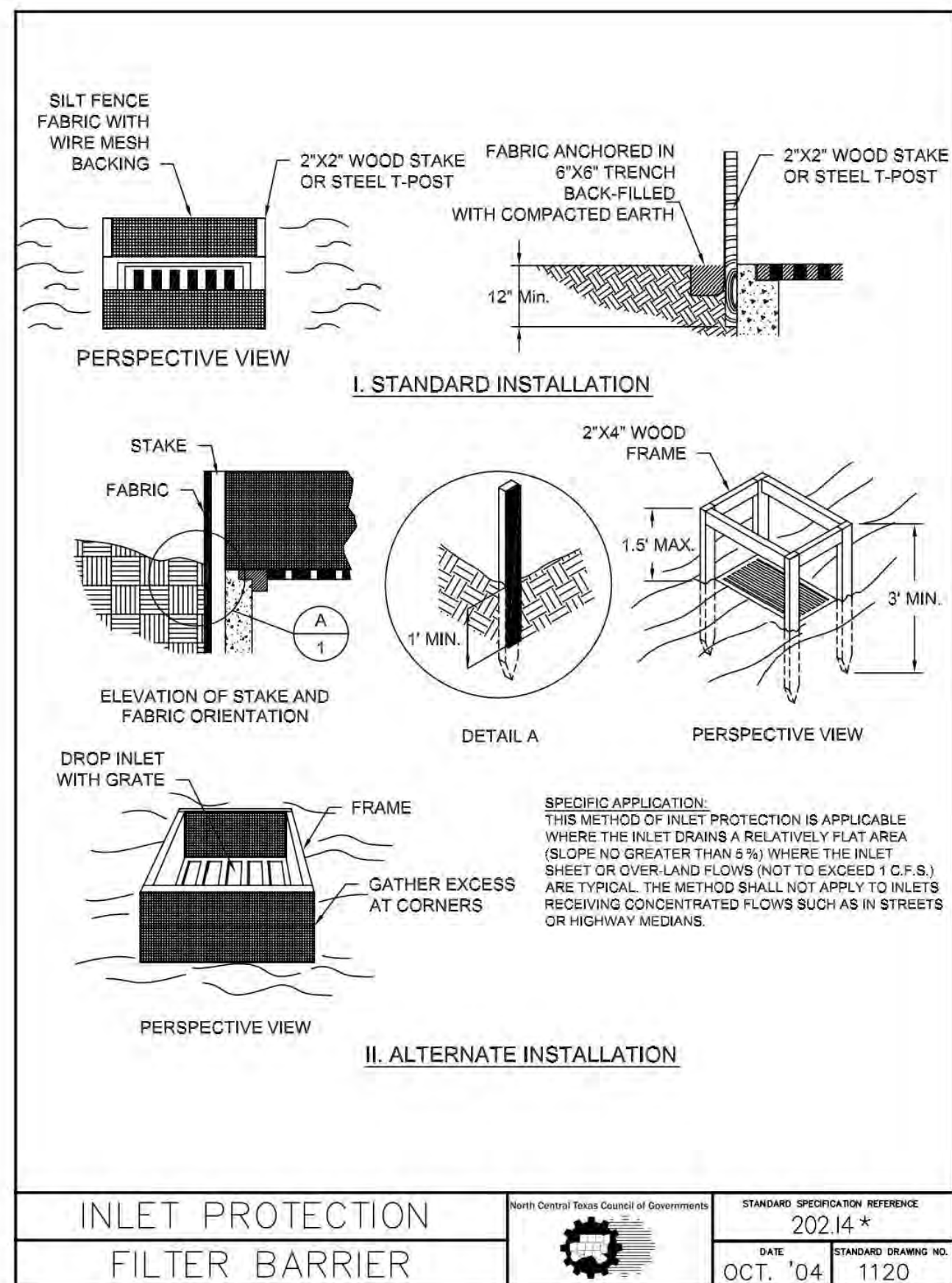
North Central Texas Council of Governments | STANDARD SPECIFICATION REFERENCE: 202.5* | DATE: OCT. '04 | STANDARD DRAWING NO.: 1020B



STABILIZED CONSTRUCTION ENTRANCE GENERAL NOTES:

1. STONE SHALL BE 3 TO 5 INCH DIAMETER COARSE AGGREGATE.
2. LENGTH SHALL BE AS SPECIFIED IN THE SWPPP.
3. THE THICKNESS SHALL NOT BE LESS THAN 12 INCHES.
4. THE WIDTH SHALL BE NO LESS THAN THE FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
5. WHEN NECESSARY, VEHICLES SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO A PUBLIC ROADWAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WITH DRAINAGE FLOWING AWAY FROM BOTH THE STREET AND THE STABILIZED ENTRANCE. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH OR WATERCOURSE USING APPROVED METHODS.
6. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PAVED SURFACES. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PAVED SURFACES MUST BE REMOVED IMMEDIATELY.
7. THE ENTRANCE MUST BE PROPERLY GRADED OR INCORPORATE A DRAINAGE SWALE TO PREVENT RUNOFF FROM LEAVING THE CONSTRUCTION SITE.
8. PREVENT SHORTCUTTING OF THE FULL LENGTH OF THE CONSTRUCTION ENTRANCE BY INSTALLING BARRIERS AS NECESSARY.
9. INSPECTION SHALL BE AS SPECIFIED IN THE SWPPP.

North Central Texas Council of Governments | STANDARD SPECIFICATION REFERENCE: 202.11* | DATE: OCT. '04 | STANDARD DRAWING NO.: 1070B



CROSS ROADS MARKET SQUARE

Lot 3R2-1, 3R2-2, 3R2-3, 3R2-4, 3R2-5X, & 3R2-6X, Block A
 VOLUNTEER ENTERPRISES ADDITION
 32,836 Acres

MARCELLA JONES SURVEY, ABSTRACT NO. 662
 TOWN OF CROSS ROADS
 DENTON COUNTY, TEXAS

STANDARD CONSTRUCTION DETAILS

PRELIMINARY PLANS
 THIS DOCUMENT IS FOR INTERIM REVIEW AND IS NOT INTENDED FOR CONSTRUCTION, BIDDING, OR PERMIT PURPOSES. THE JOHN R. MCADAMS COMPANY, INC. TPBE: 19762. JOSHUA M. BARTON, P.E. #129227. DATE 10/27/2020

Drawn By: ASC
 Date: 06/01/2020
 Scale: N.T.S.
 Revisions:
 07/13/2020
 08/27/2020
 10/27/2020

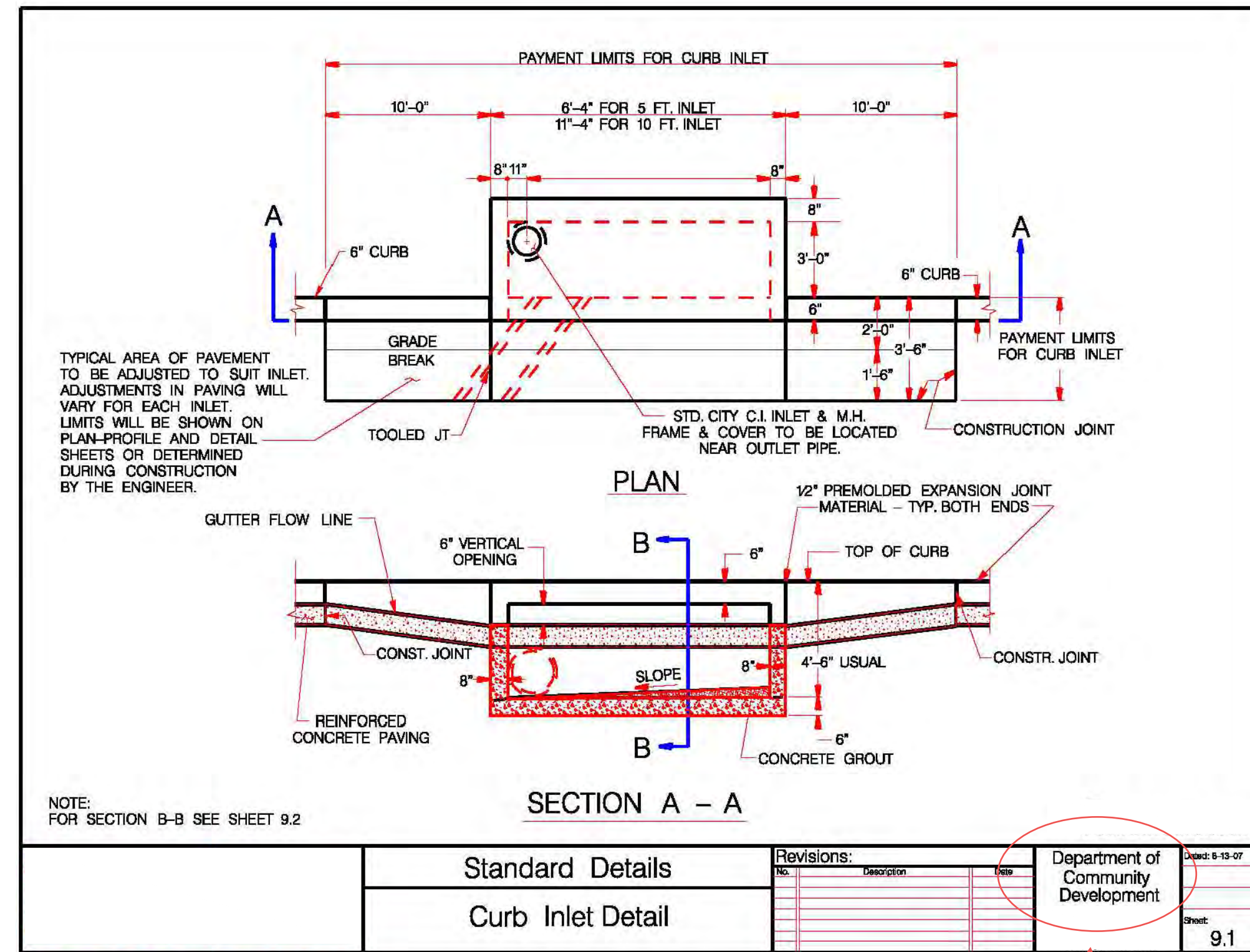
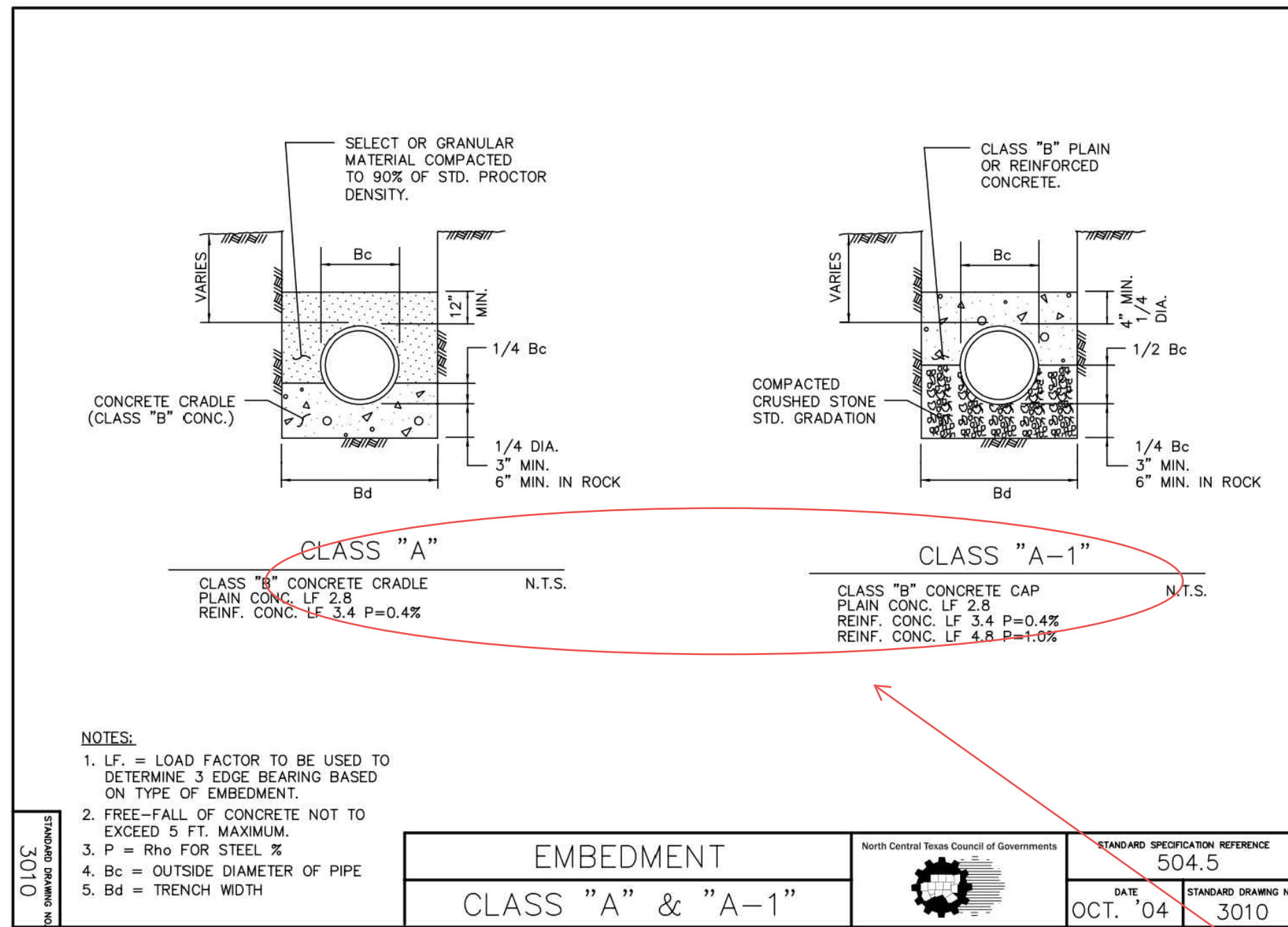
OWNER/DEVELOPER
VOLUNTEER ENTERPRISES IV, LLC
 1895 OLD COAST ROAD, UNIT 2306
 NAPLES, FLORIDA 34110
 Ph. 840-390-2734
 Contact: FRED NICHOLS

C8.3

MCADAMS

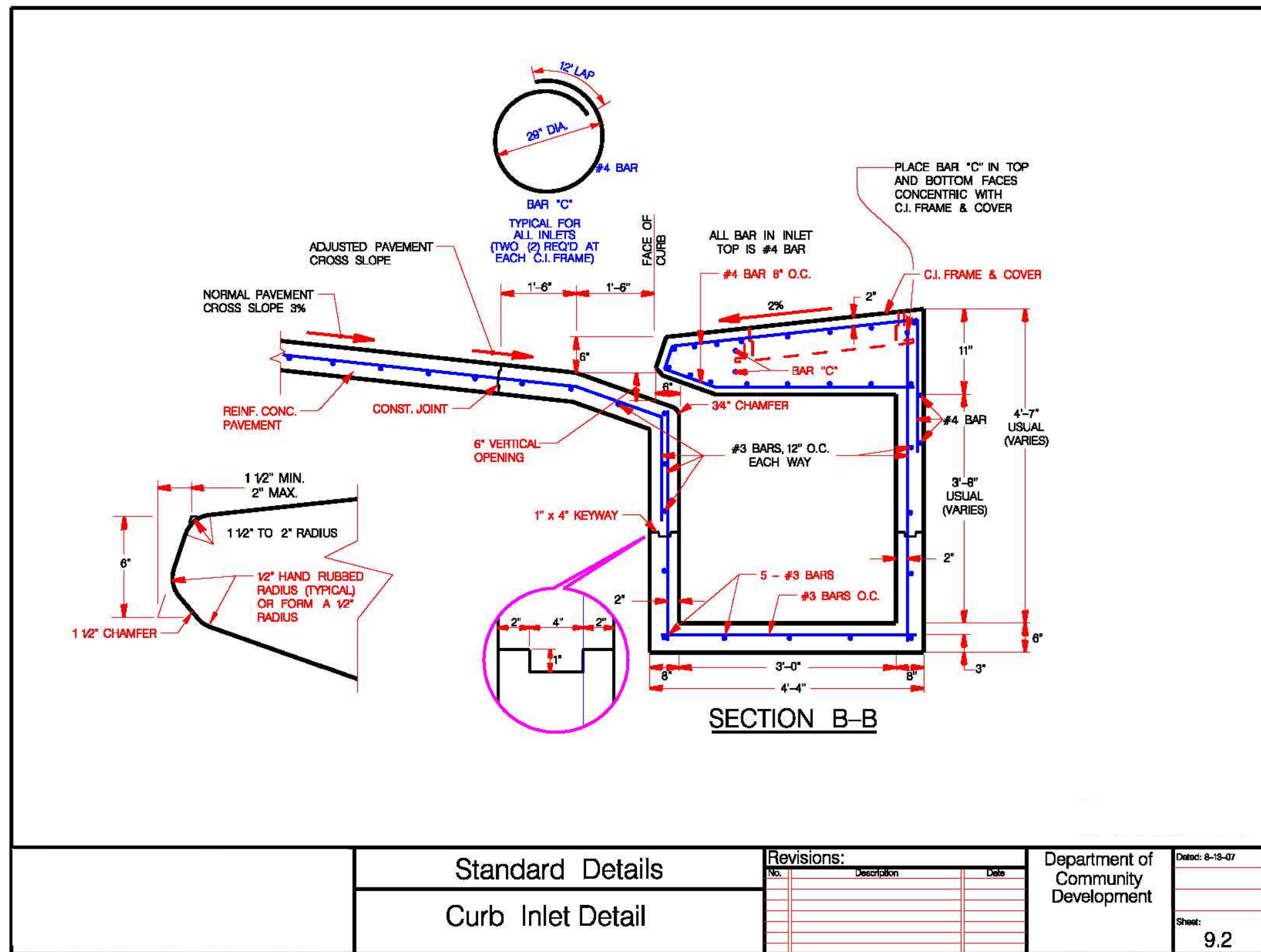
The John R. McAdams Company, Inc.
 111 Hillside Drive
 Lewisville, Texas 75057
 972.435.9712
 201 Country View Drive
 Rockwall, Texas 75087
 940.240.1012
 TPBE: 19762 TPPLS: 1018440
 www.mcadamsco.com

CROSS ROADS MARKET SQUARE



provide embedment details for HDPE pipe. Specify exactly which section to utilize.

where are these from?



CROSS ROADS MARKET SQUARE
 Lot 3R2-1, 3R2-2, 3R2-3, 3R2-4, 3R2-5X, & 3R2-6X, Block A
 VOLUNTEER ENTERPRISES ADDITION
 32.836 Acres
 in the
 MARCELLA JONES SURVEY, ABSTRACT NO. 662
 TOWN OF CROSS ROADS
 DENTON COUNTY, TEXAS

STANDARD CONSTRUCTION DETAILS

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Revisions:	
	07/13/2020
	08/27/2020
	10/27/2020

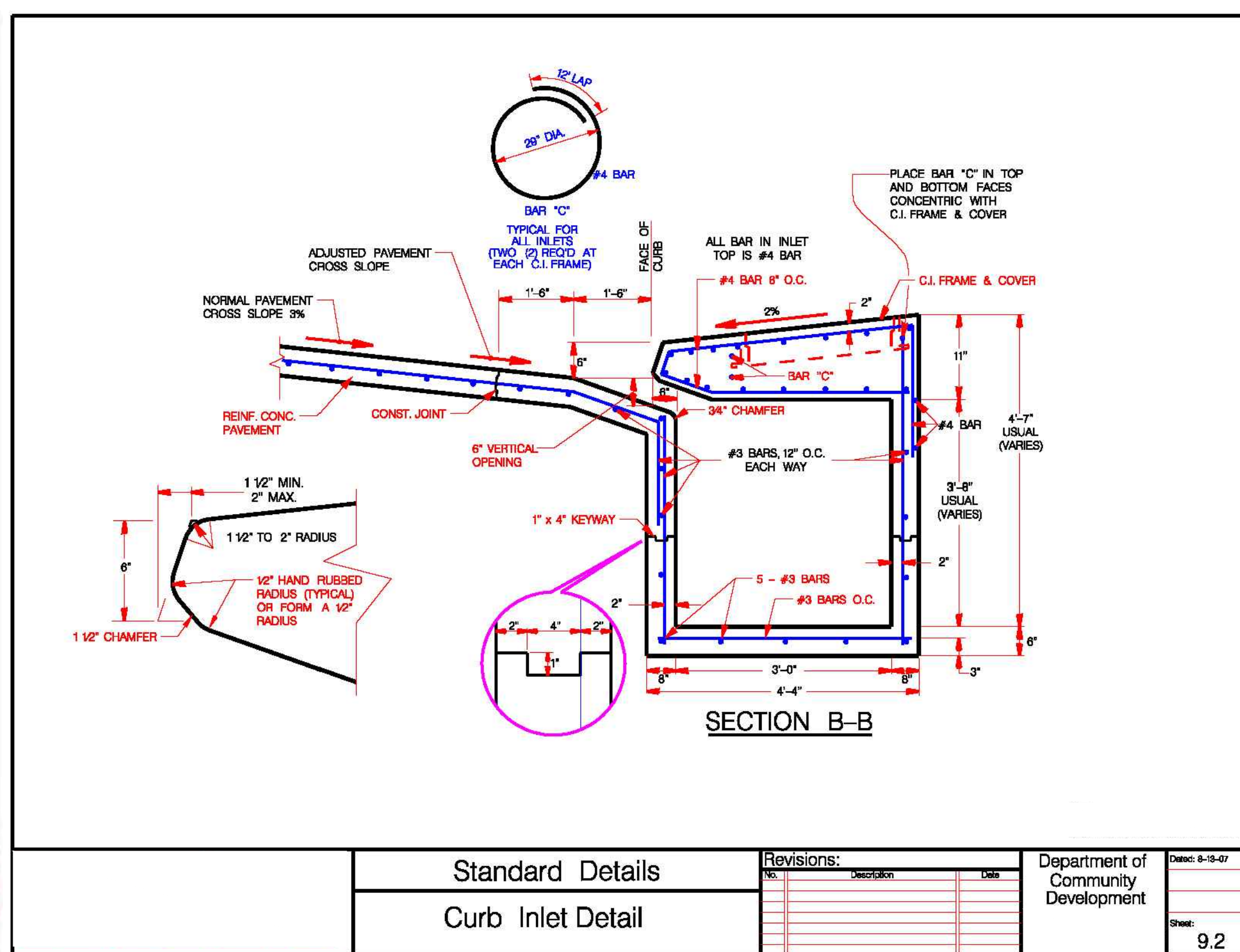
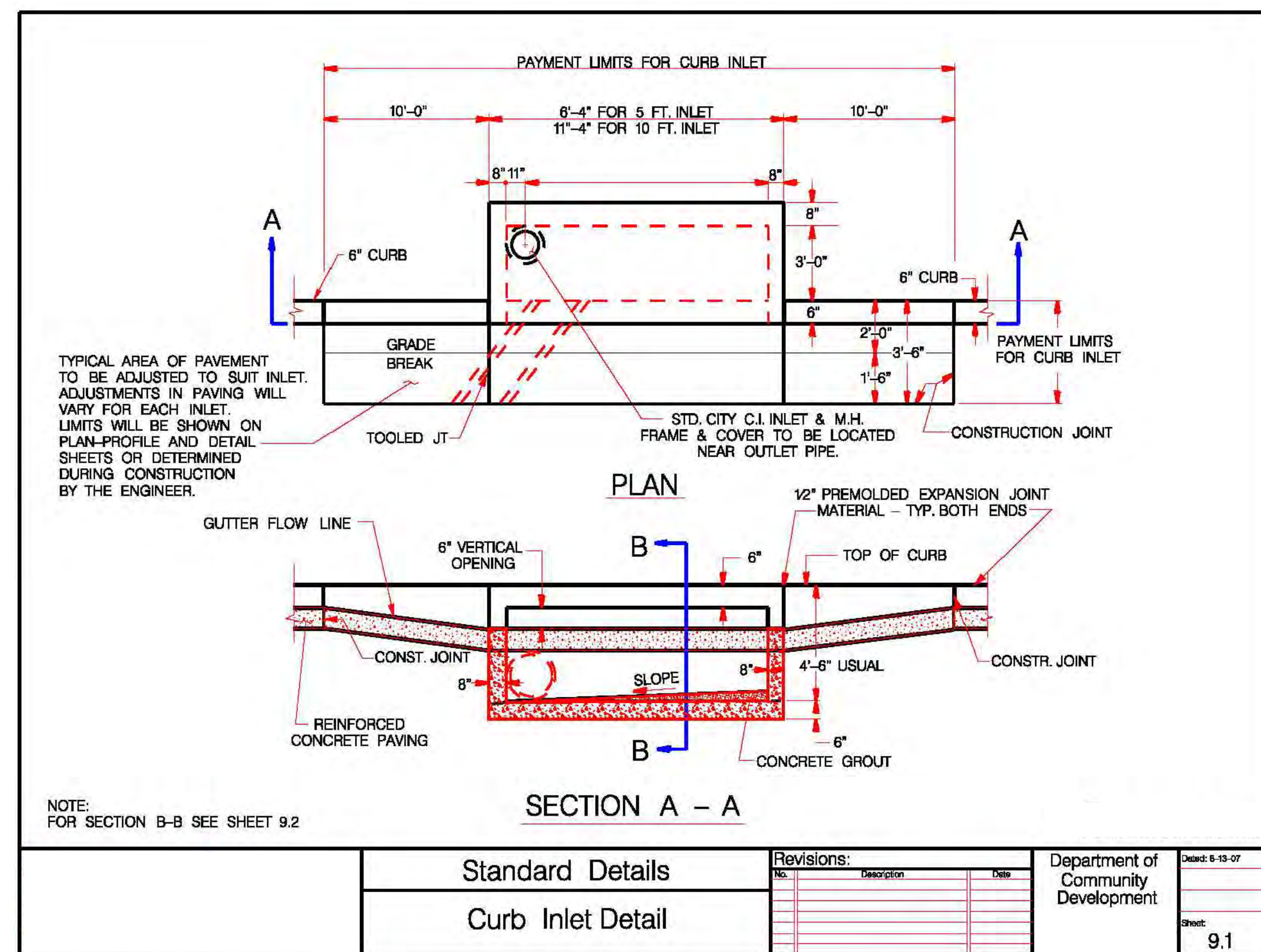
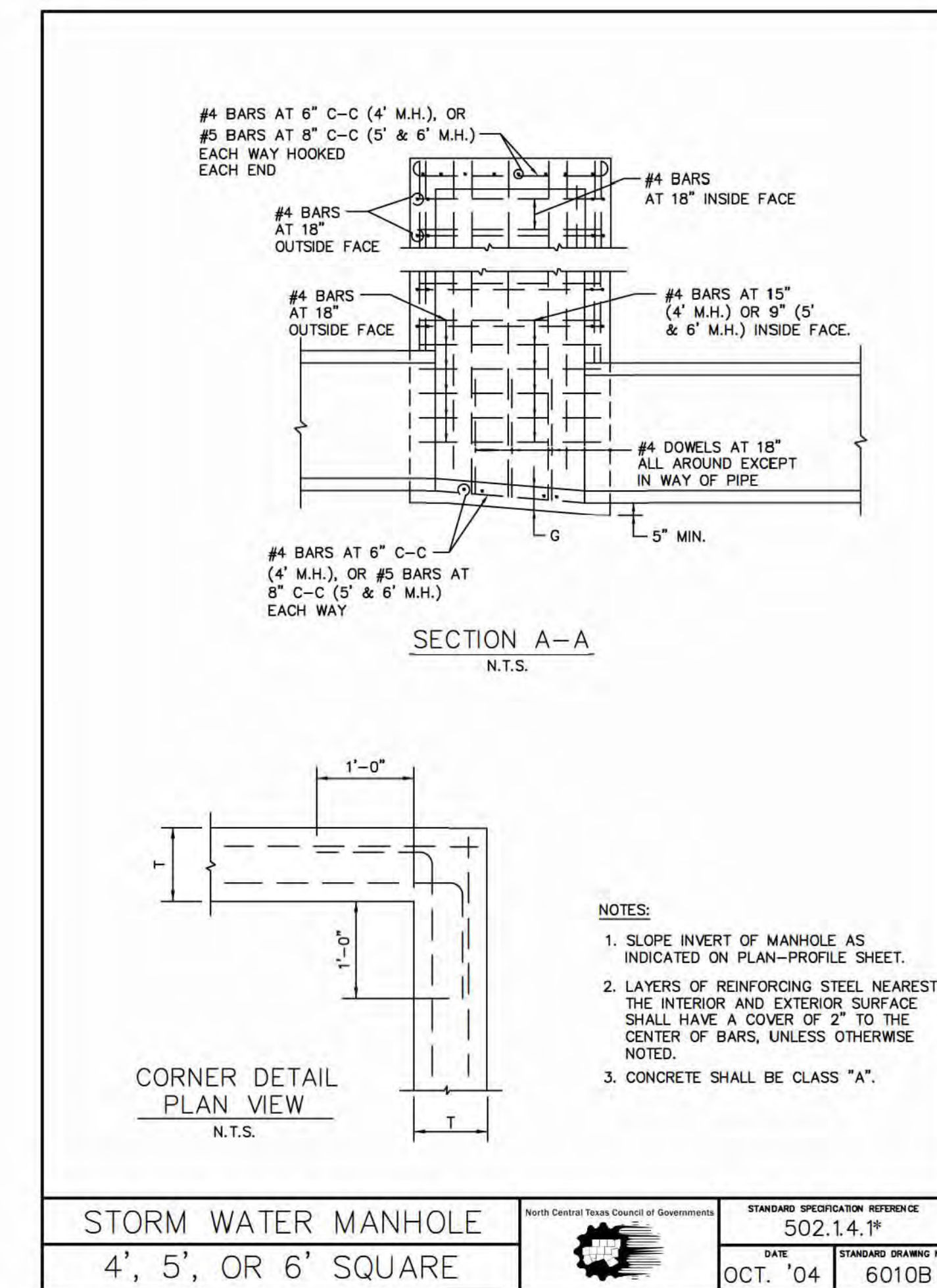
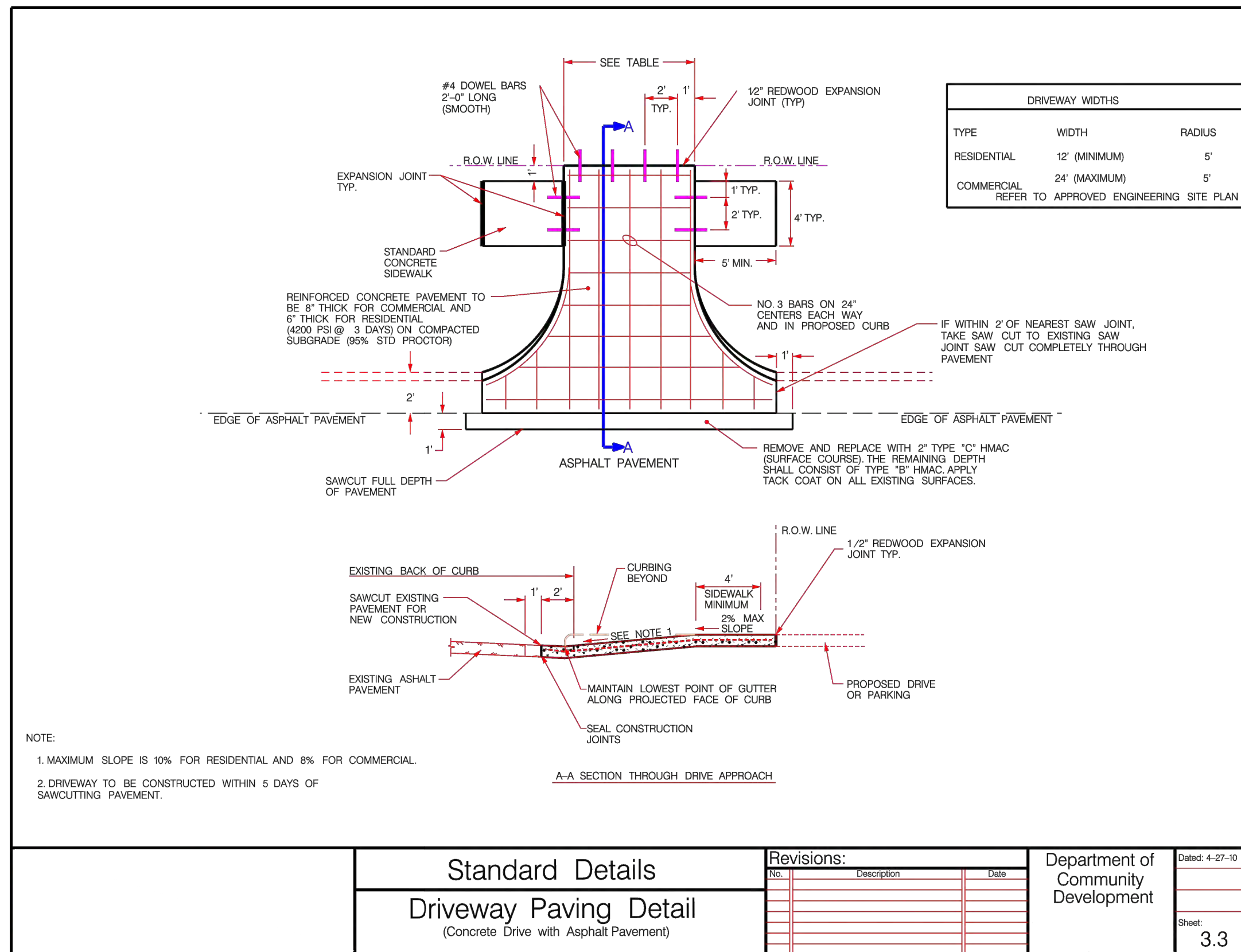
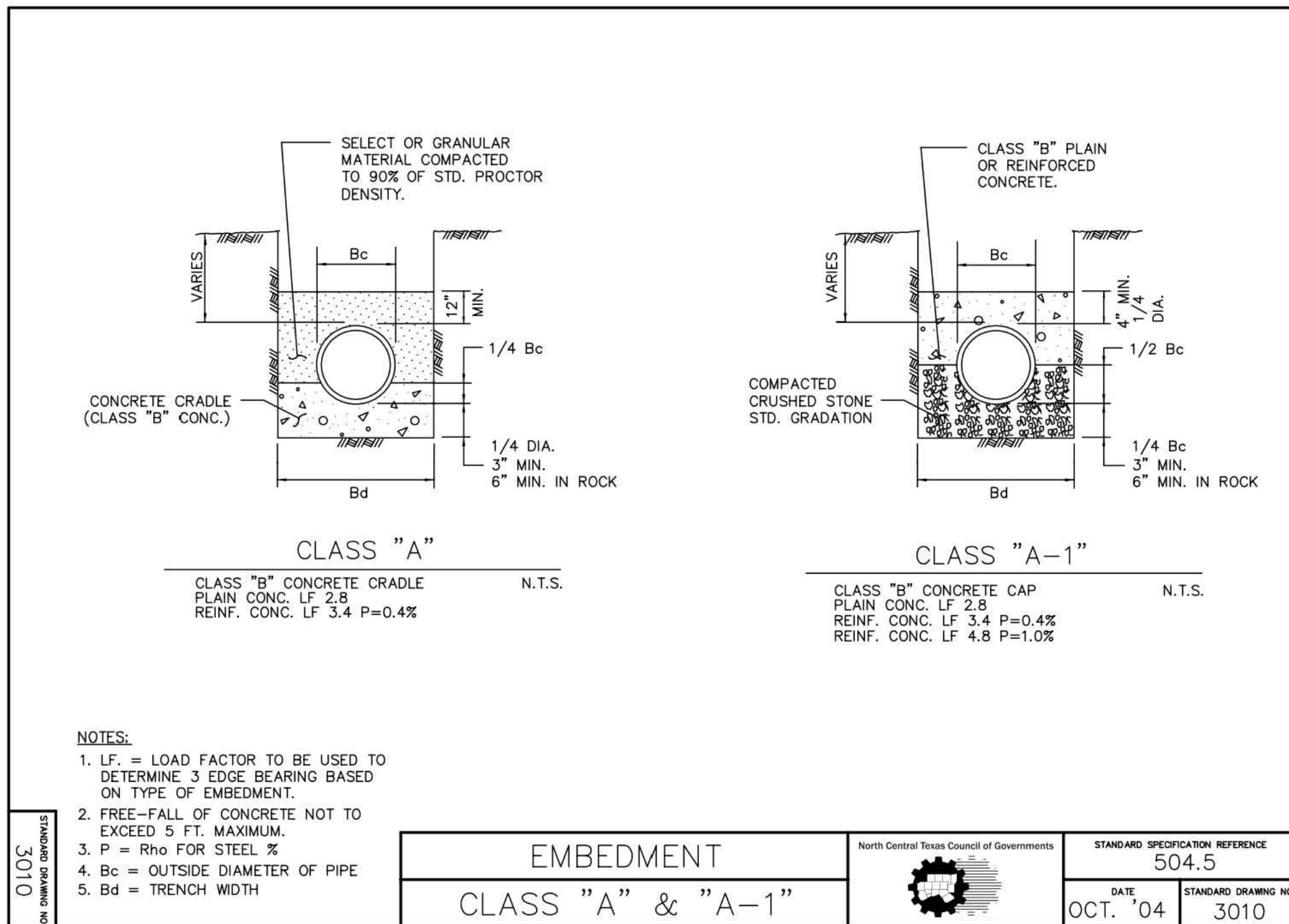
SPEC-20046

C8.4

OWNER/DEVELOPER
 VOLUNTEER ENTERPRISES IV, LLC
 1895 OLD COAST ROAD, UNIT 2306
 NAPLES, FLORIDA 34110
 Ph. 840-390-2734
 Contact: FRED NICHOLS

MCADAMS
 The John R. McAdams Company, Inc.
 111 Hillside Drive
 Lewisville, Texas 75057
 972.435.9712
 201 Country View Drive
 Rockwall, TX 75087
 940.240.1012
 TBPE: 19762 TBPLS: 10194440
 www.mcadamsco.com

CROSS ROADS MARKET SQUARE



MCADAMS
 CROSS ROADS MARKET SQUARE

CROSS ROADS MARKET SQUARE
 Lot 3R2-1, 3R2-2, 3R2-3, 3R2-4, 3R2-5X, & 3R2-6X, Block A
 VOLUNTEER ENTERPRISES ADDITION
 32.896 Acres
 MARCELLA JONES SURVEY, ABSTRACT NO. 662
 TOWN OF CROSS ROADS
 DENTON COUNTY, TEXAS

STANDARD CONSTRUCTION
DETAILS

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 10/27/2020

SPEC-20046
C8.5

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 VOLUNTEER ENTERPRISES IV, LLC
 1895 OLD COAST ROAD, UNIT 2306
 NAPLES, FLORIDA 34110
 Ph. 840-390-2734
 Contact: FRED NICHOLS

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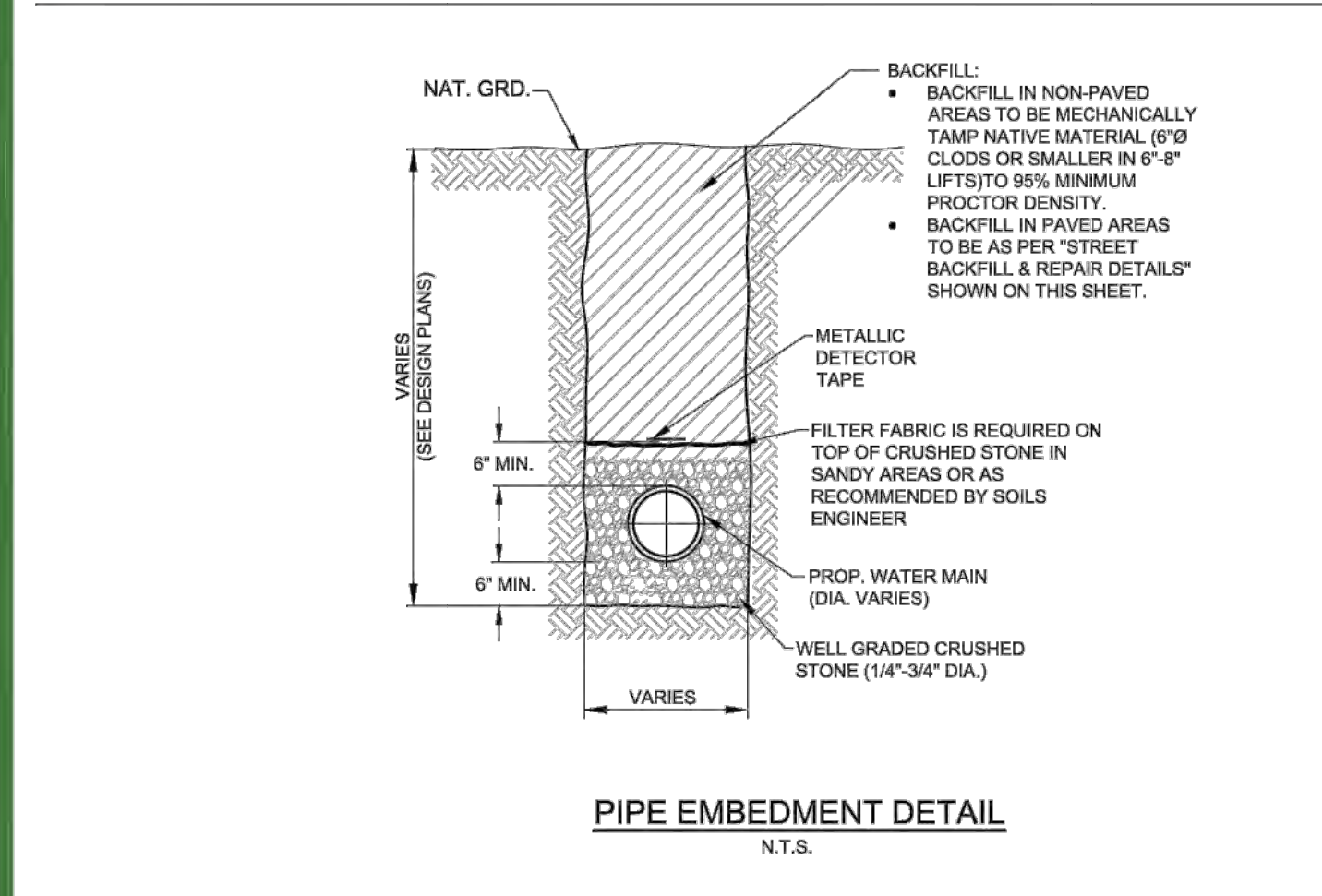
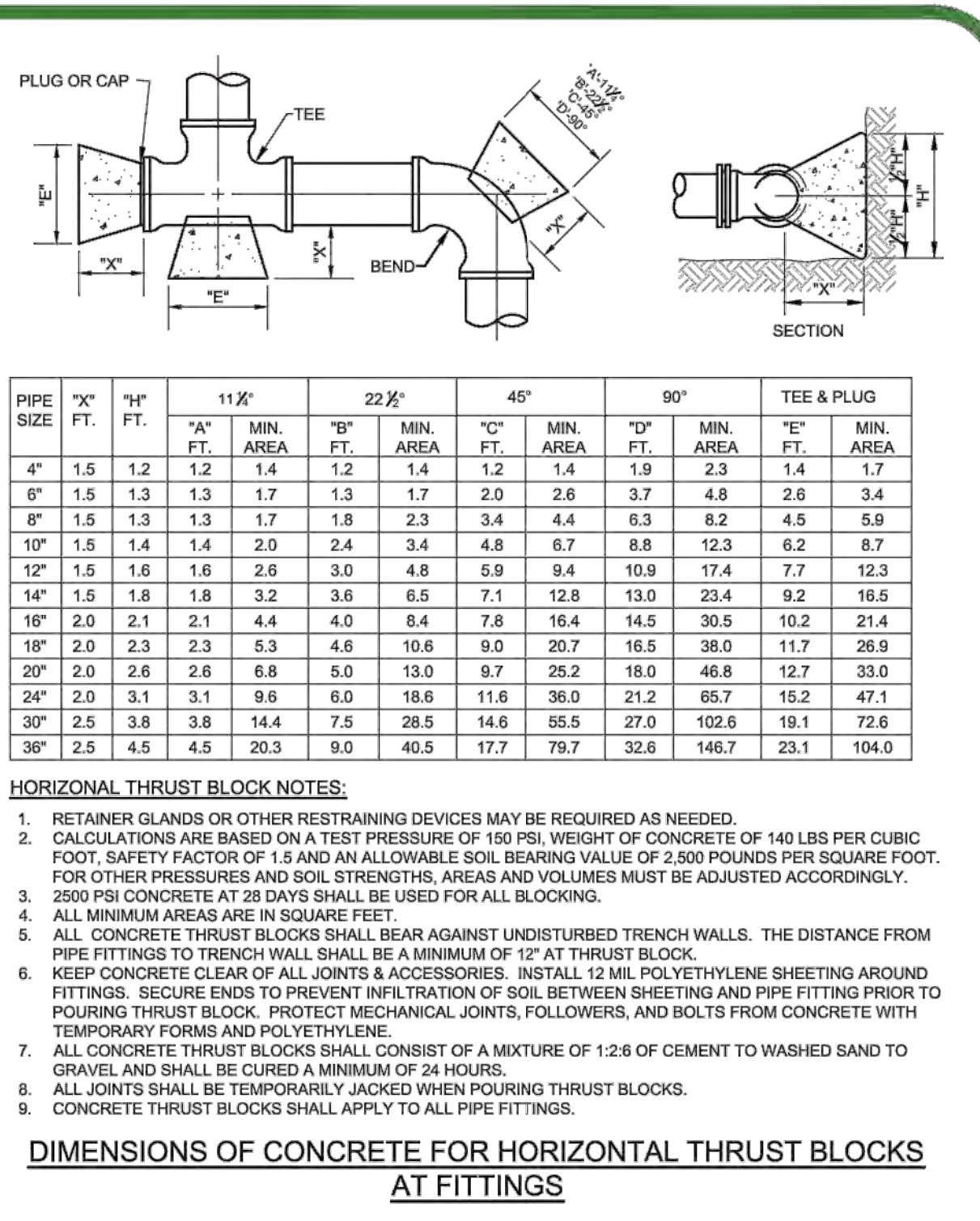
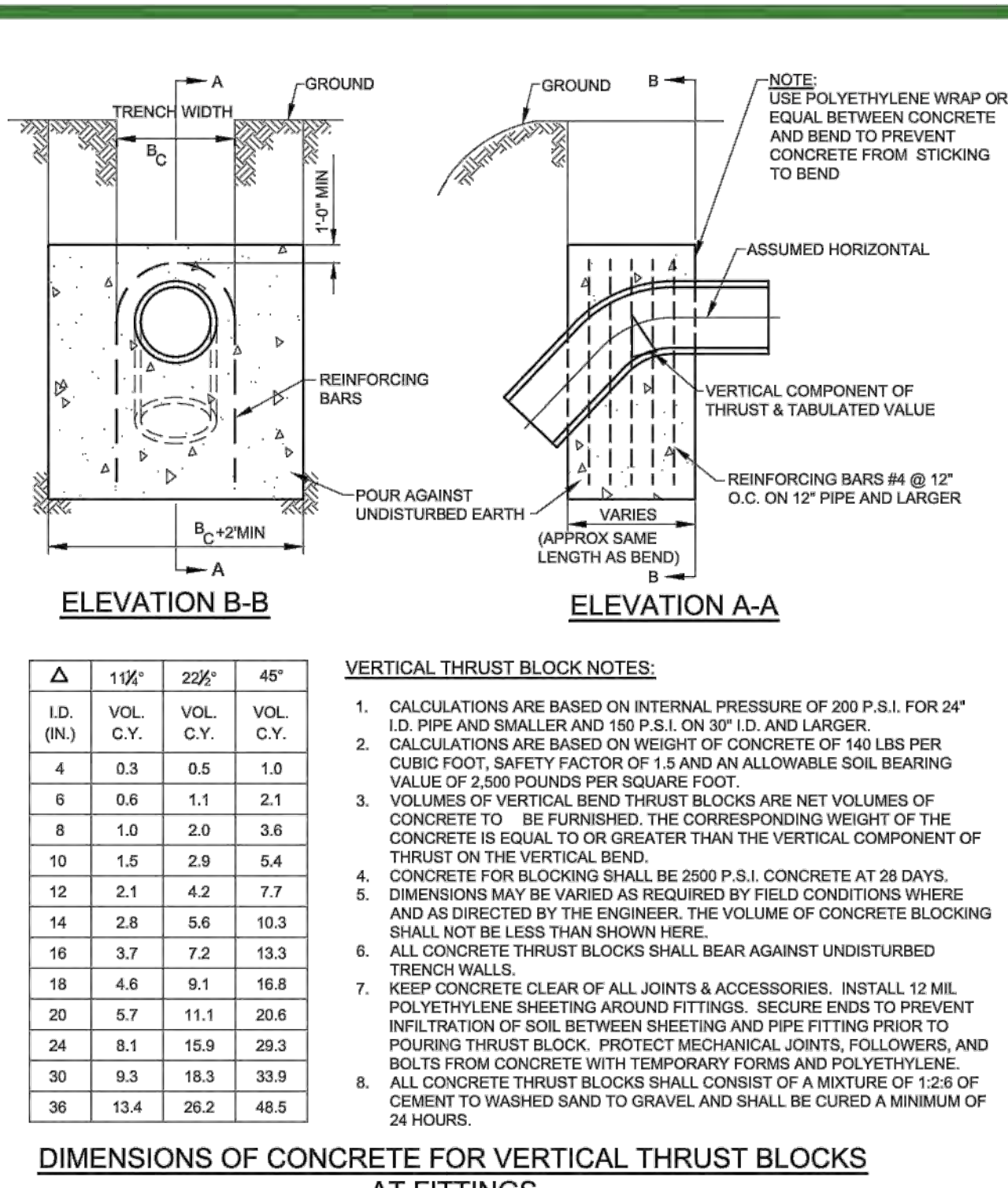
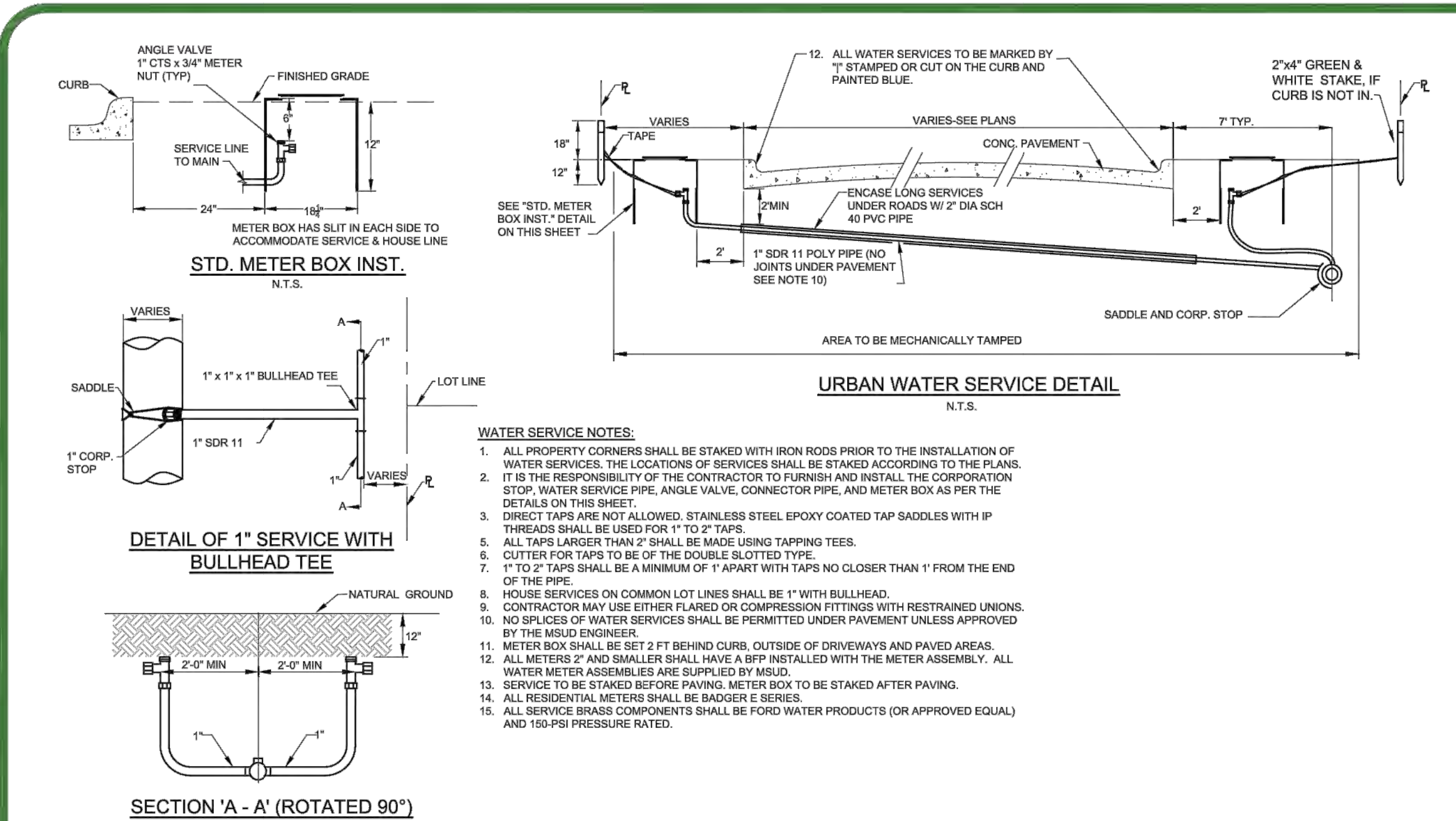
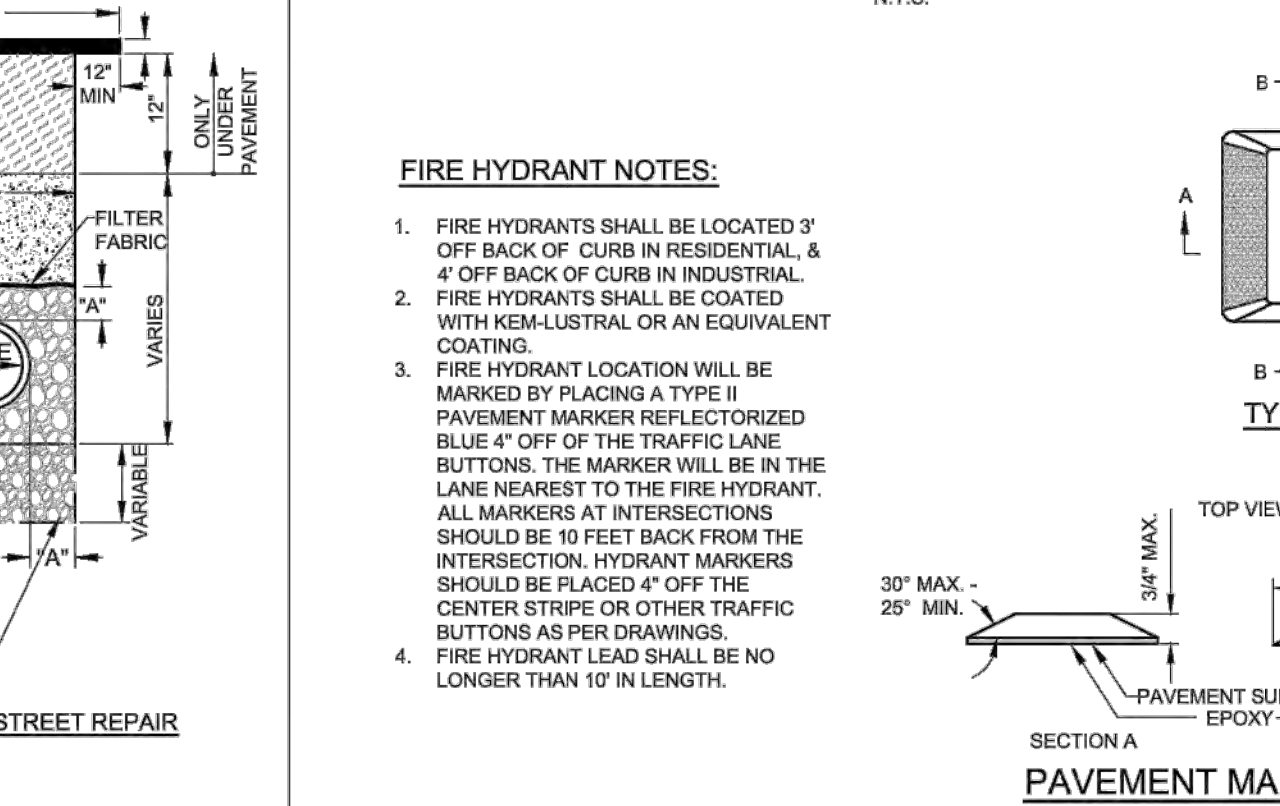
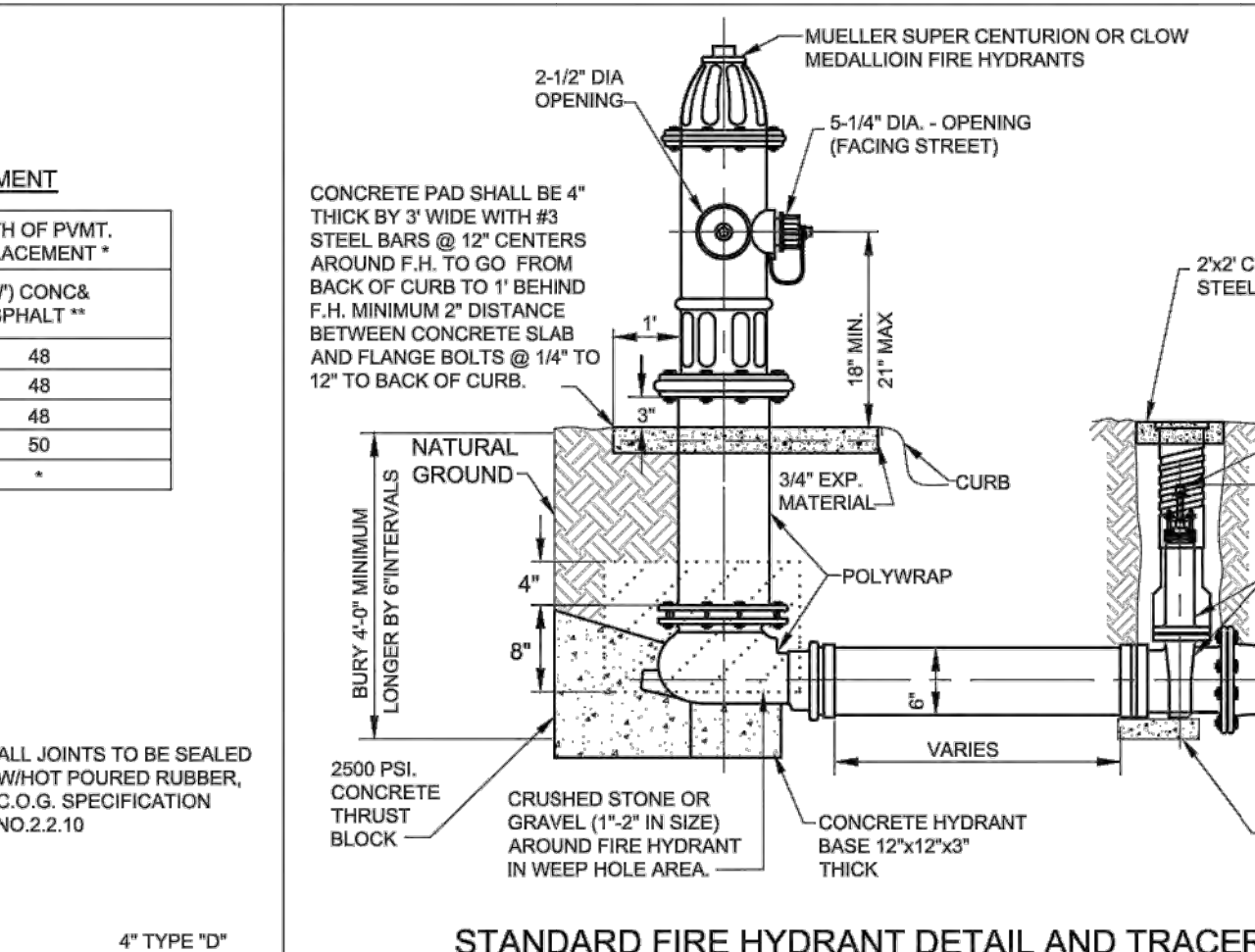
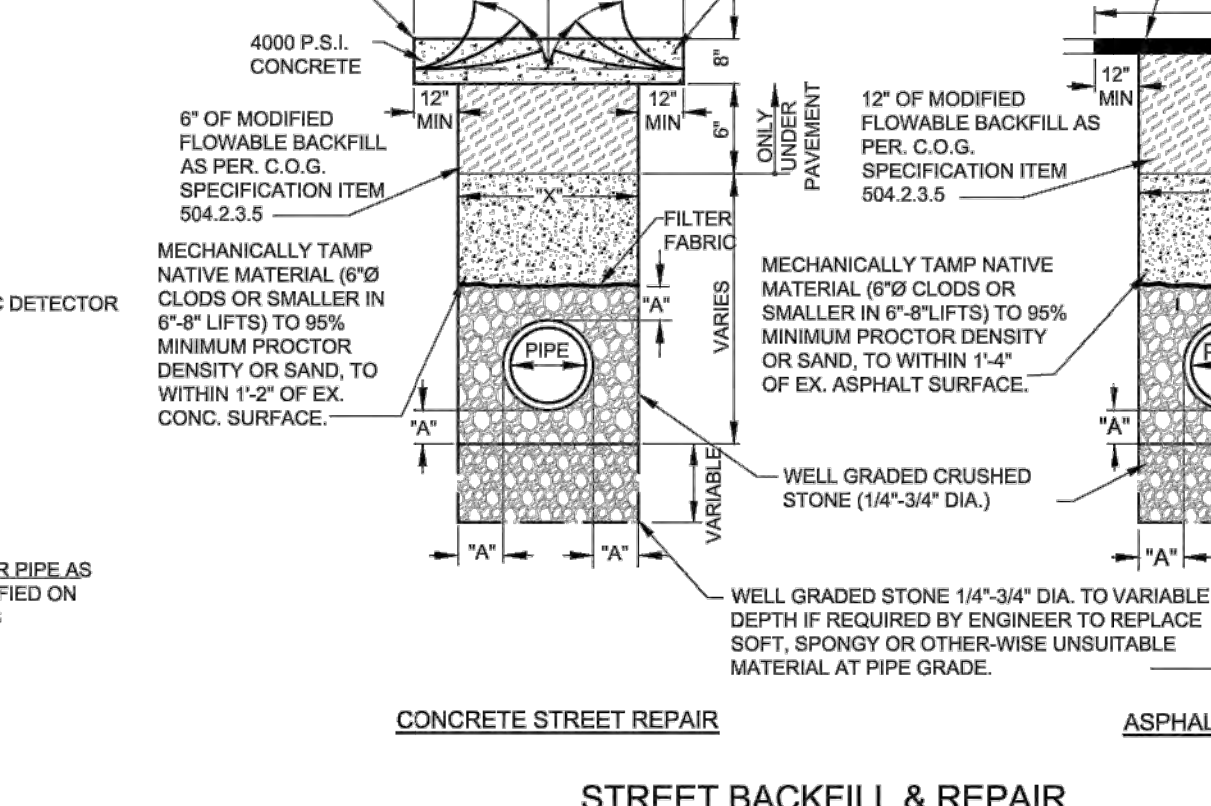
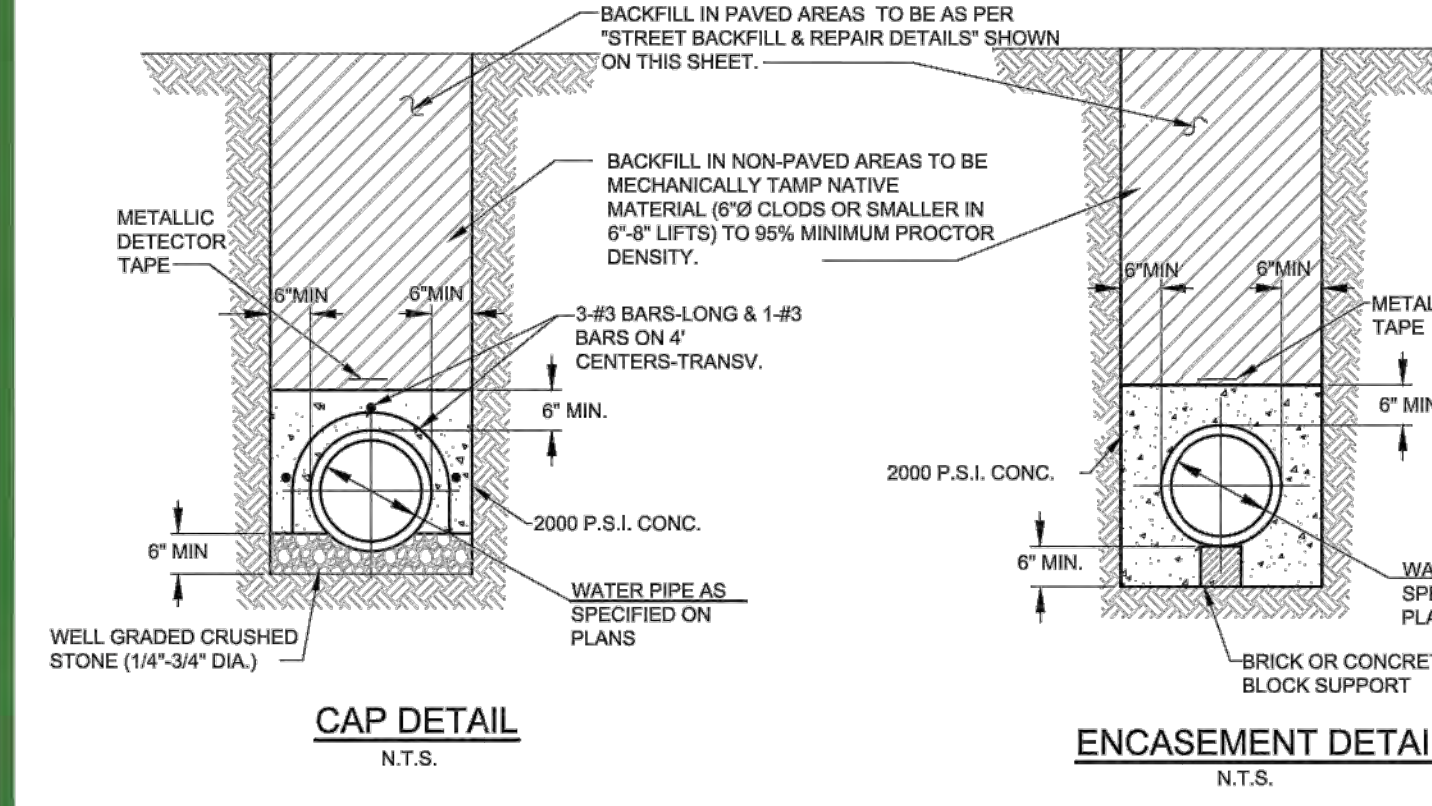


TABLE OF DIMENSIONS FOR WIDTH OF TRENCH AND PAVEMENT REPLACEMENT

NORMAL SIZE OF PIPE IN INCHES	O.D. OF PIPE IN INCHES (PVC-DR18)	MINIMUM TRENCH WALL CLEARANCE *A* IN INCHES	WIDTH OF TRENCH (X) IN INCHES	WIDTH OF P.V.M.T. REPLACEMENT * IN INCHES
6	6.9	6	24	19
8	9.05	6	24	21
10	11.10	6	28	24
12	13.20	6	30	26
16+	VARIES	6	-	50

NOTE: * REFER TO THE PLANS FOR SPECIFIED WIDTH OF REPLACEMENT. ** RECOMMENDED WIDTHS - VARIES BASED ON DEPTH, AND SOIL MATERIAL.



Sample Fire Hydrant Flow Test Report
 Fire Hydrant Flow Test Report (NFPA 291)

Location: _____ Date: _____

Test Performed By: _____ Time: _____ M.

Representative of: _____

Mustang SUD Witness: _____

Purpose of Test: _____

If Pumps Affect Test, Indicate Pumps Operating:

Fire Hydrant	A ₁	A ₂	A ₃	A ₄
Nozzle Size				
Pilot Reading				
Elev. Difference from Test Hydrant (ft)				
Discharge Coeff.				
Flow (gpm)				

Static B _____ psi Residual B _____ psi

Projected Results @ 20 psi Residual _____ gpm; or @ _____ psi Residual _____ gpm

Remarks: _____

Location map: Show line size and distance to next distribution system intersection. Show valves and hydrant branch size. Indicate north. Show flowing hydrants - Label A₁, A₂, A₃, A₄. Show location of static and residual - Label B.

Indicate B Hydrant _____ Sprinkler _____ Other (Identify) _____

NOTE: Mail, hand-deliver or otherwise provide this completed report to the Mustang Special Utility District prior to acceptance of the system and beginning of service.

NO.	REVISION	BY	DATE

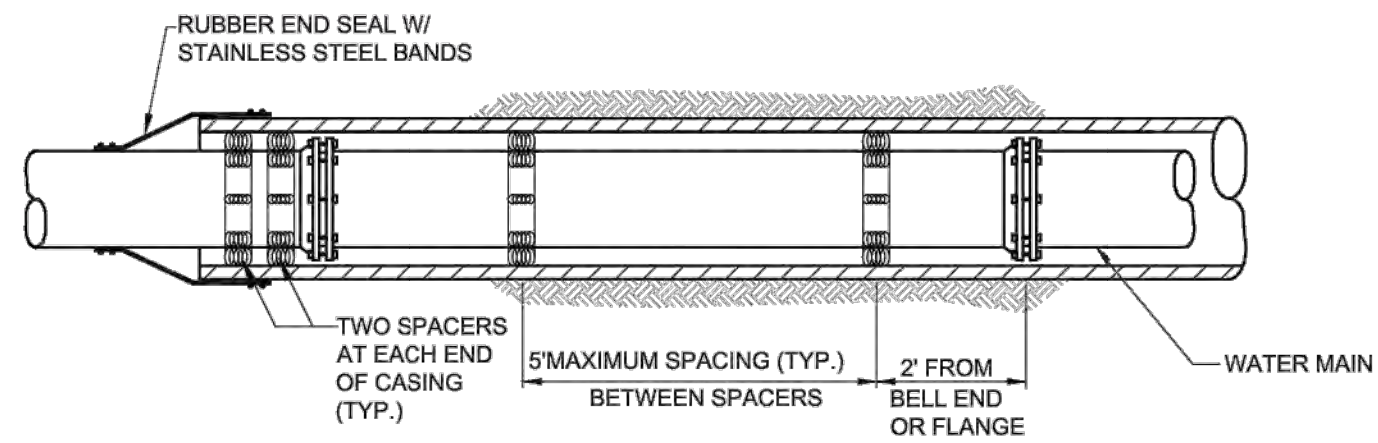
MUSTANG SPECIAL UTILITY DISTRICT

APPROVED BY MSUD GENERAL MANAGER: Chris Boyd DATE: 7/27/2020

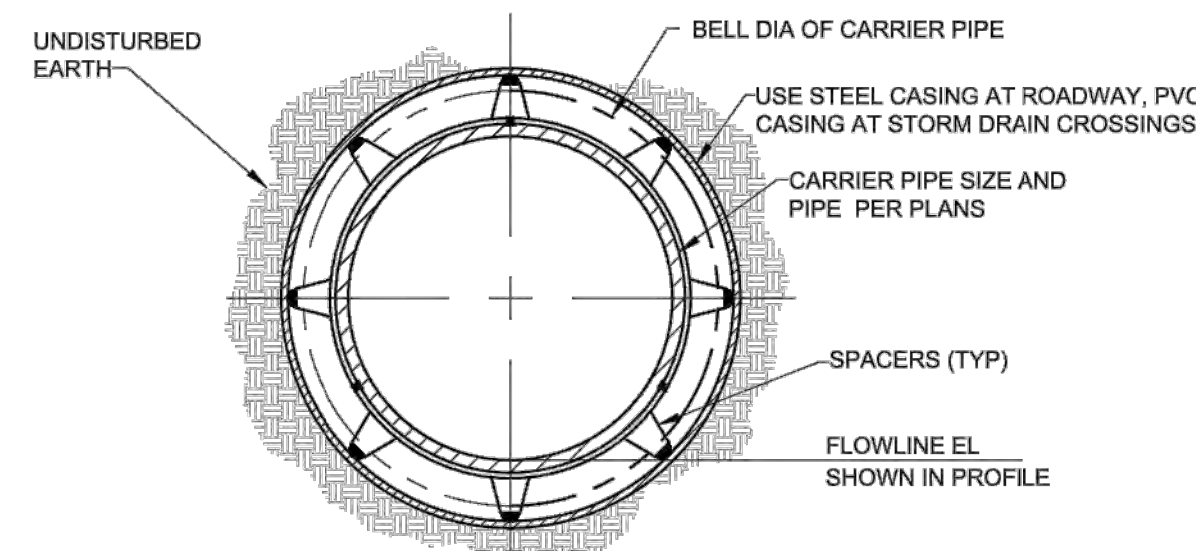
WATER STANDARD DETAILS (1 OF 2)

CERTIFICATION: THIS MUSTANG SPECIAL UTILITY DISTRICT STANDARD DETAIL SHEET IS AUTHORIZED FOR USE IN THIS PROJECT BY THE ENGINEER WHOSE SEAL APPEARS ON THIS SHEET. THIS ENGINEER IS ALSO CERTIFYING THAT THE CONTENT OF THE DETAILS AND NOTES ON THIS SHEET HAVE NOT BEEN ALTERED FROM THAT RECEIVED FROM MUSTANG SPECIAL UTILITY DISTRICT.

OWNER/DEVELOPER
 VOLUNTEER ENTERPRISES IV, LLC
 1895 OLD COAST ROAD, UNIT 2306
 NAPLES, FLORIDA 34110
 Ph. 840-390-2734
 Contact: FRED NICHOLS



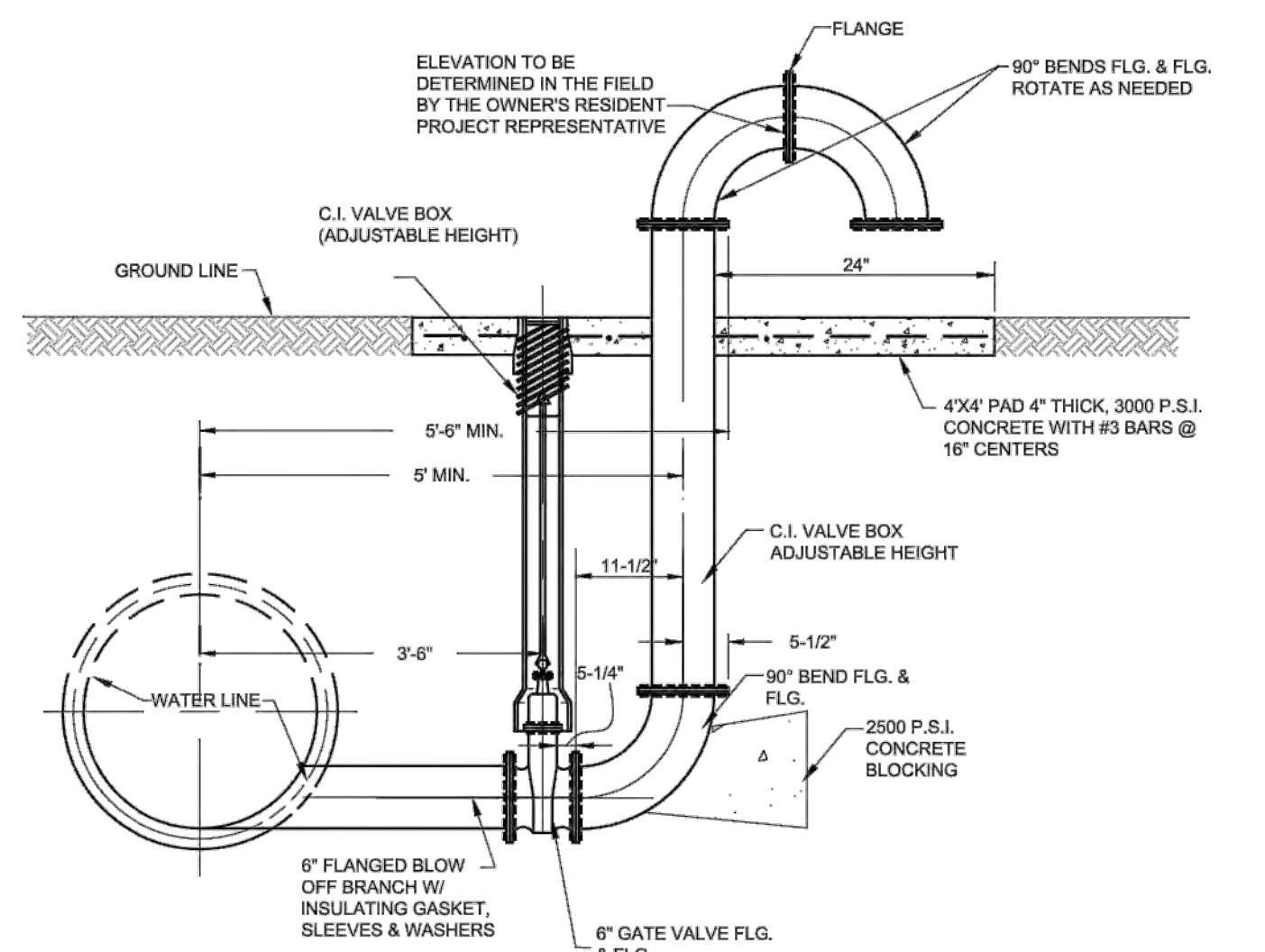
TYPICAL WATER PIPE CASING DETAIL
(AT ROADWAYS AND/OR STORM DRAIN CROSSINGS)
NTS



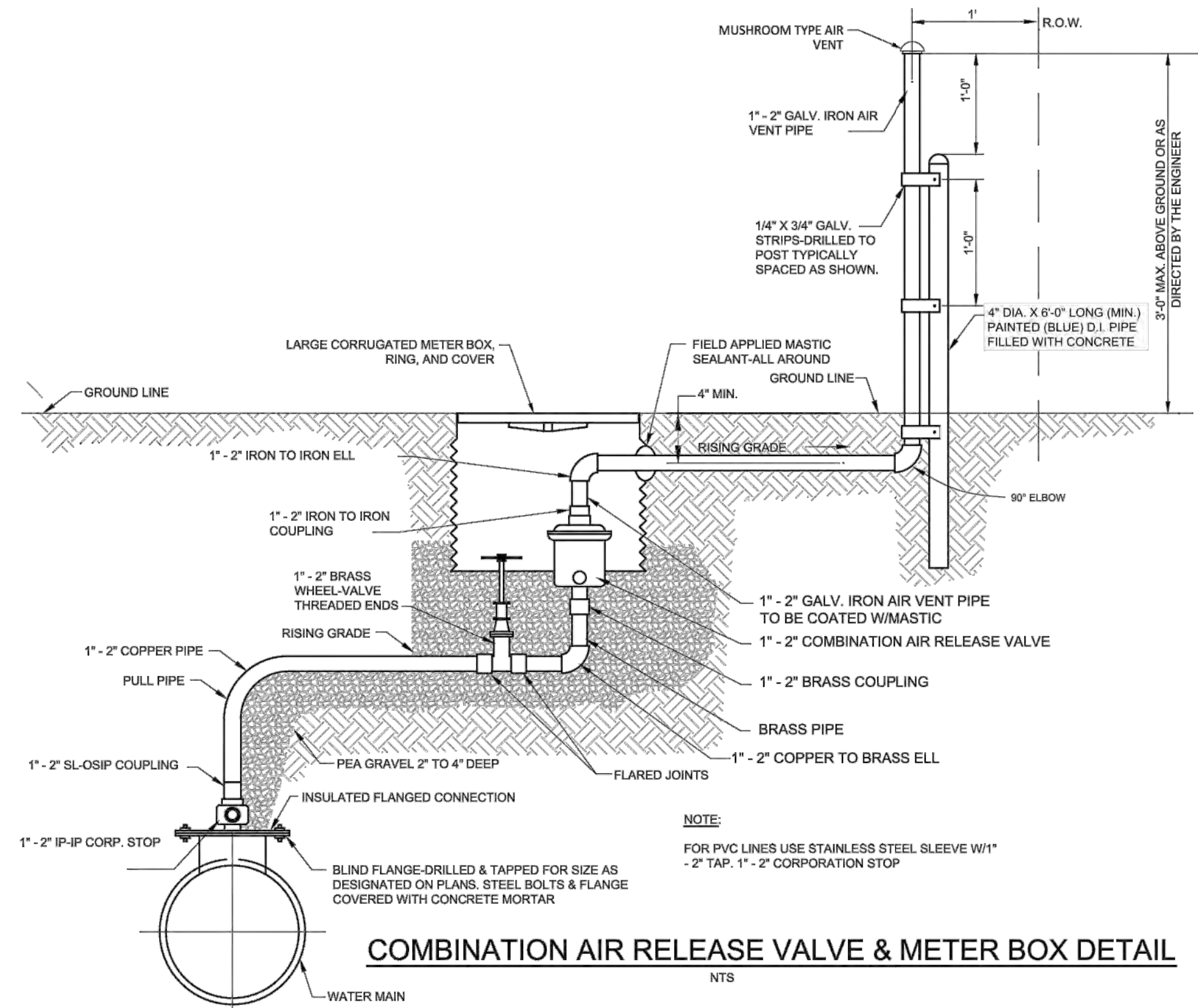
TYPICAL SECTION WITH CASING INSULATING SPACERS
NTS

CASING NOTES:

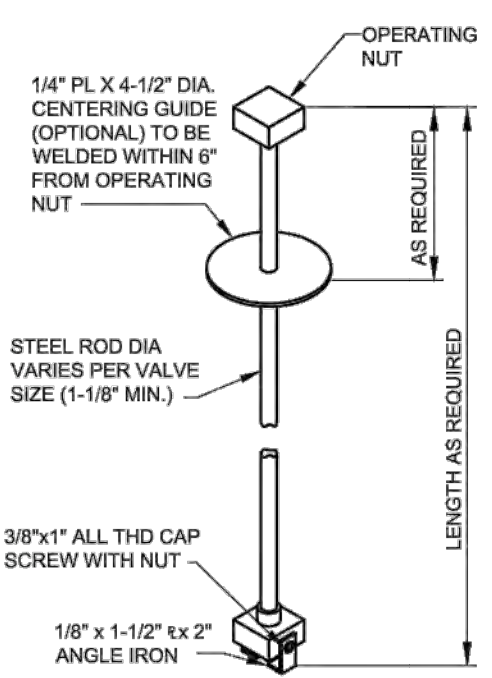
- CASING SPACERS SHALL BE USED TO INSTALL CARRIER PIPE INSIDE THE ENCASMENT PIPE, TO PROVIDE SUPPORT AROUND THE PERIPHERY OF THE PIPE SHOULD THE PIPE TWIST AS IT IS PUSHED THROUGH THE CASING, THE SPACERS SHALL BE OF A PROJECTION TYPE THAT HAS A MINIMUM NUMBER OF PROJECTIONS AROUND THE CIRCUMFERENCE TOTALING THE NUMBER OF DIAMETER INCHES. FOR EXAMPLE, 8" PIPE SHALL HAVE A MINIMUM OF 8 PROJECTIONS AND 18" PIPE SHALL HAVE A MINIMUM NUMBER OF 18 PROJECTIONS.
- CASING SPACERS SHALL HAVE A MAXIMUM SPACING SPAN OF 5 FEET. THE SPAN BETWEEN SPACERS SHOULD RESULT IN CONSERVATIVE LONG-TERM SAFETY FACTOR PROVIDED TOTAL LOAD PER SPACERS DOES NOT EXCEED THE MAXIMUM LOAD FOR PIPE FULL OF LIQUID PER SPACER LISTED IN THE LITERATURE FOR CLASS SPACER USED. SPACERS SHALL HAVE A MINIMUM HEIGHT THAT CLEARS THE PIPE BELL OR AS OTHERWISE INDICATED ON PLANS. CASING SPACERS SHALL USE DOUBLE BACKED TAPE PROVIDED WITH THE SPACERS, TO FASTEN TIGHTLY ONTO THE CARRIER PIPE, SO THAT THE SPACERS DO NOT MOVE DURING INSTALLATION.
- SPACERS SHALL BE RACI HIGH DENSITY POLYETHYLENE OR AS APPROVED BY MSUD ENGINEER.



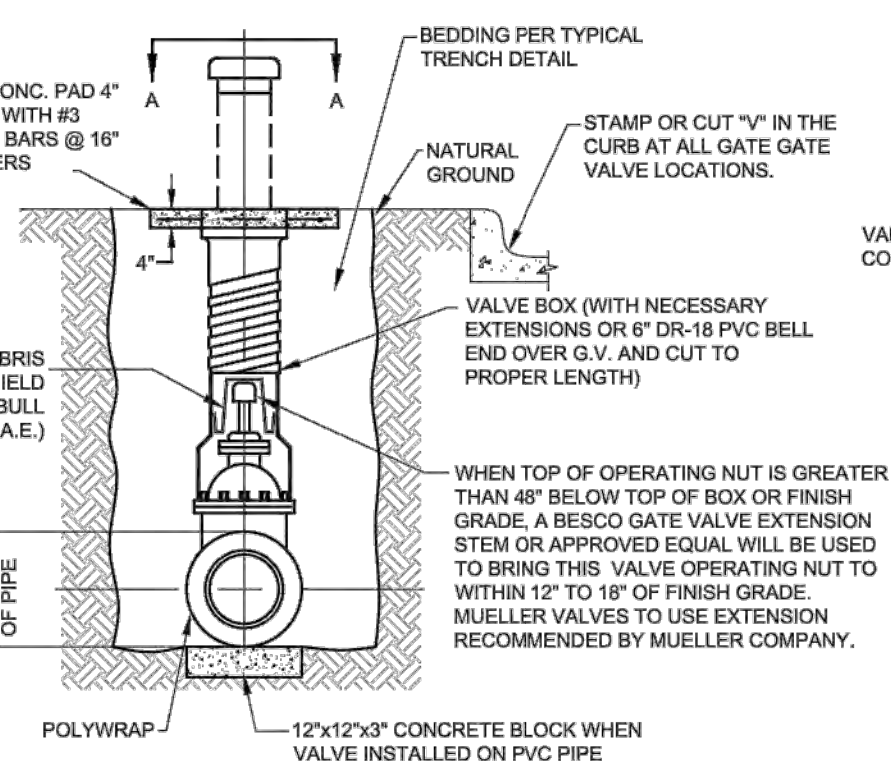
MAIN LINE FLUSH VALVE DETAIL
NTS



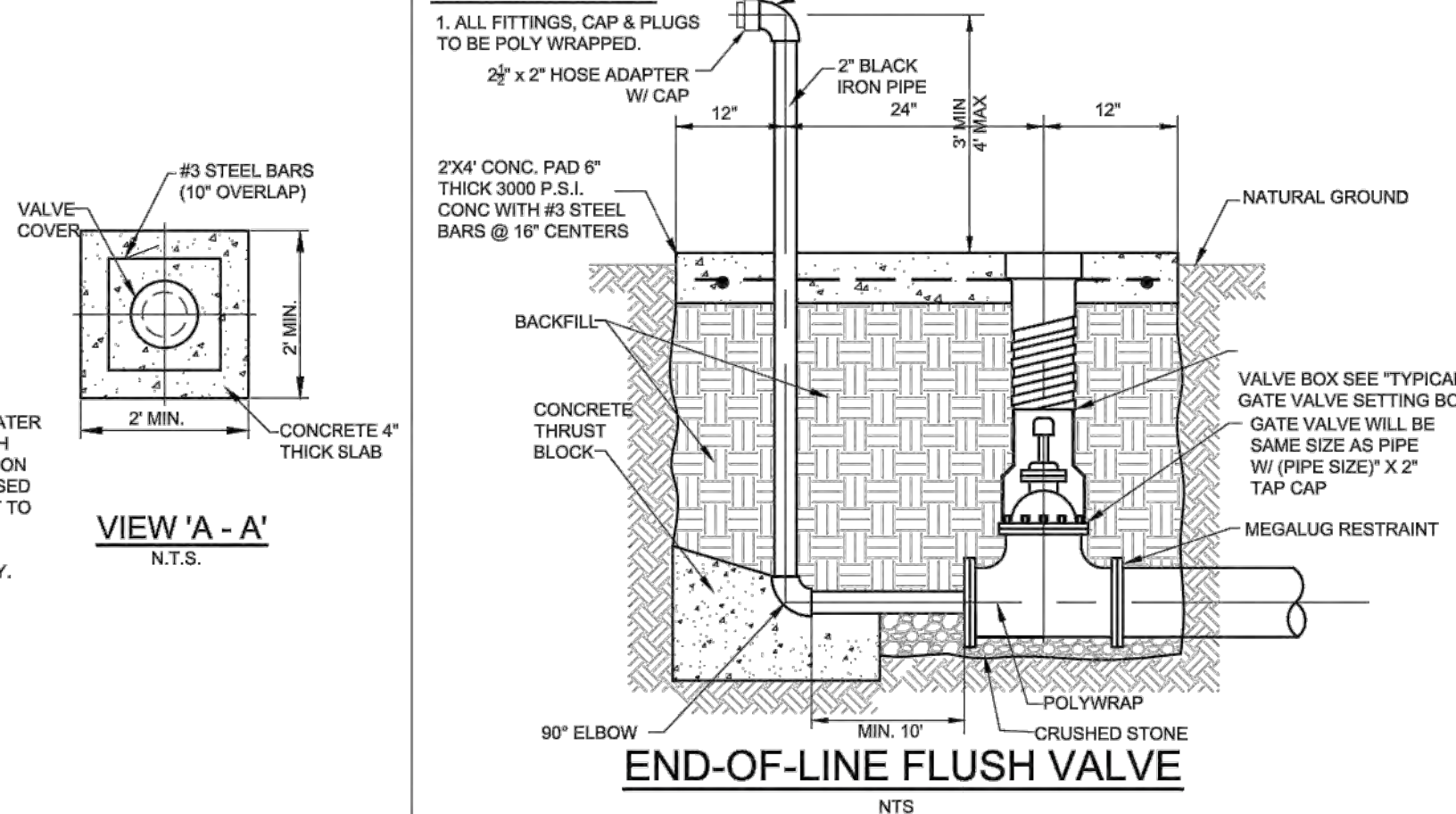
COMBINATION AIR RELEASE VALVE & METER BOX DETAIL
NTS



GATE VALVE EXTENSION STEM
NTS



TYPICAL VALVE SETTING AND BOX
NTS



END-OF-LINE FLUSH VALVE
NTS

FLUSH VALVE NOTES:

- ALL FITTINGS, CAP & PLUGS TO BE POLY WRAPPED.
- 2" x 2" HOSE ADAPTER W/ CAP
- 2"x2" CONC. PAD 6" THICK 3000 P.S.I. CONCRETE WITH #3 STEEL BARS @ 16" CENTERS

NO.	REVISION	BY	DATE

MUSTANG SPECIAL UTILITY DISTRICT

APPROVED BY MSUD: Chris Boyd DATE: 7/27/2020
GENERAL MANAGER:

WATER STANDARD DETAILS (2 OF 2)

CERTIFICATION: THIS MUSTANG SPECIAL UTILITY DISTRICT STANDARD DETAIL SHEET IS AUTHORIZED FOR USE IN THIS PROJECT BY THE ENGINEER WHOSE SEAL APPEARS ON THIS SHEET. THIS ENGINEER IS ALSO CERTIFYING THAT THE CONTENT OF THE DETAILS AND NOTES ON THIS SHEET HAVE NOT BEEN ALTERED FROM THAT RECEIVED FROM MUSTANG SPECIAL UTILITY DISTRICT.

MCADAMS
The John R. McAdams Company, Inc.
111 Hillside Drive
Lewisville, Texas 75057
972.435.9712
201 Country View Drive
Rowlett, Texas 75088
940.240.1012
TBP# 19762 TBPUS: 10194440
www.mcadamsco.com

CROSS ROADS MARKET SQUARE
Lot 3R2-1, 3R2-2, 3R2-3, 3R2-4, 3R2-5X, & 3R2-6X,
Block A
VOLUNTEER ENTERPRISES ADDITION
32.836 Acres
in the
MARCELLA JONES SURVEY, ABSTRACT NO. 662
TOWN OF CROSS ROADS
DENTON COUNTY, TEXAS

MUSTANG SUD
CONSTRUCTION DETAILS

PRELIMINARY PLANS
THIS DOCUMENT IS FOR INTERIM REVIEW AND IS NOT INTENDED FOR CONSTRUCTION, BIDDING, OR PERMIT PURPOSES. THE JOHN R. MCADAMS COMPANY, INC.
TBP# 19762
JOSHUA M. BARTON,
P.E. #129227
DATE 10/27/2020

Drawn By: ASC
Date: 06/01/2020
Scale: N.T.S.
Revisions:
07/13/2020
08/27/2020
10/27/2020

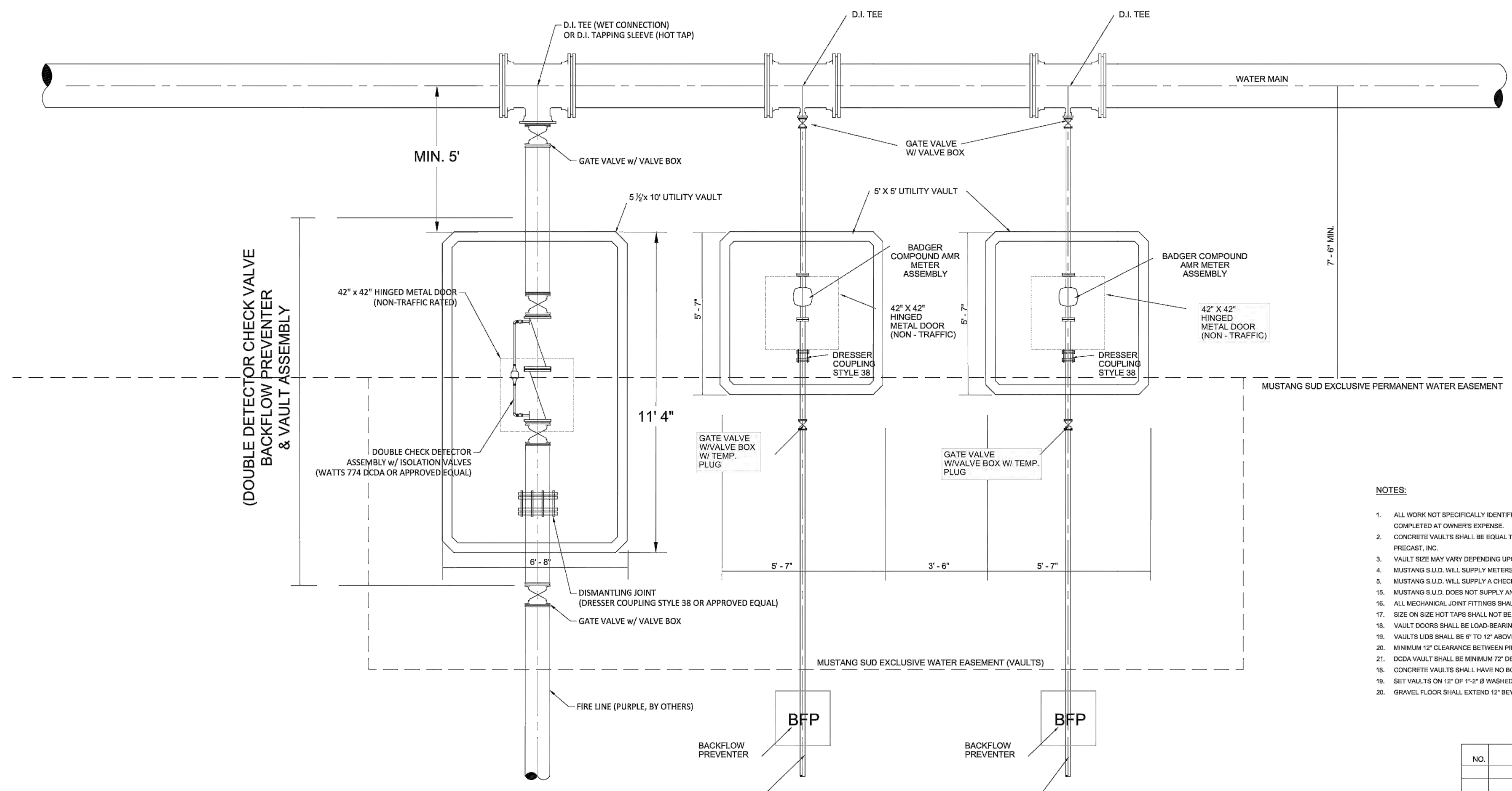
SPEC-20046

C8.7

OWNER/DEVELOPER
VOLUNTEER ENTERPRISES IV, LLC
1895 OLD COAST ROAD, UNIT 2306
NAPLES, FLORIDA 34110
Ph. 940-390-2734
Contact: FRED NICHOLS

File: W:\Projects\10194440-SPEC-20046_Cross Roads Infrastructure\Drawings\10194440_SUD_C8.7.dwg
Printed: 10/27/2020 12:08 PM, by User: Asc, Sheet: 10/26/2020 3:53 PM, by User:

File: W:\Projects\1006-SPUD\SPUD-2004_Cross Roads Intersections\Drawings\1006-SPUD-2004_Specs\1006-SPUD-2004_Specs.dwg
 Plot: 10/27/2020 12:08 PM, by: User, Application: AutoCAD LT



PLAN VIEW
N.T.S.

- NOTES:**
1. ALL WORK NOT SPECIFICALLY IDENTIFIED AS BEING SUPPLIED BY MUSTANG S.U.D. SHALL BE COMPLETED AT OWNER'S EXPENSE.
 2. CONCRETE VAULTS SHALL BE EQUAL TO THAT AS DESIGNED AND MANUFACTURED BY CAPITAL PRECAST, INC.
 3. VAULT SIZE MAY VARY DEPENDING UPON METER SIZE.
 4. MUSTANG S.U.D. WILL SUPPLY METERS UP TO 2\"/>

NO.	REVISION	BY	DATE

MUSTANG SPECIAL UTILITY DISTRICT

APPROVED BY MSUD: Chris Boyd DATE: 7/27/2020
GENERAL MANAGER:

DCDA, IRRIGATION, AND COMMERCIAL DOMESTIC METER DETAILS

CERTIFICATION:
THIS MUSTANG SPECIAL UTILITY DISTRICT STANDARD DETAIL SHEET IS AUTHORIZED FOR USE IN THIS PROJECT BY THE ENGINEER WHOSE SEAL APPEARS ON THIS SHEET. THIS ENGINEER IS ALSO CERTIFYING THAT THE CONTENT OF THE DETAILS AND NOTES ON THIS SHEET HAVE NOT BEEN ALTERED FROM THAT RECEIVED FROM MUSTANG SPECIAL UTILITY DISTRICT.

MCADAMS

The John R. McAdams Company, Inc.
111 Hillside Drive
Lewisville, Texas 75057
972.435.9712
201 Country View Drive
Rockwall, Texas 75087
940.240.1012
TBPE: 19762 TBPLS: 10194440
www.mcadamsco.com

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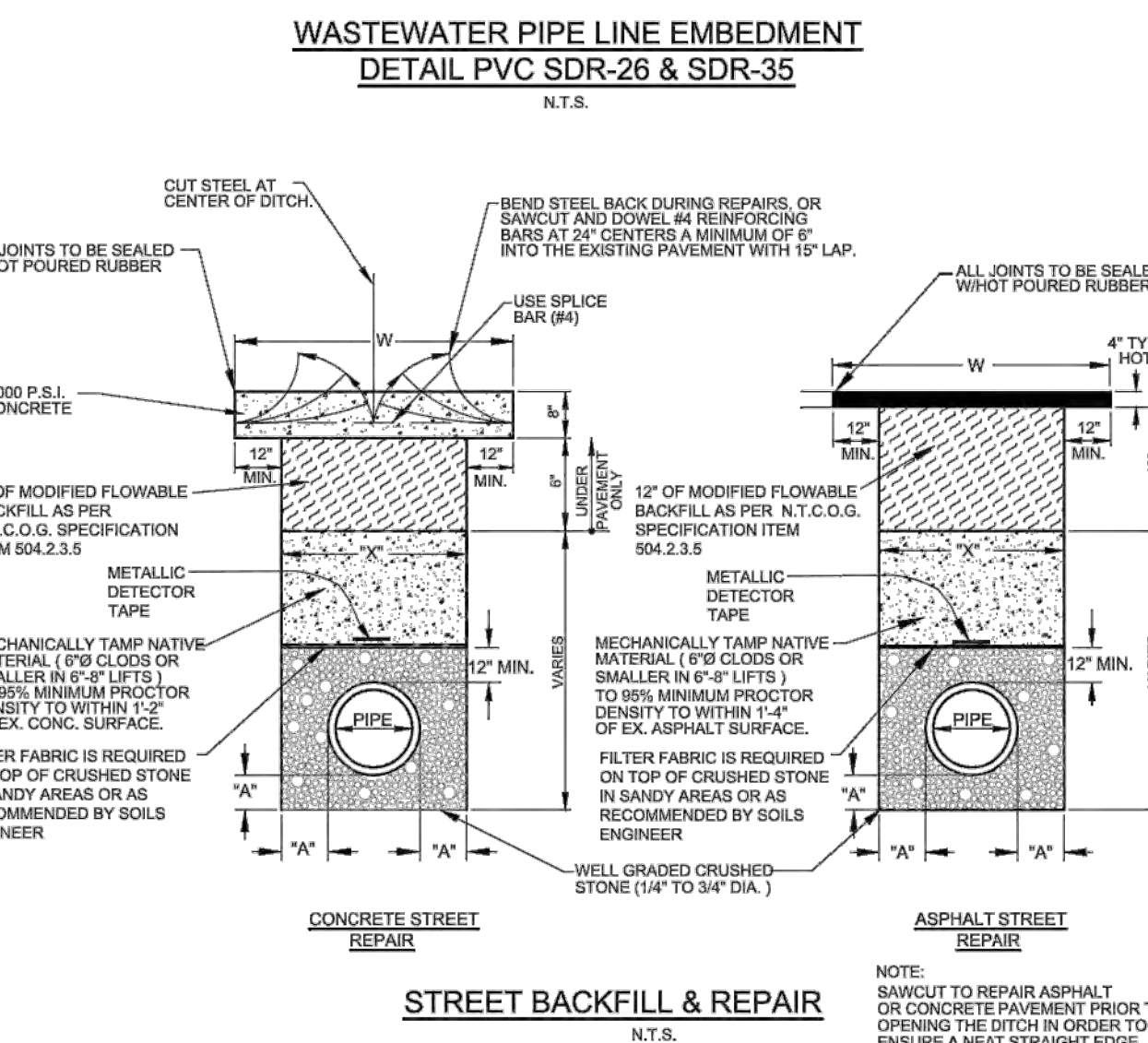
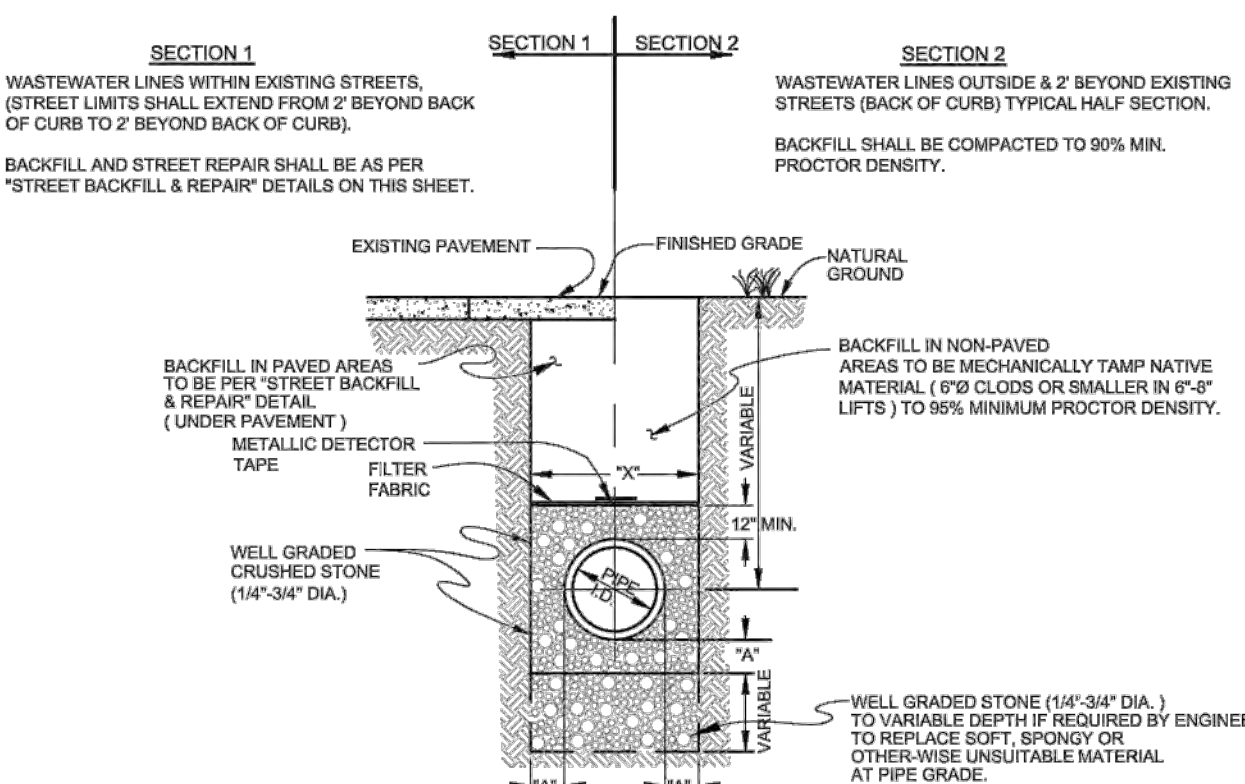
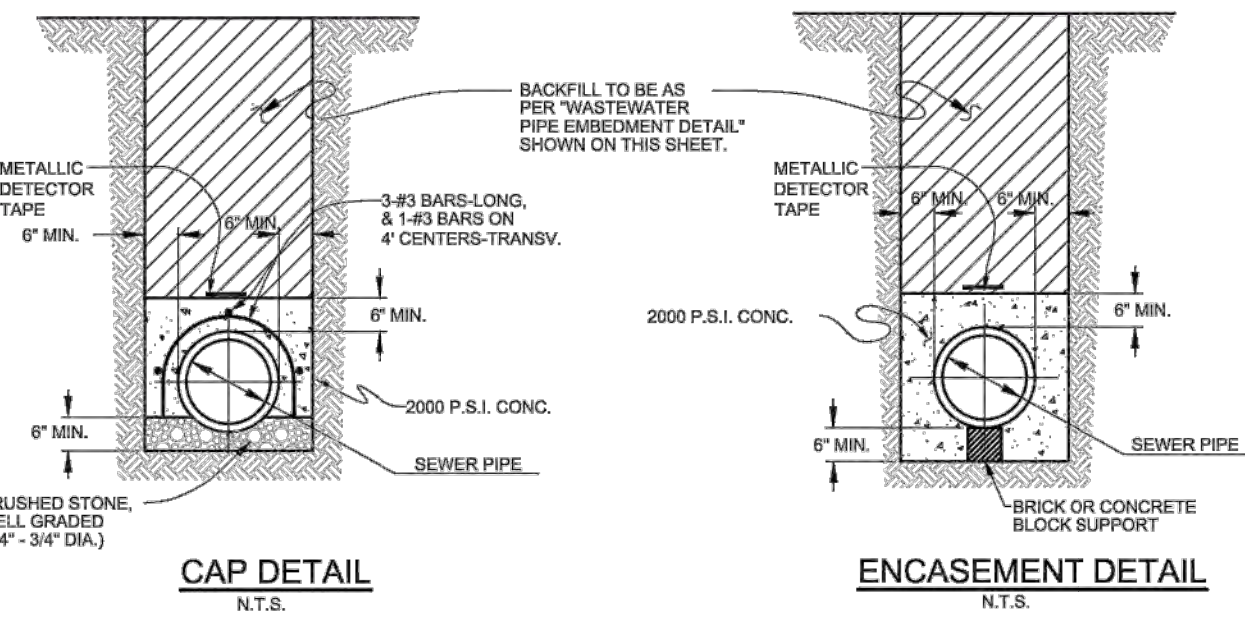
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SPEC-20046

C8.9

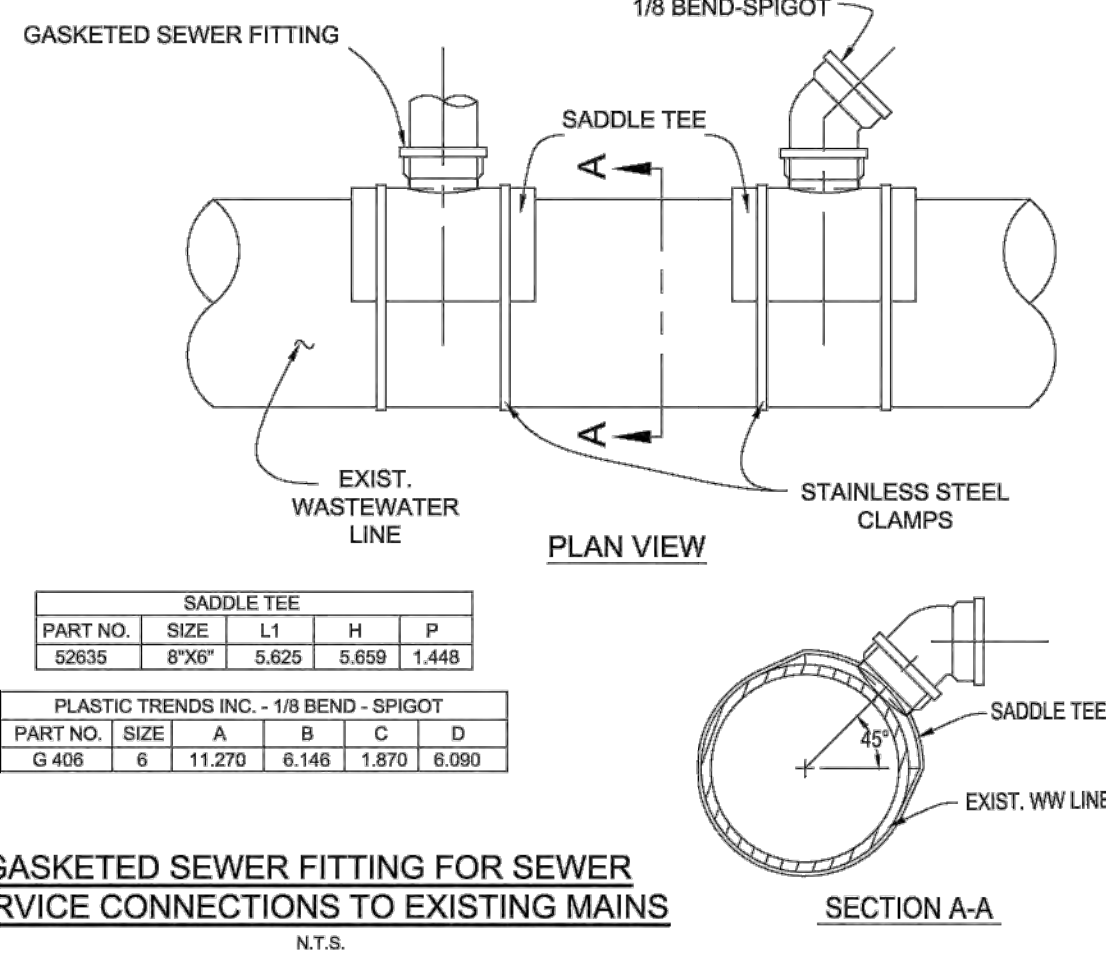
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NAPLES, FLORIDA 34110
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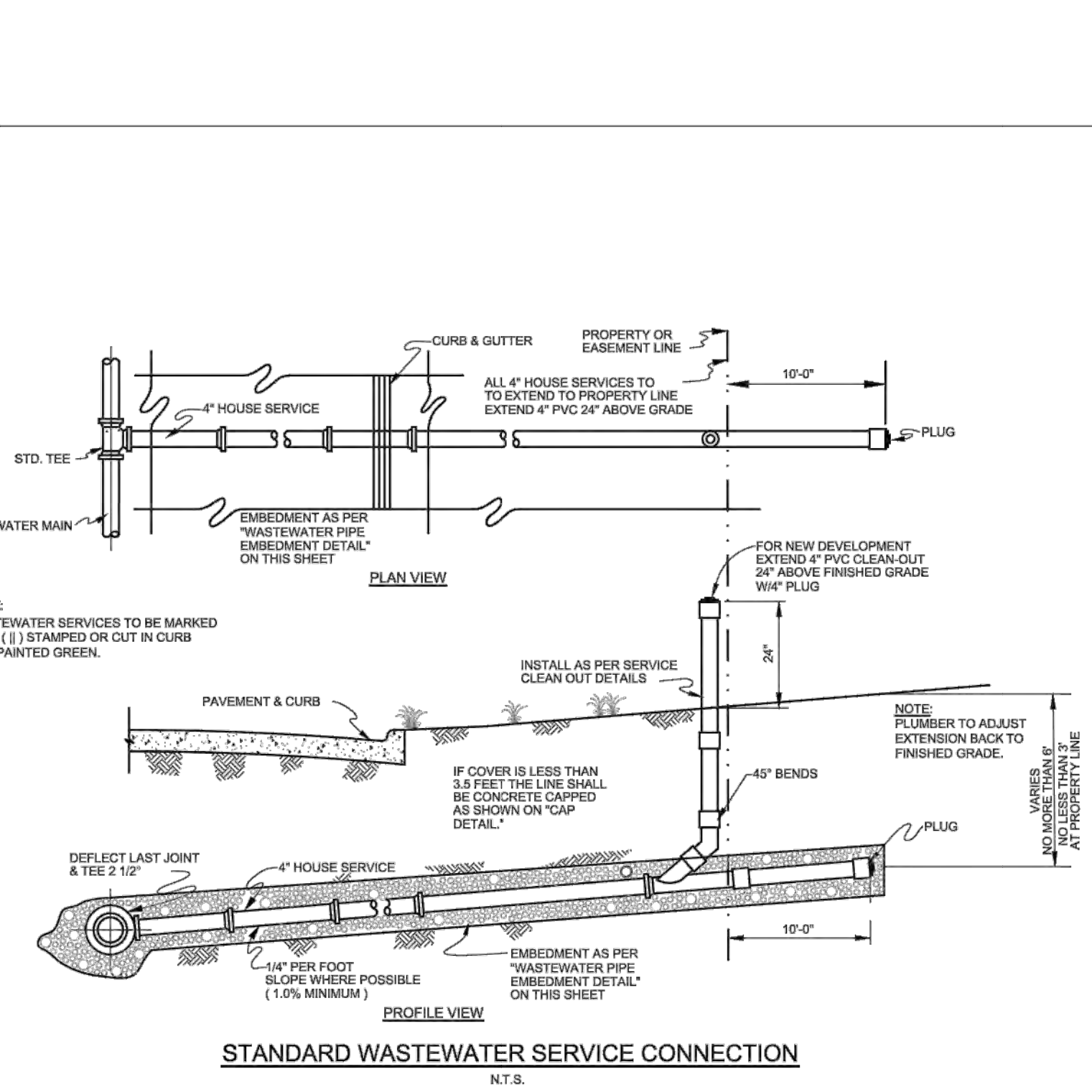
NORMAL SIZE OF PIPE IN INCHES	O.D. OF PIPE BELL IN INCHES (PVC-SDR35)	MINIMUM TRENCH WALL CLEARANCE "A" IN INCHES	WIDTH OF TRENCH (X) IN INCHES		WIDTH OF PVMT. REPLACEMENT * IN INCHES
			MAXIMUM **	MINIMUM **	
4	4.67	6	24	18	42
6	6.74	6	24	19	48
8	8.99	6	24	21	48
10	11.27	6	28	24	48
12	13.27	6	30	26	50
15	16.45	8	37	33	57
18	20.73	8	41	37	61
21	24.42	8	45	41	65
24	27.21	8	48	44	68
27	30.61	8	51	47	71

NOTE: * REFER TO THE PLANS FOR SPECIFIED WIDTH OF REPLACEMENT.
 ** RECOMMENDED WIDTHS - VARIES BASED ON DEPTH, AND SOIL MATERIAL.

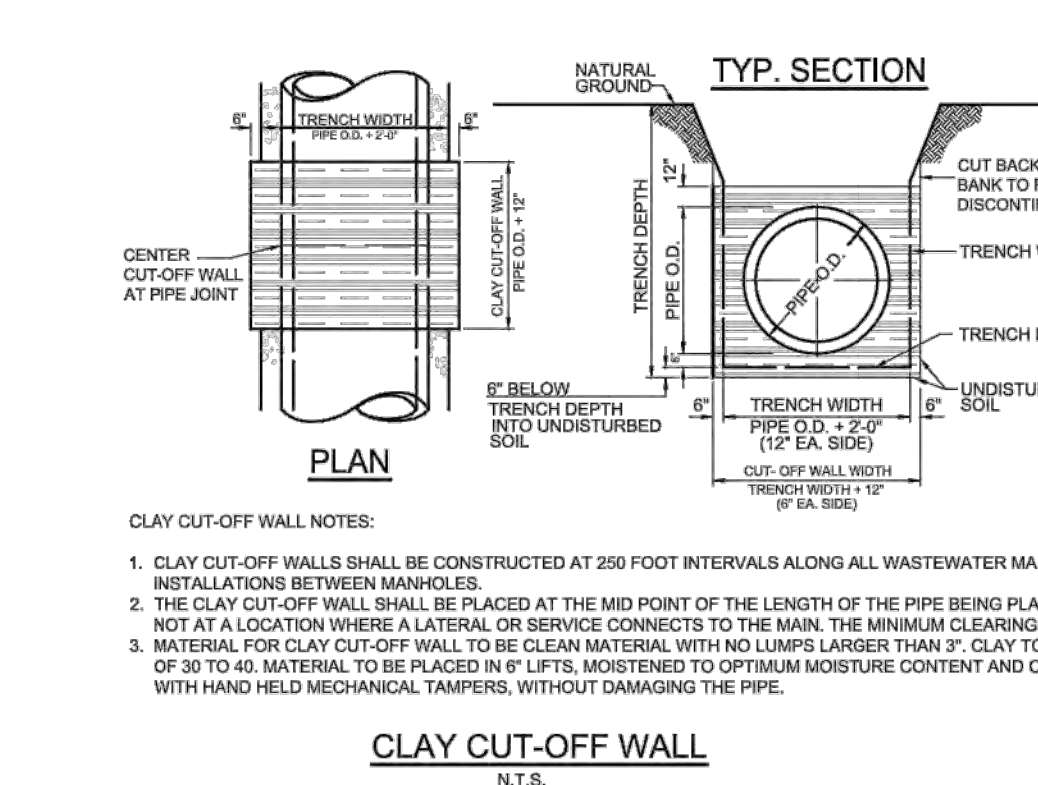
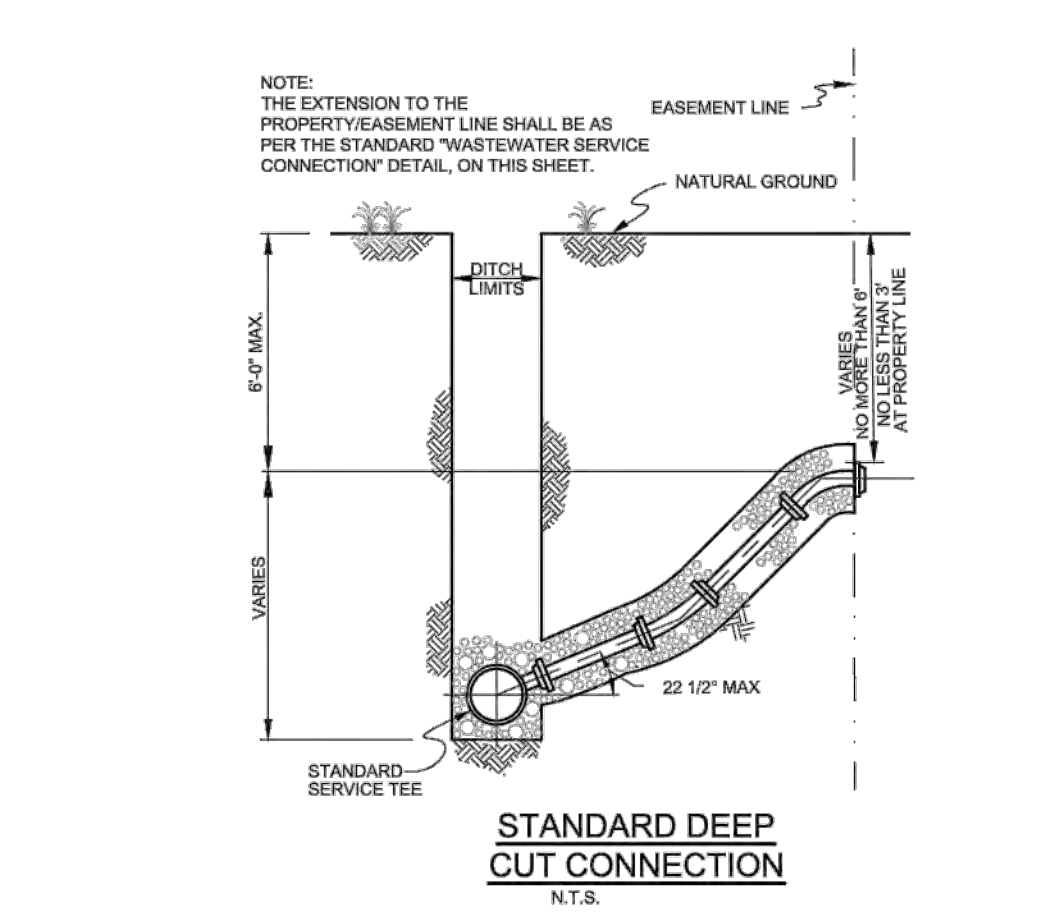
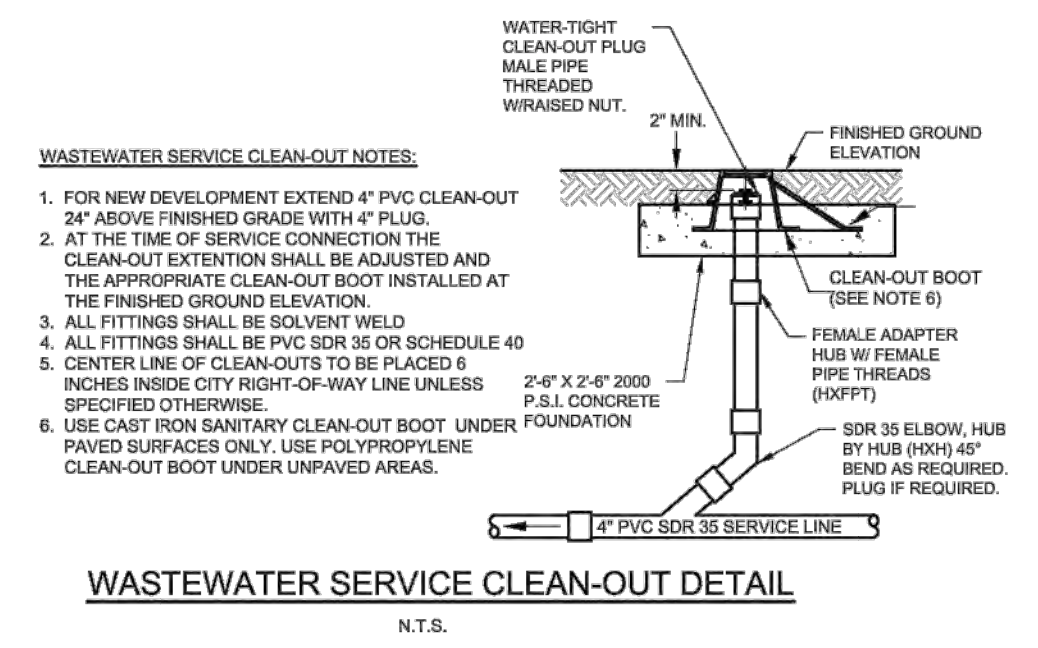
TABLE OF DIMENSIONS FOR WIDTH OF TRENCH AND PAVEMENT REPLACEMENT



- NOTES:
- FLEXIBLE SADDLE TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS.
 - SADDLE TEE SHALL BE ORIENTATED 45° TO MAIN.
 - EXCAVATE AROUND EXISTING 8-INCH PIPE, EXPOSING SUFFICIENT ROOM FOR S.S. CLAMPS.
 - THOROUGHLY CLEAN AND DRY THE MATING SURFACE WITH RAG OR PAPER TOWEL MAKE SURE THEY ARE FREE OF DUST AND MOISTURE.
 - MARK THE SIZE OF THE HOLE TO BE CUT USING THE GASKET SKIRT OR THE SADDLE ITSELF AS THE TEMPLATE.
 - SAW OUT THE SECTION OF THE PIPE WHERE THE SADDLE WILL BE LOCATED, WITH A SABER OR KEY HOLE SAW.
 - TEST TO MAKE SURE SADDLE FITS HOLE PROPERLY.
 - SERVICE PIPE SHALL NOT EXTEND MORE THAN ONE-HALF INCH INTO THE MAIN.
 - PLACE GASKET SKIRT AND SADDLE OVER OPENING AND TIGHTEN BAND CLAMPS EVENLY UNTIL SADDLE IS FIRMLY ATTACHED TO THE PIPE. APPLY PRESSURE ON THE SADDLE AGAINST THE PIPE WHILE TIGHTENING THE CLAMPS AS INDICATED ABOVE. DO NOT OVER TIGHTEN, DO NOT STRIP THREAD.
 - REPLACE THE BEDDING AND BACKFILL IN ACCORDANCE WITH THE TRENCH EMBEDMENT DETAIL.



STANDARD WASTEWATER SERVICE CONNECTION N.T.S.



CLAY CUT-OFF WALL N.T.S.

NO.	REVISION	BY	DATE

MUSTANG SPECIAL UTILITY DISTRICT

APPROVED BY MSUD GENERAL MANAGER: Chris Boyd DATE: 7/27/2020

WASTEWATER STANDARD DETAILS (1 OF 2)

CERTIFICATION: THIS MUSTANG SPECIAL UTILITY DISTRICT STANDARD DETAIL SHEET IS AUTHORIZED FOR USE IN THIS PROJECT BY THE ENGINEER WHOSE SEAL APPEARS ON THIS SHEET. THIS ENGINEER IS ALSO CERTIFYING THAT THE CONTENT OF THE DETAILS AND NOTES ON THIS SHEET HAVE NOT BEEN ALTERED FROM THAT RECEIVED FROM MUSTANG SPECIAL UTILITY DISTRICT.

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 DENTON COUNTY, TEXAS

MUSTANG SUD
CONSTRUCTION DETAILS

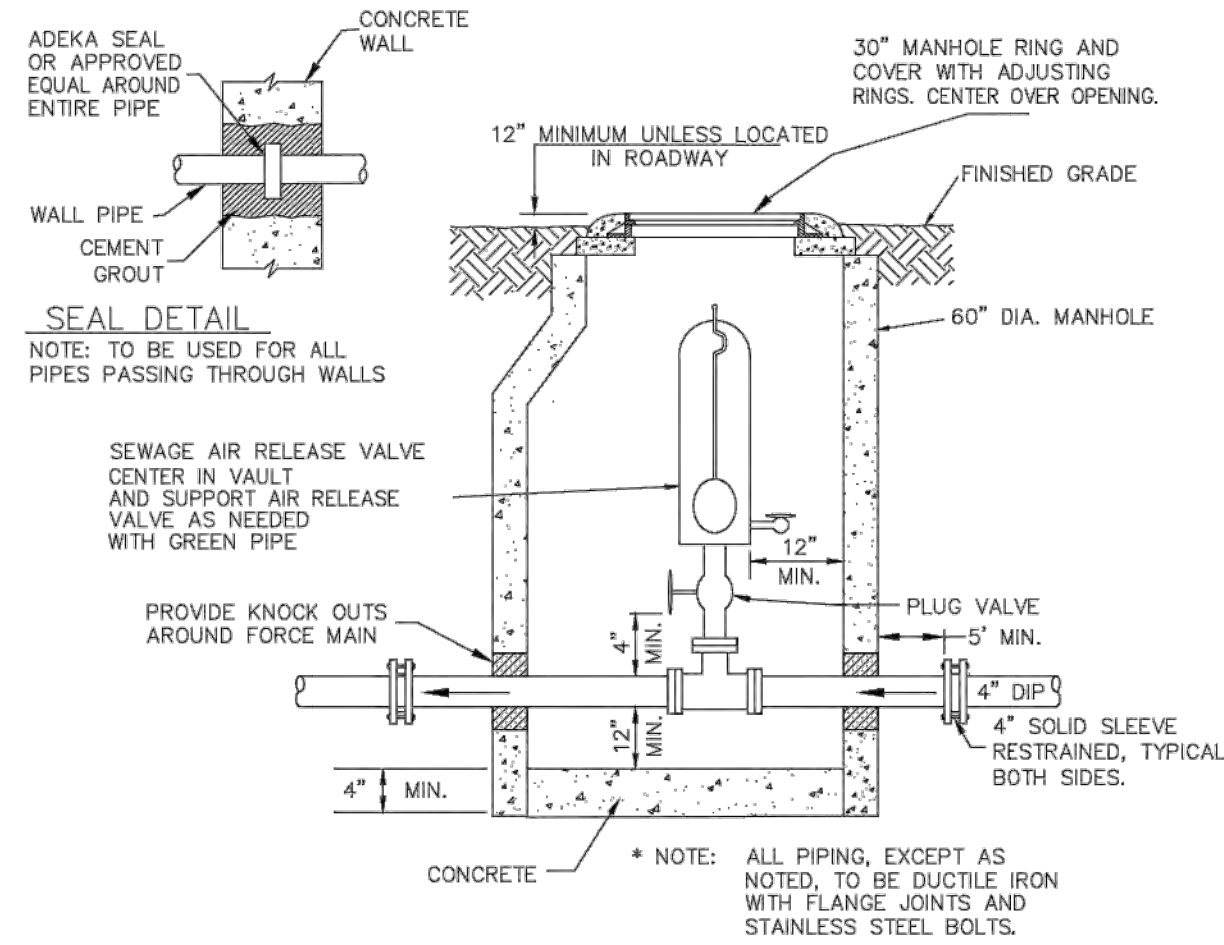
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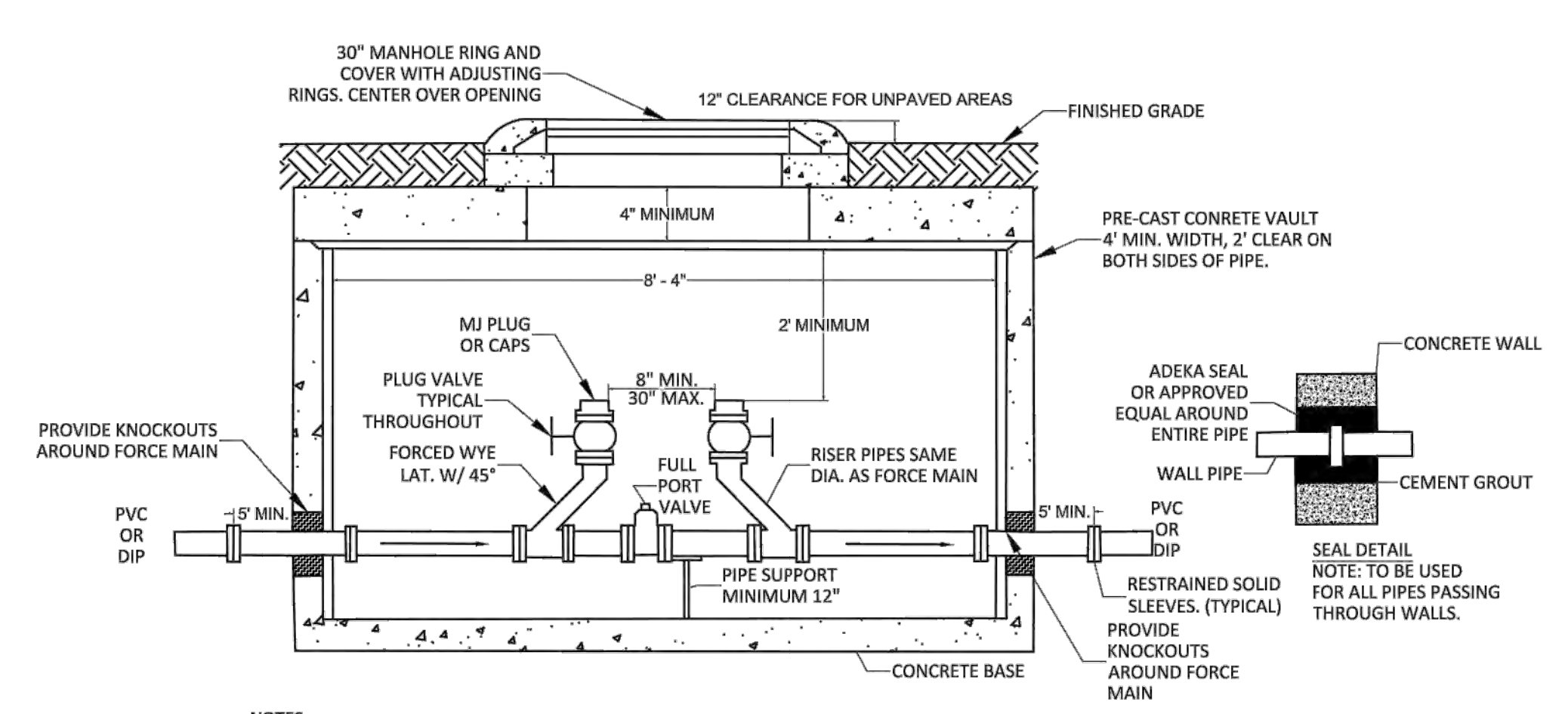
SPEC-20046

C8.10

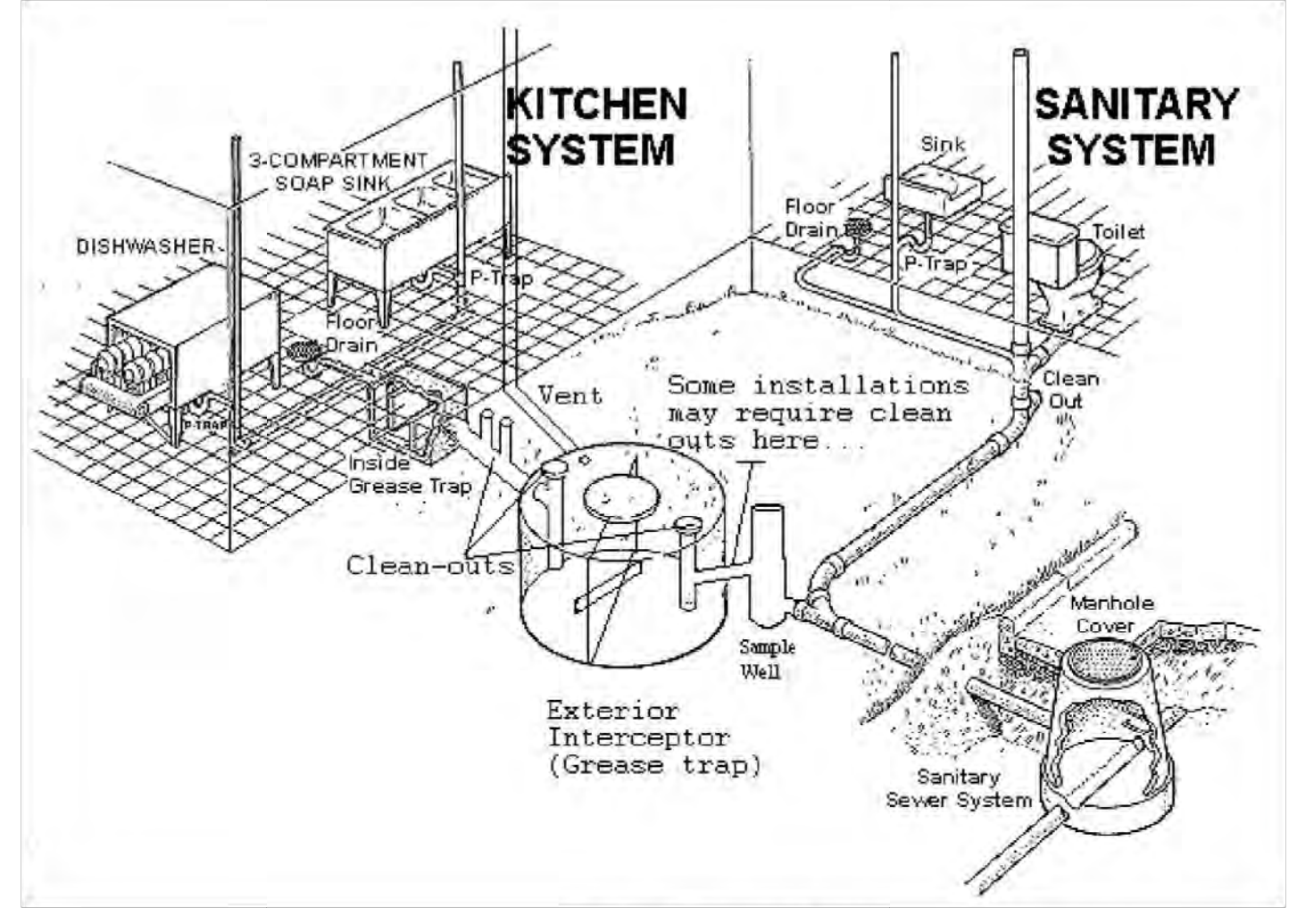
OWNER/DEVELOPER
 VOLUNTEER ENTERPRISES IV, LLC
 1895 OLD COAST ROAD, UNIT 2306
 NAPLES, FLORIDA 34110
 Ph. 940-390-2734
 Contact: FRED NICHOLS



SEWER AIR RELEASE VALVE
N.T.S.

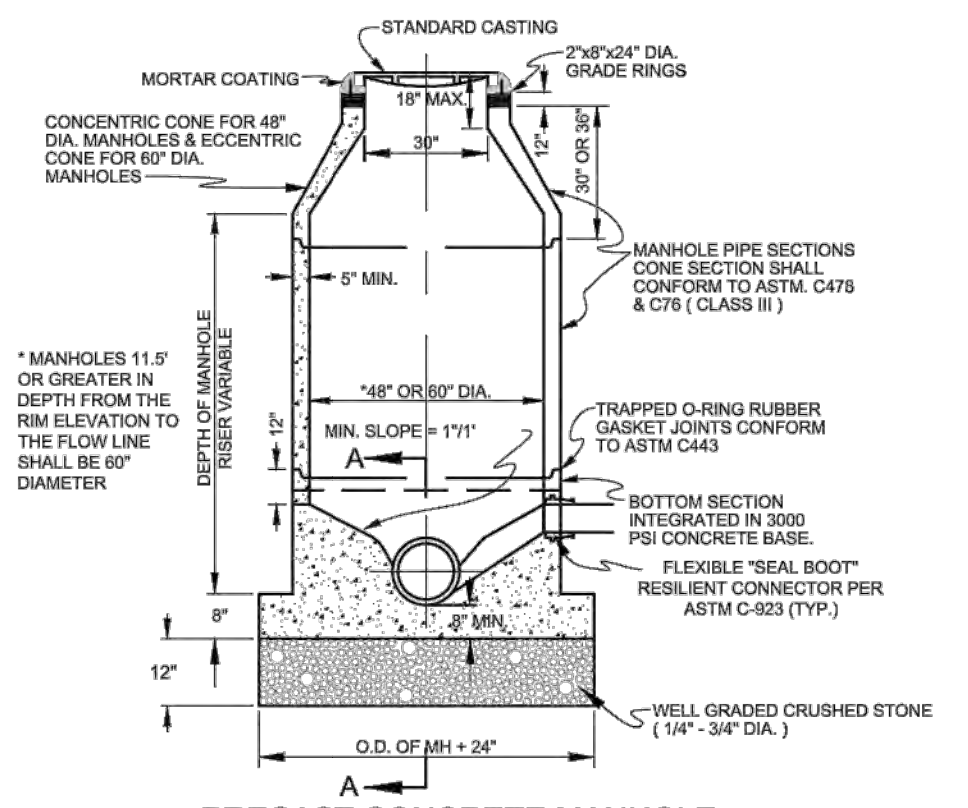


TWO-WAY FORCE MAIN CLEAN-OUT
N.T.S.

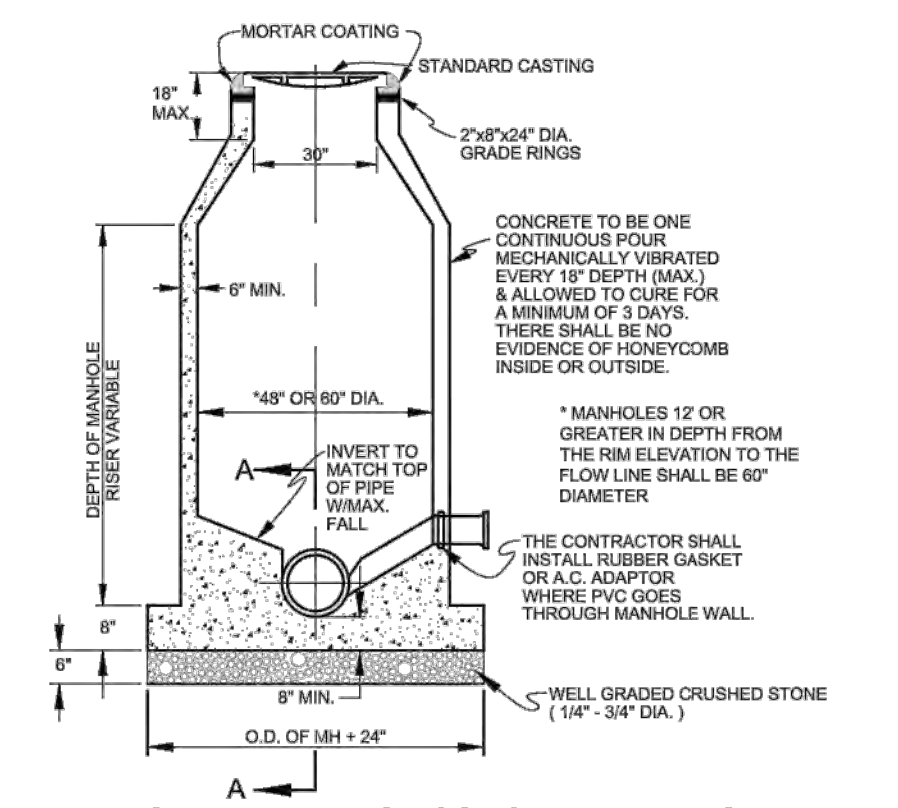


Typical Plumbing Layout
N.T.S.

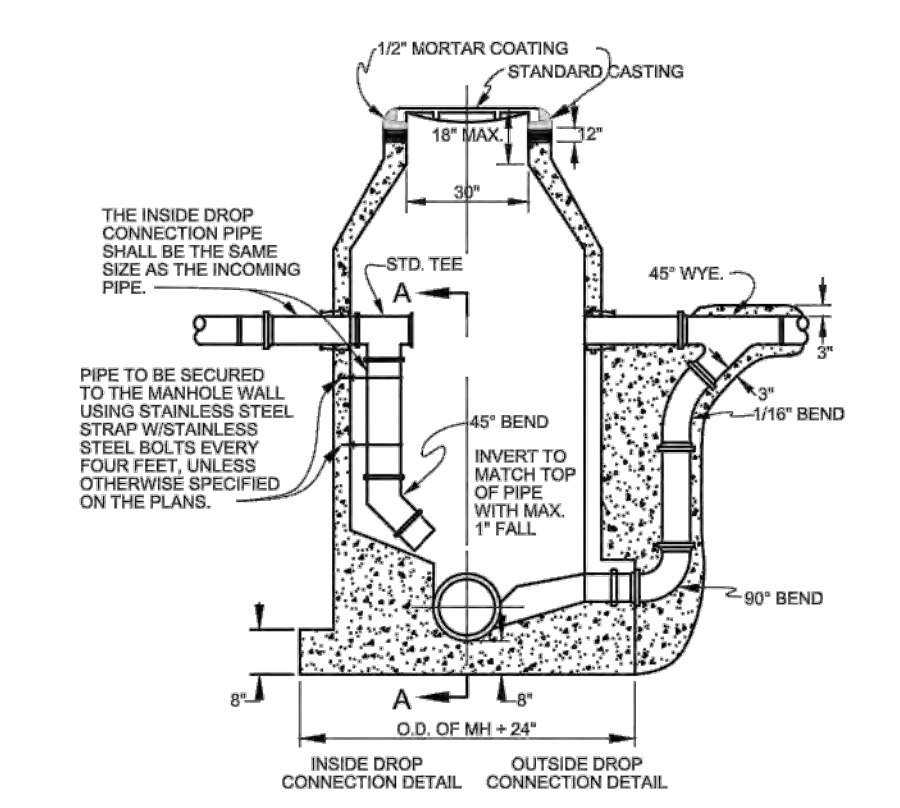
NOTE: MUSTANG SPECIAL UTILITY DISTRICT REQUIRES RESTAURANTS, FOOD PROCESSING FACILITIES, AUTOMOTIVE REPAIR FACILITIES, CAR WASHES, COMMERCIAL LAUNDRIES, AND ALL OTHER FACILITIES THAT THE DISTRICT DEEMS NECESSARY TO INSTALL AND MAINTAIN GREASE OR GRIFF TRAPS. IT IS THE RESPONSIBILITY OF THE GENERATORS TO ENSURE THAT THEIR GREASE TRAPS, AND THE WASTEWATER DISCHARGED FROM THEM, ARE IN COMPLIANCE WITH ALL DISTRICT REQUIREMENTS.



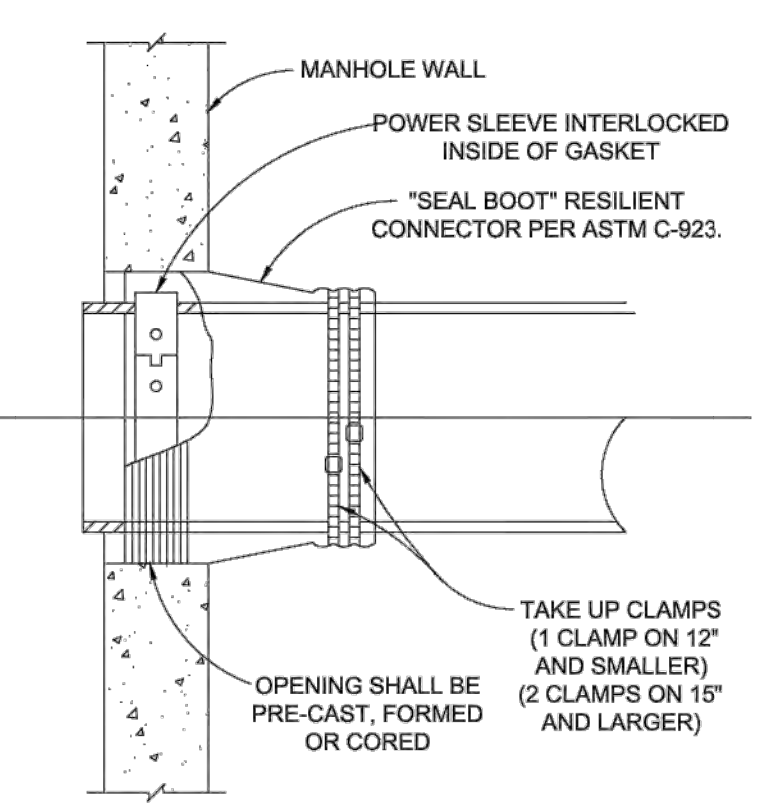
PRECAST CONCRETE MANHOLE
N.T.S. SEE CONCRETE MANHOLE NOTES.



POURED IN PLACE CONCRETE MANHOLE
N.T.S. SEE CONCRETE MANHOLE NOTES.



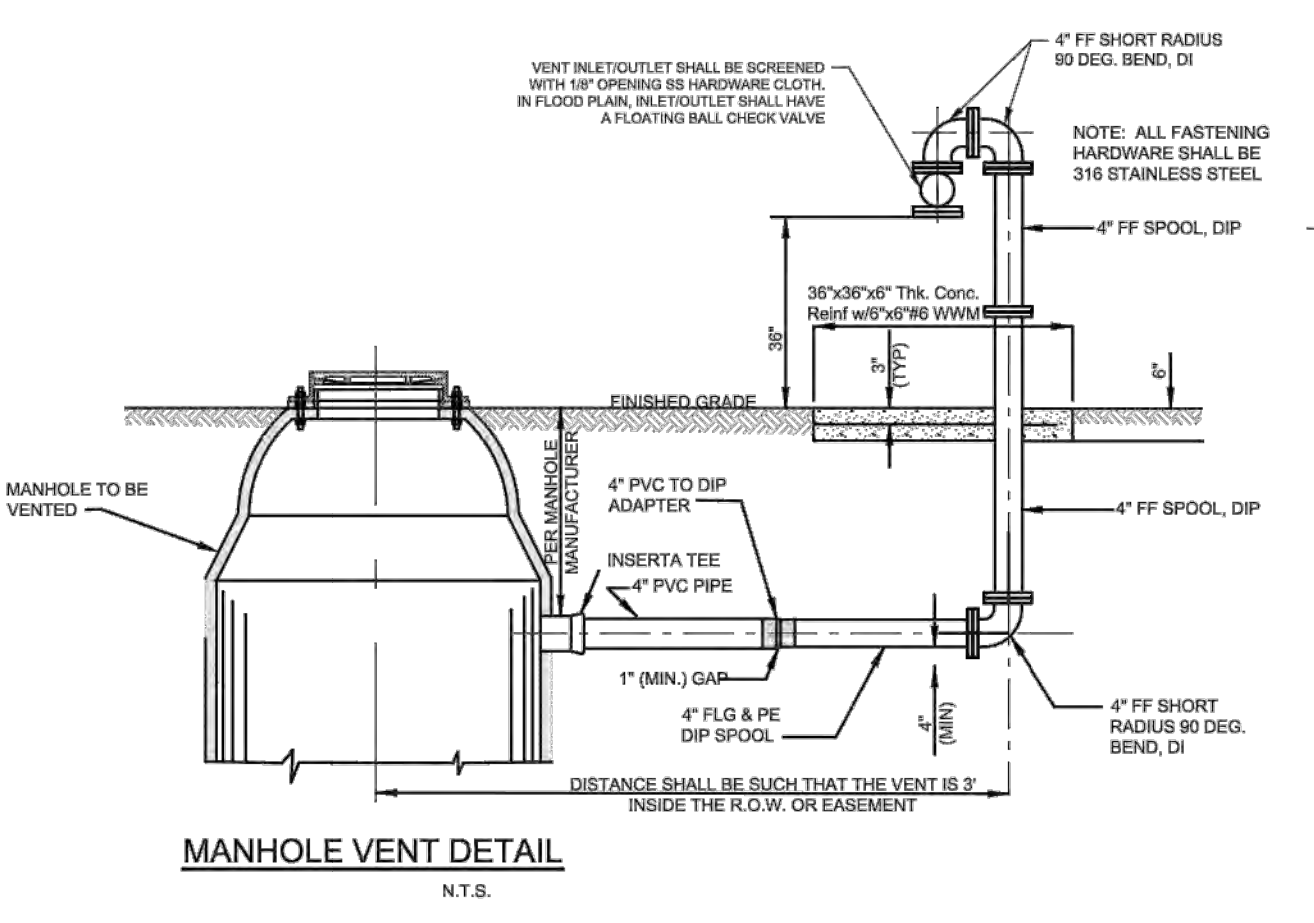
STANDARD DROP CONNECTION TO MANHOLE
N.T.S.



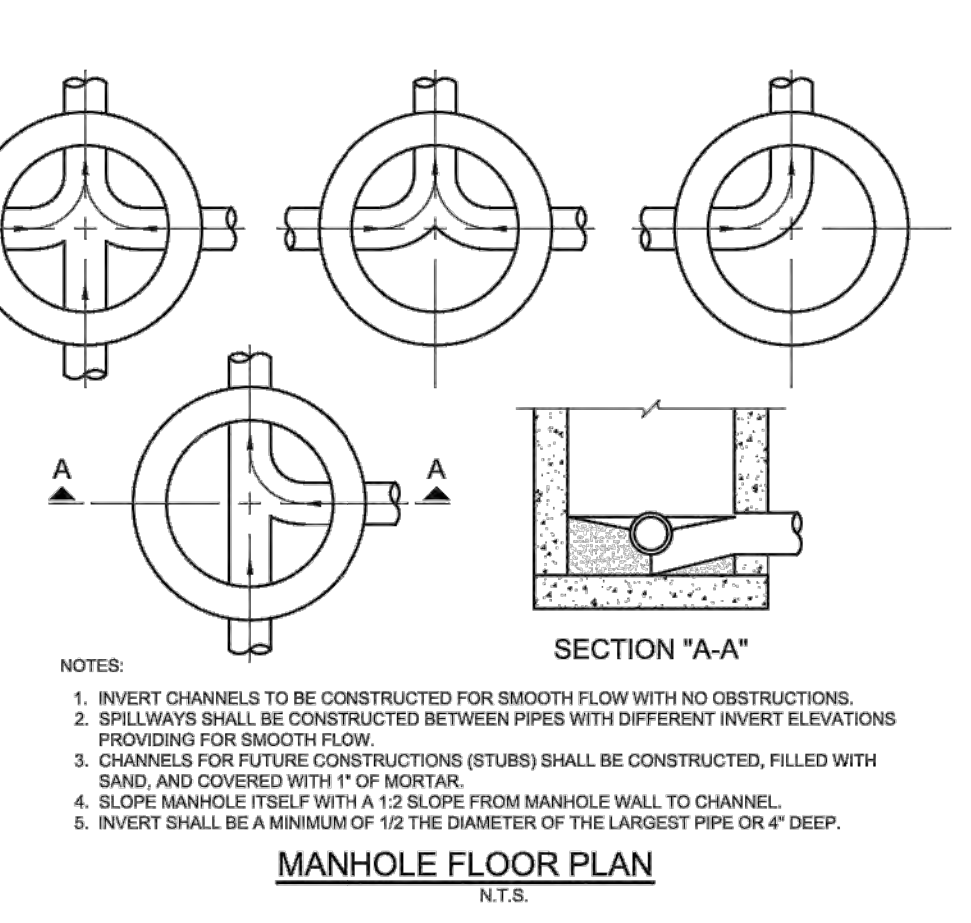
FLEXIBLE \"SEAL BOOT\" CONNECTOR
N.T.S.

CONCRETE MANHOLE NOTES:

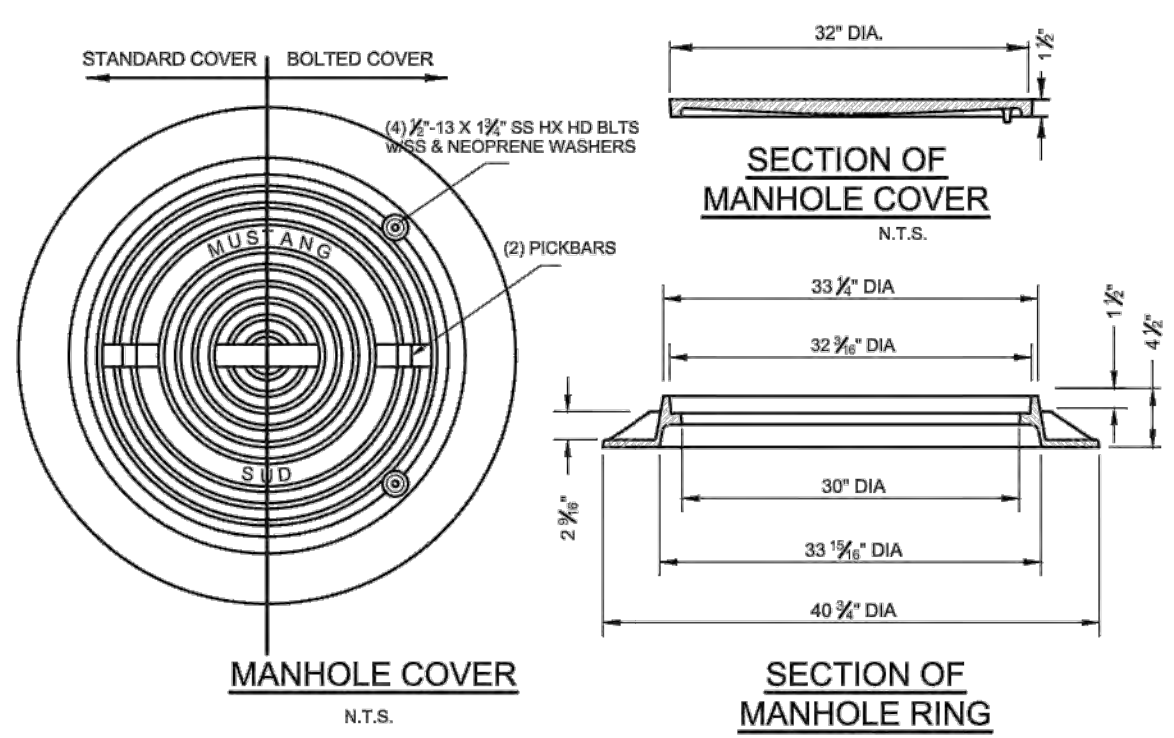
1. CONCRETE FOR ALL PRECAST AND POURED IN PLACE MANHOLES SHALL BE 6.5 SACK, 4200 P.S.I. SULPHATE RESISTANT CONCRETE.
2. THE DIAMETER OF THE CONCRETE BASE SHALL NOT BE LESS THAN THE INSIDE DIAMETER OF THE MANHOLE PLUS 2 FT.
3. STEPS SHALL NOT BE INSTALLED IN MANHOLE.
4. ALL NEW MANHOLES SHALL BE MARKED WITH \"MH\" STAMPED OR CUT IN THE CURB.
5. USE DROP CONNECTIONS WHEN CONNECTING LINE EXCEEDS 24\"/>



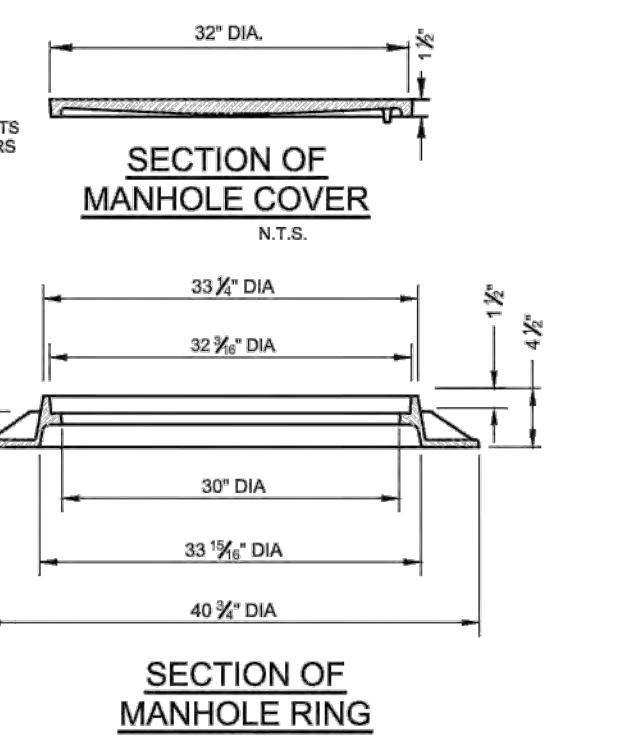
MANHOLE VENT DETAIL
N.T.S.



MANHOLE FLOOR PLAN
N.T.S.



MANHOLE COVER
N.T.S.



SECTION OF MANHOLE RING
N.T.S.

NO.	REVISION	BY	DATE

MUSTANG SPECIAL UTILITY DISTRICT

APPROVED BY MSUD GENERAL MANAGER: Chris Boyd DATE: 7/27/2020

WASTEWATER STANDARD DETAILS (2 OF 2)

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MUSTANG SUD
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Drawn By: ASC
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10/27/2020

SPEC-20046

C8.11

OWNER/DEVELOPER
VOLUNTEER ENTERPRISES IV, LLC
1895 OLD COAST ROAD, UNIT 2306
NAPLES, FLORIDA 34110
Ph. 840-390-2734
Contact: FRED NICHOLS

TOWN OF CROSS ROADS
PLATTING APPLICATION



DATE: 04/04/2022

APPLICATION # 2022-0404-02REPLAT

PROJECT: Cross Roads Market Square

Completed applications will be considered received on the due date specified on the yearly Submission Schedule.
PLEASE VERIFY MEETING DATES.

TYPE OF PLAT

Preliminary _____ Replat 4
 Final _____ Administrative/Amending _____

PLEASE SPECIFY THE PRIMARY CONTACT

Land Owner Name Fred Nichols Signature [Signature]

Applicant Name Josh Barton Signature [Signature]
Digitally signed by Josh Barton
 DN: cn=Josh Barton, o=McAdamsco, email=j.barton@mcadamsco.com, c=TX
 Date: 2022.04.04 10:22:59-0500

Project Contact Mailing Address 111 Hillside Dr, Lewisville, Texas 75057

Project Contact Phone 469.939.8845 Email jbarton@mcadamsco.com

Proposed Project Name Cross Roads Market Location SE Corner of Naylor Road

Lot/Block 3R2/A Abstract SD4406A

DCAD ID 676959

Number of Lots Created 5

REQUIRED SUBMISSION DOCUMENTS

Fee \$2000 deposit + \$1280 fees = \$3,280.00 Legal Description Lot 3R2-1-4 & 3R2-1-5

Location Map _____ Drawings (1 full, 2 half) _____

Site Plan (Commercial) Included Electronic copy of application Yes

Electronic copy of drawings Yes

OTHER (Specify) _____

APPLICATION EXPLANATION

Explanation and Description of Request or Project

This application is in order to subdivide the 32.836 acre lot into 5 lots to match the approved concept plan in the zoning

Before submitting an application, the applicant should consult with the Town Administrator to discuss the feasibility of the request and any additional requirements.



COUNCIL AGENDA BRIEFING SHEET

Meeting Date:
July 25, 2022

Agenda Item:

CONDUCT A PUBLIC HEARING, discuss and consider a recommendation to the Town Council on a request by applicant Andrew Burke on behalf of owner Margarito Espinoza for a special use permit to allow for outdoor retail sales for property located at 8801 US 380, Cross Roads, Denton County, Texas. (2022-0404-08SUP)

Prepared by:

Kristi Gilbert, Town Administrator

Description:

On April 4, 2022, applicant Andrew Burke, on behalf of owner, Margarito Espinoza, applied for a Special Use Permit to allow for outdoor retail sales for property located at 8801 US 380. The application was reviewed by Staff with comments provided to the applicant on April 18, 2022. A notice of public hearing was published in the paper on Sunday, May 22, 2022. Notice was also mailed to property owners within 200 feet of the subject property. As of the date the packet was published, no comments have been received.

Review of the April 4, 2022 submittal included a request for additional information to include photos of existing sites or proposed renderings to determine the overall visual impact of the project. The applicant responded with a site plan indicating landscape screening and an eight foot (8') high wooden screen fence on the north side of display areas. The applicant also included renderings that did not match the site plan which included additional buildings, a different parking lot and unscreened pallet areas. Staff advised the applicant Staff would recommend denial based on the conflicts in the plans and the applicant asked to table the application to the June Planning and Zoning meeting.

On May 23, 2022, the applicant resubmitted a site plan for review, to which Staff responded that a rendering would be critical to evaluate the application. Updated renderings were not submitted in time to review for the June 7th Planning and Zoning meeting. The updated site plan indicated an eight-foot (8') masonry/wrought iron screening fence along the northern property line, large areas of product display on improved surfaces with no screening, and notations for "bins for plant material" and "bins for sand and gravel" with no renderings that indicate what the visual impact of this will be.

At their June 7, 2022 meeting, the Planning and Zoning Commission opened the public hearing and continued it to the July 5, 2022 meeting. The applicant submitted the included site plan and rendering with a view from the west side only.

The most recent submittal includes landscaping along the northern property line and adjacent to the parking lot. The plan includes approximately 23,400 square feet of stone product display on the west side of the existing structure with an additional 4,000 square



COUNCIL AGENDA BRIEFING SHEET

feet on the east side of the structure. The storage on the east side of the structure is over the existing septic field.

The plan also includes 23 15-foot by 16-foot bins for the storage of sand, gravel and plant material along the western property line and a portion of the southern property line. The site plan and the rendering depict an eight-foot-tall wrought iron and stone fence surrounding the majority of the property. It appears that the stone portion is approximately two to three feet tall with the remainder of the fence being comprised of horizontal wrought iron and stone columns.

This review does not constitute a technical site plan review.

A specific use permit is discretionary in nature. The Council should consider the impact for the use to determine if its approval of the application is appropriate.

Planning and Zoning Recommendation:

The Planning and Zoning Commission conducted a public hearing on July 5, 2022 and recommended approval contingent on providing the masonry and wrought iron screening around the entire perimeter of property, requiring that the two gated entrances are closed in the evenings and the requirement to relocate the septic system or remove the product display on the east side of the building.

Recommended Action:

If the Council determines that approval of the request is appropriate, Staff recommends approval be contingent upon relocating the septic or removing the product display on the east side of the building.

Attachments:

Resubmitted Site Plan and Rendering – 6/22/22

Staff Initial Review – 4/18/22

Application for SUP

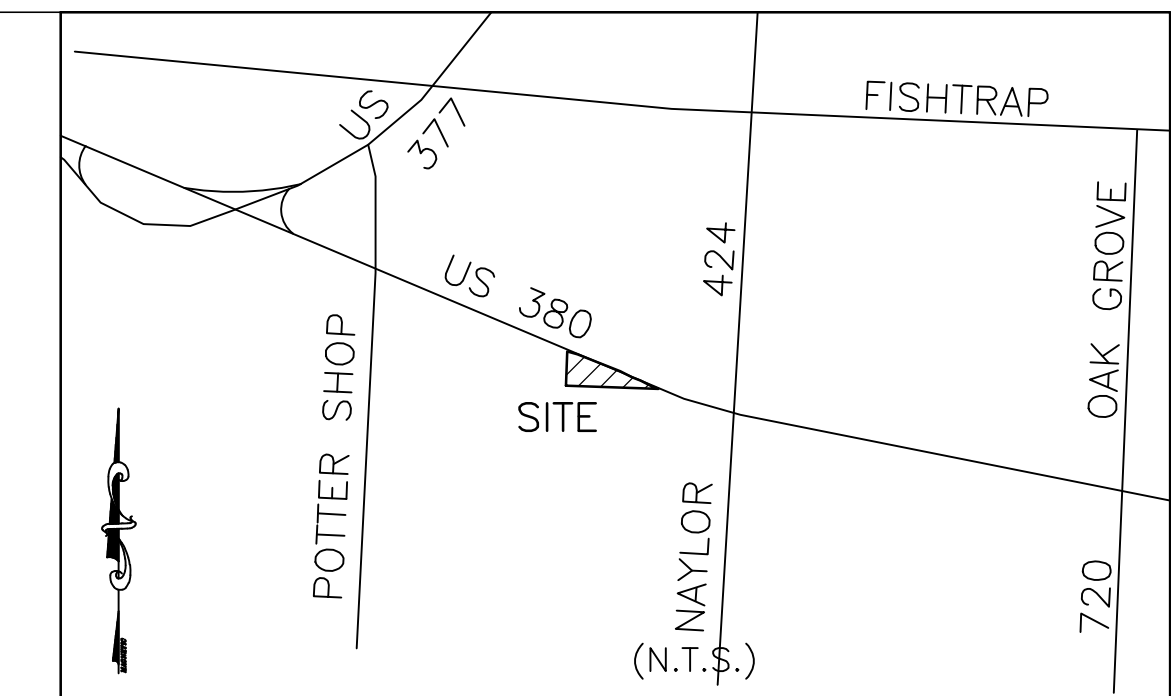
Proposed Ordinance Granting an SUP

Project Aerial

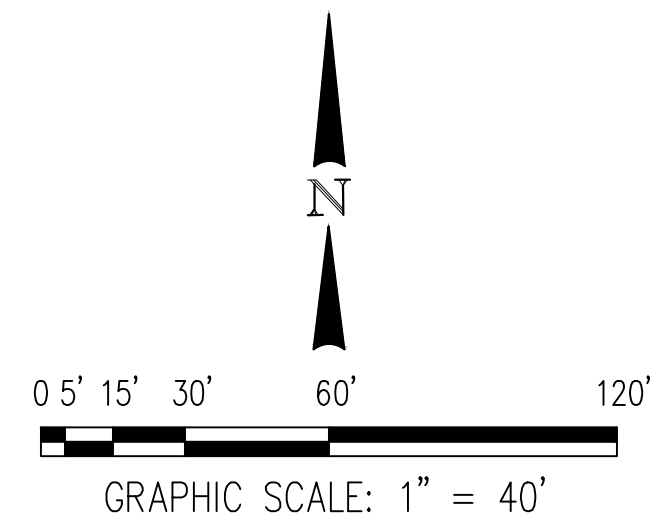
Imperial Supply Special Use Permit (2022-0404-08SUP)

8801 US Hwy 380



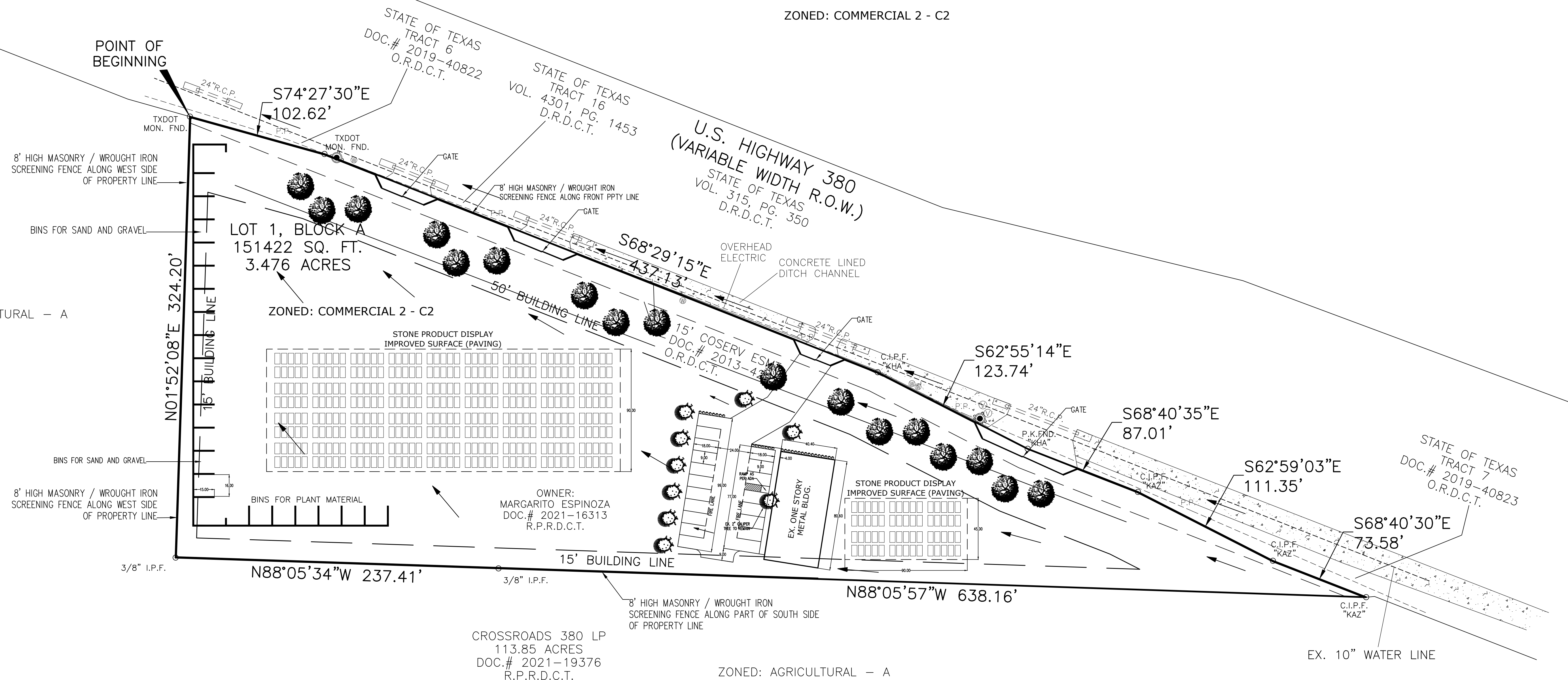


LOCATION MAP



ZONED: COMMERCIAL 2 - C2

POINT OF BEGINNING



ZONED: AGRICULTURAL - A

ZONED: AGRICULTURAL - A

LANDSCAPE DATA:

TREES	RATIO	CALIPER	QUANTITY	SPECIES
STREET FRONTAGE TREES:	1/40'	3"	17	RED OAK & BALD CYPRESS
PARKING AREA TREES:	20000 SQ. FT.	2"	9 (1 EX.)	CREPE MIRTLE
PARKING SHRUBS:	1/30"	5 GAL.	15	BUFFORD HOLLY
BUILDING SHRUBS:	1/30"	5 GAL.	16	BUFFORD HOLLY

LAND USE STATEMENT

LAND USE REQUESTED: OUTSIDE STORAGE

LAND USE AREA: 151422 SQ. FT (3.476 ACRES)

LOT 1, BLOCK A ESPINOZA ADDITION

EX. BUILDING AREA: 3256 SQ. FT.

OUTSIDE STORAGE AREA: 38310 SQ. FT.

PARKING REQUIRED: 1/200 = 16.28 SPACES

PARGING PROVIDED: 19 SPACES

SITE & LANDSCAPE PLAN
8801 E US HWY. 380



2608 SQUIRE PLACE
FARMERS' BRANCH, TX
75234

(972) 754-1745
ranonaranda@hotmail.com





Town of Cross Roads
3201 US Hwy 380, Suite 105
Cross Roads, Texas 76227
940-365-9693 office | 469-375-5905 fax

Staff Review Comments

Project: Imperial Supply – Request for SUP
Location: 8801 US Hwy 380 (Parcel ID 178717)
Date of Review: April 18, 2022
Reviewer: Kristi Gilbert, Town Administrator
Recommendation: Staff is requesting additional information that could include photos of existing sites or proposed mock-ups to determine the overall visual impact of the project with the outside sales component included.

Deadline to Submit Revisions or comments: April 22, 2022 by 2:00 p.m.

Comments:

The Town is in receipt of an application assigned Permit No 2022-0404-08SUP by applicant Andrew Burke on behalf of property owner Margarito Espinoza to request a Specific Use Permit (SUP) to allow for outdoor display and retail sales on a 3.476-acre tract of land currently zoned C2-Commerical 2. The Town’s Zoning Regulations were amended on June 21, 2021 to provide for the opportunity to request outdoor retail sales through the SUP process.

The property is surrounded by the following current zoning designations:

North:	C2- Commercial 2	– US 380 and commercial buildings
East:	A-Agricultural	– Vacant land
South:	A-Agricultural	– Vacant land
West:	A-Agricultural	– Vacant land

Section 14.03.116 of the Town’s Comprehensive Zoning Regulations provides that the Town Council, after recommendation by the Planning and Zoning Commission can consider conditions related to the operations, site development, parking, signage, and time limits as may be deemed necessary in order that such use will not seriously injure the appropriate use of neighboring property and will generally conform to the intent and purpose of the ordinance. This action is discretionary in nature.

The Town has reviewed a handful of applications for similar projects since the ordinance was amended. For all the projects staff has recommended fencing or landscaping to screen the items from view of the street or neighboring residential properties. Additionally, staff has advised that the storage should be on improved surfaces.

The concept plan submitted does not indicate any fencing. Additionally, the landscape indicated on the proposed plan does not appear to be sufficient for screening. It should be noted that Staff’s comments do not include a technical review of the site plan and are limited to a conceptual plan for the SUP.



Town of Cross Roads

3201 US Hwy 380, Suite 105

Cross Roads, Texas 76227

940-365-9693 office | 469-375-5905 fax

Staff is requesting additional information that could include photos of existing sites or proposed mock-ups to determine the overall visual impact of the project with the outside sales component included.

TOWN OF CROSS ROADS
DEVELOPMENT APPLICATION



DATE: ~~03-01-2022~~ **04-04-2022**

APPLICATION # **2022-0404-08SUP**



PROJECT: Imperial Products Supply

Completed applications will be considered received on the due date specified on the yearly Submission Schedule.
PLEASE VERIFY MEETING DATES.

DEVELOPMENT APPLICATION

ZONE CHANGE	<u>N/A</u>	TECHNICAL SITE PLAN	<u>N/A</u>
GRADING	<u>N/A</u>	MISCELLANEOUS	<u>SUP</u>

PLEASE SPECIFY THE PRIMARY CONTACT

Land Owner Name	<u>Margarito Espinoza</u>	Signature	<u></u>
Applicant Name	<u>Andrew Burke</u>	Signature	<u></u>
Project Contact Mailing Address	<u>P.O.BOX 177 Aubrey, TX 76227</u>		
Project Contact Phone	<u>254-981-1660</u>	Email	<u>officefw@imperialprosupply.com</u>
Proposed Project Name	<u>Imperial Products Supply</u>	Location	<u>8801 US HWY 380</u>
Lot/Block	<u>Lot 1 Block A</u>	Abstract	<u>803</u>
DCAD ID	<u>178717 Espinoza 380 Addition</u>		
Current Zoning	<u>C-2; General Retail</u>	Requested Zoning	<u>SUP</u>

SUBMISSION DOCUMENTS

Fee	<u>\$500 (Application Fee) + \$1,000 (Deposit; refundable after application process completed)</u>	Legal Description	<input type="checkbox"/>
Map	<input type="checkbox"/>	List of Neighbors	<input type="checkbox"/>
Site Plan (Commercial)	<input type="checkbox"/>	Stamped/Addressed Envelopes	<input type="checkbox"/>
		Drawings (4 full, 6 half, CD)	<input type="checkbox"/>
		OTHER (Specify)	<input type="checkbox"/>

- 1) Legal Description and plat of the subject site typed and attached separately or the subdivision name with lot and block number.
 - 2) Map A location map clearly showing the site in relation to adjacent streets and distance to nearest thoroughfare.
 - 3) Filing Fee – Application Fee – Review Fee
- ZONE CHANGE AND RESIDENTIAL REPLAT ONLY:**
- 4) Names and Addresses of legal property owners within 200 feet of property and the property ID number.
 - 5) Stamped addressed envelopes of the property owners within 200 feet.

ADDITIONAL INFORMATION

(See Attached Business Letter)

Before submitting an application, the applicant should consult with the Town Administrator to discuss the feasibility of the request and any additional requirements.

Imperial Products Supply, LLC
8801 US Hwy 380
Cross Roads, TX 76227

July 29, 2021

To Whom It May Concern:

Imperial Products Supply, LLC is a leading supplier of decorative stone, decorative aggregates, landscaping, and masonry supplies for outdoor living and home improvement. Our location is 8801 US Hwy 380 Cross Roads, TX 76227. Our hours of operation will be as followed; Monday-Friday 7:00 a.m.-5:00 p.m. Saturday 7:00 a.m.-1:00 p.m. (traditional holidays closed). The business staff will consist approximately a total of 5-8 employees.

Due to the nature of our business, some supplies require to be displayed outdoors; therefore, we are requesting a special unit permit. Please feel free to contact me if you need additional information.

Sincerely,


Andrew Burke (July 29, 2021 11:08 CDT)

Andrew Burke
Chief of Operations
(817) 994-6012
officefw@imperialprosupply.com

TOWN OF CROSS ROADS

ORDINANCE NO. 2022-___

AN ORDINANCE OF THE TOWN COUNCIL OF THE TOWN OF CROSS ROADS, TEXAS, GRANTING A SPECIAL USE PERMIT FOR OUTDOOR RETAIL SALES AND STORAGE WITH CONDITIONS, FOR PROPERTY LOCATED AT 8801 US HWY 380; PROVIDING FOR A REPEALER; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A SAVINGS CLAUSE AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, Chapter 211 of the Texas Local Government Code empowers municipalities to enact zoning regulations and provide for their administration, enforcement and amendment; and

WHEREAS, the Town has previously deemed it necessary and desirable to adopt zoning regulations to providing for the orderly development of property within the Town, in order to promote the health, safety and welfare of the residents of the Town; and,

WHEREAS, the Cross Roads Code of Ordinances Chapter 14 Zoning constitutes the Town’s Zoning regulations and requires property to be zoned in accordance with proper designations as defined by the Town; and,

WHEREAS, the Planning and Zoning Commission of the Town of Cross Roads provided adequate notice and held a public hearing in accordance with Chapter 14 of the Cross Roads Code of Ordinances; and,

WHEREAS, the Planning and Zoning Commission of the Town of Cross Roads has recommended approval of the Special Use Permit 2022-0404-08SUP, to allow for outdoor retail sales and storage with conditions, at the subject location; and,

WHEREAS, the Town Council of the Town of Cross Roads now desires to grant a Special Use Permit, as requested by applicant Andrew Burke on behalf of property owner Margarito Espinoza for outdoor retail sales and storage at at 8801 US Hwy 380 as described in Exhibit A and depicted in Exhibit B attached to this Ordinance.

WHEREAS, the Town Council finds that the passage of this Ordinance is in the best interest of the citizens of Cross Roads.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE TOWN OF CROSS ROADS, TEXAS:

SECTION 1: That, all matters stated in the Recitals hereinabove are found to be true and correct and are incorporated herein by reference as if copied in their entirety

SECTION 2: That the subject location, being the located at 8801 US Hwy 380; more specifically described in Exhibit A is hereby granted a Special Use Permit for Outdoor Retail Sales and Storage, subject to the following conditions:

1. Masonry and wrought iron fencing must be installed around the entire perimeter of the property;
2. The gates to the property must be closed when the business operations are closed.

SECTION 3: That this ordinance shall be cumulative of all provisions of the Town of Cross Roads, Texas, except where provisions of this Ordinance are in direct conflict with the provisions of such Ordinance, in which event, conflicted provisions of such Ordinance are hereby repealed.

SECTION 4: That it is hereby declared to be the intention of the Town Council of the Town of Cross Roads that phrases, clauses, sentences, paragraphs, and sections of this Ordinance are severable, and if any phrase, clause, sentence, paragraph or section of this Ordinance should be declared unconstitutional by the valid judgment or decree of any court of competent jurisdiction, such unconstitutionality shall not affect any of the remaining phrases, clauses, sentences, paragraphs, and section of the Ordinance, since the same would have been enacted by the Town Council without incorporation in this ordinance of any such unconstitutional phrase, clause, sentence, paragraph, and section.

SECTION 5: That this Ordinance shall become effective from and after its date of passage.

PASSED AND APPROVED ON THIS 25TH DAY OF JULY 2022.

ATTEST:

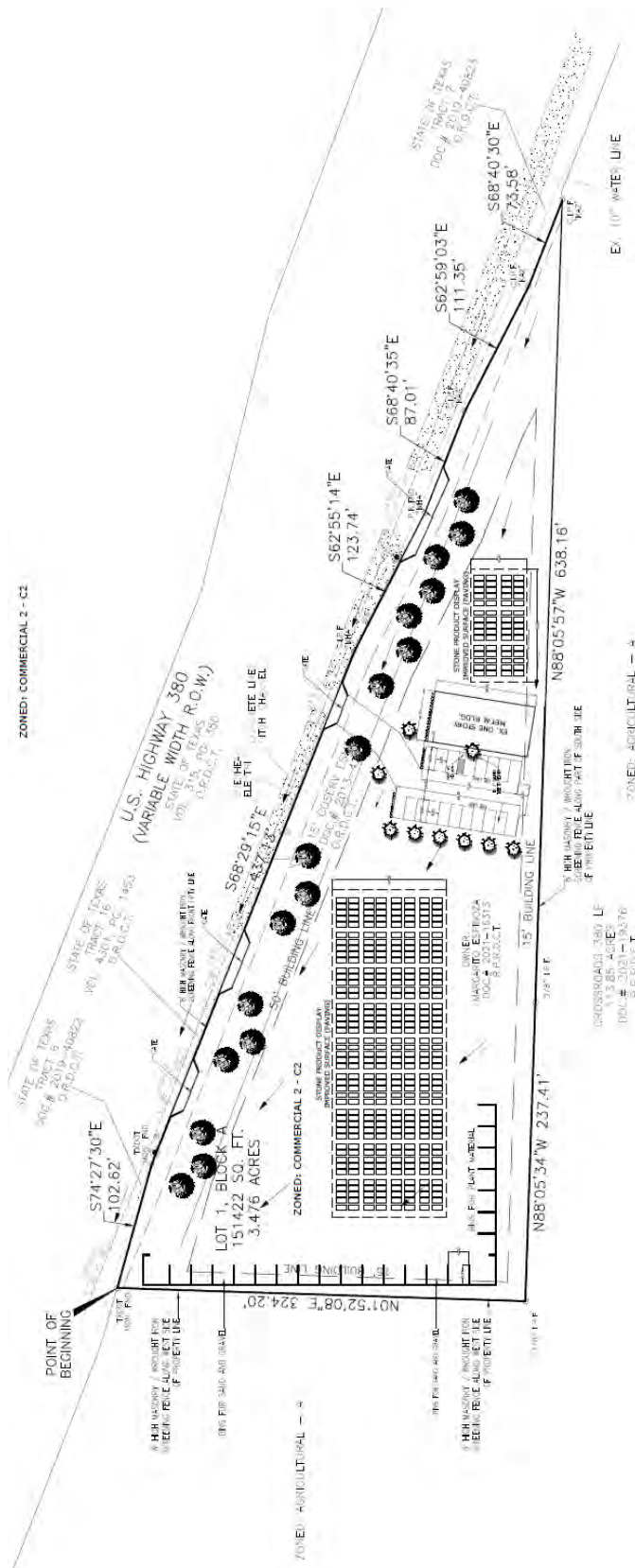
Mayor

Town Secretary

APPROVED AS TO FORM:

Town Attorney

EXHIBIT A CONCEPT PLAN



**SITE & LANDSCAPE PLAN
8801 E US HWY. 380**



LAND USE TARGET
 LOT 1, BLOCK 1 - 151,422 SQ. FT. (3.476 ACRES)
 LOT 1, BLOCK 2 - 151,422 SQ. FT. (3.476 ACRES)
 TOTAL LOT AREA - 302,844 SQ. FT.
 DENSITY REQUIRED - 1,200 - 1,520 SPACES
 PARKING PROVIDED - 15 SPACES

TREE	RATE	QUANTITY	SPECIES
STREET FRONTAL TREE	1/AD	17	REYNOLDS & HILL CYPRESS
PARKING AREA TREE	1/30 FT	3 (1 E)	CELESTIAL
BUILDING PERIMETER	1/20 FT	16	REYNOLDS & HILL

**EXHIBIT B
RENDERINGS**





COUNCIL AGENDA BRIEFING SHEET

Meeting Date:
July 25, 2022

Agenda Item:

Discuss and consider approval of a civil/landscape plan and technical site plan application submitted by Dutch Bros Coffee Shop for property located at 11950 US Hwy 380 within the Town of Cross Roads. (2022-0606-02TSP)

Prepared by:

Rodney Patterson, Building Official

Description:

Applicant Matt Mattke submitted an application for a civil/landscape plan and technical site plan on behalf of property owner Sage Cross Roads LLC for the Dutch Brothers Coffee project Located at 11950 US Hwy 380. The applicant is proposing to construct a drive through restaurant and associated site amenities at this location. The Town Engineer performed a review of the technical site plan application and construction drawings on June 10, 2022, and provided comments to the applicant. After conversations back and forth between the applicant and the Town's engineer, the applicant submitted revisions and the proposed site plan and civil construction plans were deemed acceptable on 6-27-22.

Recommended Action:

Staff is recommending approval

Attachments:

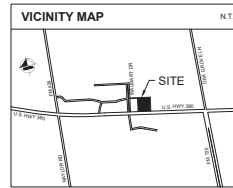
Engineering Comments
Application and supporting documents

CIVIL CONSTRUCTION PLANS FOR DUTCH BROS COFFEE

U.S. HIGHWAY 380 TOWN OF CROSS ROADS DENTON COUNTY, TEXAS

GOVERNMENT/UTILITY CONTACTS

BUILDING OFFICIAL	TOWN OF CROSS ROADS R. PATTERSON@CROSSROADS.TX.GOV (940) 365-9693
CONTACT: RODNEY PATTERSON	
FIRE DEPARTMENT	LITTLE ELM FIRE DEPARTMENT 100 W. ELDRADO PARKWAY LITTLE ELM, TX 75068 NON-EMERGENCY: 214-975-0420
WATER/WASTEWATER DEPARTMENT	MUSTANG SPECIAL UTILITY DISTRICT 7885 FM 2931 AUBREY, TX 76227 (940) 440-5081
CONTACT: COLTON SMITH	
STORM DEPARTMENT	TOWN OF CROSSROADS 1401 FM 424 CROSSROADS, TX 76227 (940) 365-9693
CONTACT: LEIGH HOLLIS, P.E.	
ENVIRONMENTAL AGENCY	TCEQ 12100 PARK 35 CIRCLE AUSTIN, TX 78753 (512) 239-1000
ELECTRIC COMPANY	COSERV ELECTRIC J.CURRY@COSERV.COM (940) 391-7545
CONTACT: JEFF CURRY	
GAS COMPANY	COSERV ELECTRIC L.CONTRERAS@COSERV.COM (940) 321-7800
CONTACT: LUIS CONTRERAS	
TELEPHONE COMPANY	AT&T 2301 RIDGEVIEW DR PLANO, TX 75025 SWS@ATT.COM (214) 500-1245
CONTACT: PATRICK CLARK	



SITE LOCATION MAP
(NOT TO SCALE)

- NOTES:
1. THE SITEWORK FOR THE PROJECT SHALL MEET OR EXCEED THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION FOR THE NCTCOG - NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS LATEST EDITION, THE TOWN STANDARDS AND ANY SPECIAL PROVISIONS ADOPTED BY THE TOWN. TOWN STANDARDS GOVERN OVER NCTCOG IN THE EVENT OF A CONFLICT.
 2. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO CONTRACT COMPLETION AND THE FINAL CONNECTION OF SERVICES.
 3. IF REPRODUCED, THE SCALES SHOWN ON THESE PLANS ARE BASED ON A 24" X 36" SHEET.

INDEX OF SHEETS

SHEET NO.	DESCRIPTION	DATE	REVISION
C1.0	COVER SHEET	06/06/2022	--
1 OF 2	RE-PLAT	08/25/2021	--
2 OF 2	RE-PLAT	08/25/2021	--
C1.2	SITE PLAN	06/06/2022	--
C2.0	GENERAL NOTES	06/06/2022	--
C3.0	EROSION CONTROL PLAN	06/06/2022	--
C3.1	EROSION CONTROL DETAILS	06/06/2022	--
C4.0	DEMOLITION PLAN	06/06/2022	--
C5.1	DIMENSION CONTROL PLAN	06/06/2022	--
C5.2	STRIPING AND SIGNAGE PLAN	06/06/2022	--
C5.3	PAVING PLAN	06/06/2022	--
C6.0	GRADING PLAN	06/06/2022	--
C6.1	EXISTING DRAINAGE AREA MAP	06/06/2022	--
C6.2	PROPOSED DRAINAGE AREA MAP	06/06/2022	--
C6.3	STORM PLAN	06/06/2022	--
C6.4	STORM PROFILES	06/06/2022	--
C6.5	STORM CALCULATIONS	06/06/2022	--
C7.0	UTILITY PLAN	06/06/2022	--
C8.0 - C8.1	CONSTRUCTION DETAILS	06/06/2022	--
C9.0 - C9.5	MUSTANG SPECIAL UTILITY DISTRICT DETAILS	06/06/2022	--
SH 1	LANDSCAPE PLANS	06/06/2022	--
SH 2 - SH 4	LANDSCAPE DETAILS	06/06/2022	--
SH 5	IRRIGATION PLANS	06/06/2022	--
SH 6 - SH 7	IRRIGATION DETAILS	06/06/2022	--

PLANS SUBMITTAL/REVIEW LOG

NO.	DESCRIPTION	DATE	MILESTONE
1	1ST PERMIT SUBMITTAL	06/06/2022	NOT FOR CONSTRUCTION

ARCHITECT

CORALIC, LLC
9700 MACKENZIE ROAD,
SUITE 222
ST. LOUIS, MO 63123
PH: (314) 578-4653
CONTACT: EDIN CORALIC

OWNER

SAGE CROSSROADS, LLC
1520 OLIVER ST.
HOUSTON, TEXAS 77007
PH: (713) 293-6901
CONTACT: ANDREA METZ

ENGINEER

Kimley-Horn

100 W. OAK STREET
SUITE 203
DENTON, TEXAS 76201
PH: (872) 335-3580
CONTACT: MACK MATTHE, P.E.

STATE OF TEXAS
REGISTRATION NO. F-628

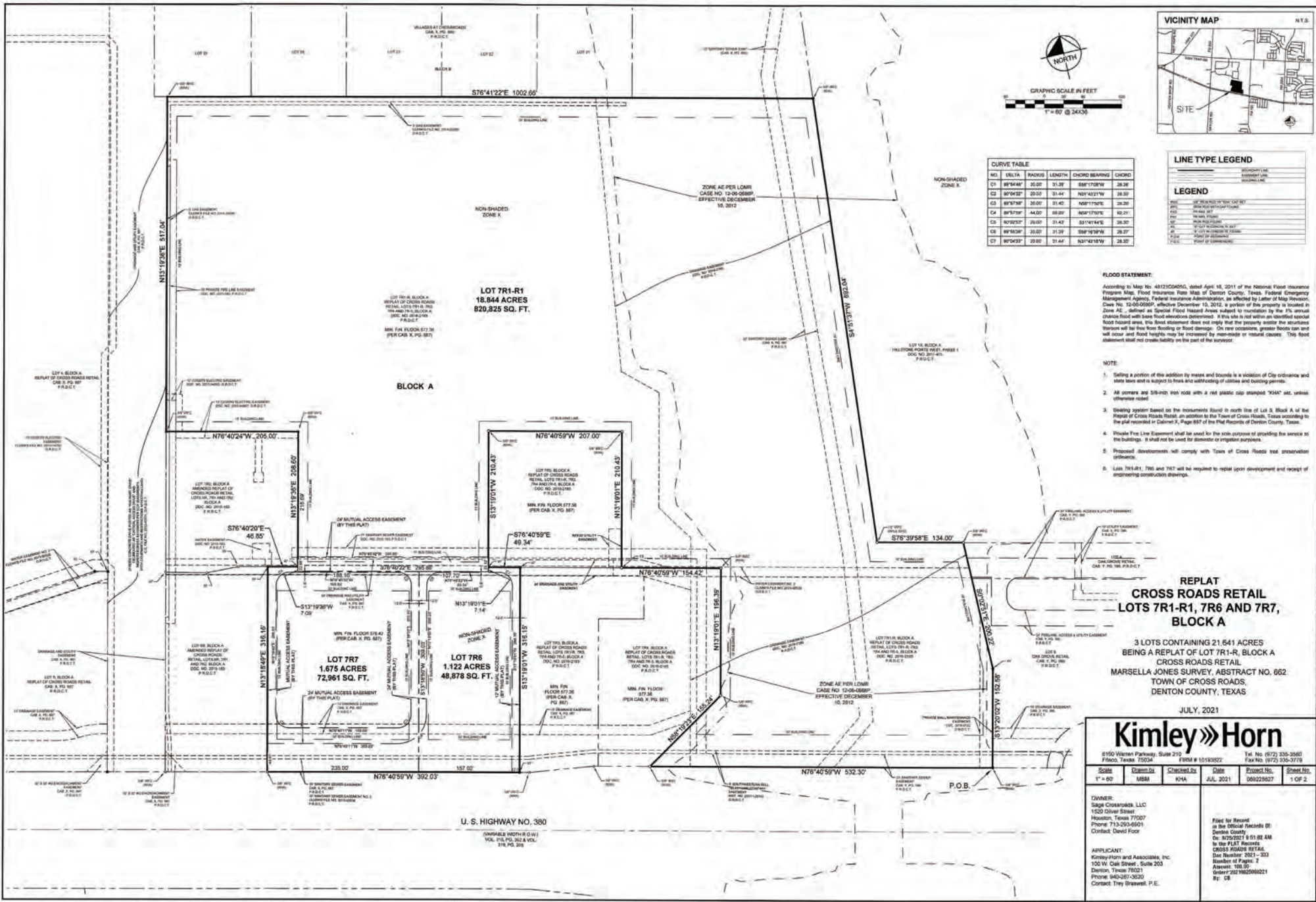


Know what's below.
Call before you dig.



JUNE 2022





CURVE TABLE

NO.	DELTA	RADIUS	LENGTH	CHORD BEARING	CHORD
C1	87°54'48"	25.00'	73.39'	S87°17'05"W	28.38'
C2	92°00'00"	25.00'	75.44'	N01°42'17"W	28.38'
C3	87°57'30"	35.00'	93.45'	N08°17'05"W	35.28'
C4	87°57'30"	44.00'	109.00'	N08°17'05"W	42.21'
C5	87°52'30"	25.00'	74.42'	S01°14'14"E	28.37'
C6	87°58'30"	25.00'	75.39'	S08°18'19"W	28.37'
C7	87°04'30"	25.00'	74.44'	N01°42'18"W	28.37'



LINE TYPE LEGEND

LINE TYPE	DESCRIPTION
(Symbol)	Proposed Line
(Symbol)	Existing Line
(Symbol)	Survey Line
(Symbol)	Utility Line
(Symbol)	Other

FLOOD STATEMENT:

According to Map No. 48123D040G, dated April 18, 2011 of the National Flood Insurance Program Map, Flood Insurance Rate Map of Denton County, Texas, Federal Emergency Management Agency, Federal Insurance Administration, as reflected by Letter of Map Revision, Case No. 12-05-00907, effective December 10, 2012, a portion of this property is located in Zone AE, defined as Special Flood Hazard Areas subject to inundation by the 1% annual chance flood with base flood elevation determined. If this site is not within an identified special flood hazard area, this flood statement does not imply that the property and/or the structures thereon will be free from flooding or flood damage. On rare occasions, greater flood peaks and will occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the engineer.

- NOTE:**
- Setting a portion of the addition by means and bounds is a violation of City ordinance and will be used as subject to flood and waterlogging of adjacent and existing property.
 - All corners and 5/8-inch iron rods with a red plastic cap stamped "KHA" and, unless otherwise noted.
 - Drainage system based on the instruments found in north line of Lot 8, Block A of the Replat of Cross Roads Retail, as attached to this Town of Cross Roads, Texas according to the plat reported in Volume 2, Page 867 of the Records of Denton County, Texas.
 - Waste Free Line Equipment shall be used for the sole purpose of providing the service to the buildings. It shall not be used for domestic or irrigation purposes.
 - Proposed developments will comply with Town of Cross Roads best preservation ordinance.
 - Lots 7R1-R1, 7R6 and 7R7 will be required to replat upon development and receipt of engineering construction drawings.

REPLAT CROSS ROADS RETAIL LOTS 7R1-R1, 7R6 AND 7R7, BLOCK A

3 LOTS CONTAINING 21,641 ACRES BEING A REPLAT OF LOT 7R1-R, BLOCK A CROSS ROADS RETAIL MARSSELLA JONES SURVEY, ABSTRACT NO. 662 TOWN OF CROSS ROADS, DENTON COUNTY, TEXAS

JULY, 2021

Kimley»Horn

8150 Walnut Parkway, Suite 210 | Tel: (817) 335-3560
 Frisco, Texas 75034 | FIRM # 10193822 | Tax No. 03723353719

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1" = 60'	MBM	KHA	JUL 2021	062225627	1 OF 2

DWNER:
 Sage Construction, LLC
 1020 Silver Street
 Houston, Texas 77007
 Phone: 713-293-6901
 Contact: David Foor

Filed for Record:
 in the Public Records of
 Denton County,
 on: 8/29/2021 @ 8:59 AM
 in the P.L.T. Records
 CROSS ROADS RETAIL
 Case Number: 2021-023
 Number of Pages: 2
 Sheet: 100.01
 Order #: 2021082500021
 \$: 08

APPLICANT:
 Kimley-Horn and Associates, Inc.
 100 W. Oak Street, Suite 203
 Denton, Texas 76201
 Phone: (817) 335-3560
 Contact: Trey Braswell, P.E.

OWNERS CERTIFICATE

STATE OF TEXAS
COUNTY OF DENTON

WHEREAS SAGE CROSSROADS, LLC, is the owner of a tract of land situated in the Marsella Jones Survey, Abstract No 862, Town of Cross Roads, Denton County, Texas and being all of Lot 7R1-R, Block A of Replat of Cross Roads Retail, Lots 7R1-R, 7R3, 7R4 and 7R5, Block A, an Addition to the Town of Cross Roads, according to the Map or Plat, recorded in Document No. 2015-2182 of the Plat Records of Denton County, Texas, and being more particularly described by metes and bounds as follows:

BEGINNING at a 5/8-inch iron rod with a plastic cap, stamped "904A" found for the easterly, southeast corner of said Lot 7R1-R, same being the southwest corner of Lot 6 of Oak Grove Retail, an Addition to the Town of Cross Roads, according to the Map or Plat, recorded in Cabinet V, Page 388 of the Plat Records of Denton County, Texas, same also being on the northerly right of way line of U. S. Highway No. 380, a variable width right of way;

THENCE North 70°40'59" West, along the southerly line of said Lot 7R1-R and the northerly right of way line of said U. S. Highway No. 380, a distance of 532.30 feet to a 5/8-inch iron rod with a plastic cap, stamped "904A" set for a southeast corner of said Lot 7R1-R, same being the southeast corner of Lot 7R4, Block A of abovesaid Replat of Cross Roads Retail, Lots 7R1-R, 7R3, 7R4 and 7R5, Block A;

THENCE North 88°19'23" East, departing the northerly right of way line of said U. S. Highway No. 380, along a westerly line of said Lot 7R1-R and the easterly line of said Lot 7R4, a distance of 150.24 feet to a 5/8-inch iron rod with a plastic cap, stamped "904A" found for corner;

THENCE North 13°19'01" East, continuing along a westerly line of said Lot 7R1-R and the easterly line of said Lot 7R4, a distance of 169.38 feet to a 5/8-inch iron rod with a plastic cap, stamped "904A" found for northeast corner of said Lot 7R4;

THENCE North 70°40'59" West, along a southerly line of said Lot 7R1-R, the northerly line of said Lot 7R4 and the northerly line of Lot 7R3, Block A of said Replat of Cross Roads Retail, Lots 7R1-R, 7R3, 7R4 and 7R5, Block A, a distance of 154.42 feet to an "X" cut set for a southwest corner of said Lot 7R1-R, same being the southwest corner of Lot 7R5, Block A of said Replat of Cross Roads Retail, Lots 7R1-R, 7R3, 7R4 and 7R5, Block A;

THENCE North 13°19'01" East, along a westerly line of said Lot 7R1-R and the easterly line of said Lot 7R5, a distance of 210.43 feet to a 5/8-inch iron rod with a plastic cap, stamped "904A" found for the northeast corner of said Lot 7R5;

THENCE North 70°40'59" West, along a southerly line of said Lot 7R1-R and the northerly line of said Lot 7R5, a distance of 207.05 feet to a 5/8-inch iron rod with a plastic cap, stamped "904A" found for the northwest corner of said Lot 7R5;

THENCE South 13°19'01" West, along an easterly line of said Lot 7R1-R and the westerly line of said Lot 7R5, a distance of 210.43 feet to an "X" cut found for the southwest corner of said Lot 7R5;

THENCE South 70°40'59" East, along a northerly line of said Lot 7R1-R and the southerly line of said Lot 7R5, a distance of 49.34 feet to an "X" cut found for the northwest corner of abovesaid Lot 7R5, Block A;

THENCE South 13°19'01" West, along an easterly line of said Lot 7R1-R and the westerly line of said Lot 7R5, a distance of 315.15 feet to an "X" cut found for a southwest corner of said Lot 7R1-R and the southeast corner of said Lot 7R5, same being on the northerly right of way line of abovesaid U. S. Highway No. 380;

THENCE North 70°40'59" West, along the southerly line of said Lot 7R1-R and the northerly right of way line of said U. S. Highway No. 380, a distance of 302.03 feet to a 5/8-inch iron rod with a plastic cap, stamped "904A" found for the southerly southwest corner of said Lot 7R1-R, same being the southeast corner of Lot 6R, Block A of Amended Plat of Cross Roads Retail, Lots 6R, 7R1 and 7R2, Block A, an Addition to the Town of Cross Roads, according to the Map or Plat, recorded in Document No. 2015-183 of the Plat Records of Denton County, Texas;

THENCE North 13°18'49" East, departing the northerly right of way line of said U. S. Highway No. 380, along a westerly line of said Lot 7R1-R and the easterly line of said Lot 6R, a distance of 318.18 feet to an "X" cut found for the northeast corner of said Lot 6R, same being on the southerly line of Lot 7R2 of said Amended Plat of Cross Roads Retail, Lots 6R, 7R1 and 7R2, Block A;

THENCE South 70°40'59" East, along a northerly line of said Lot 7R1-R and the southerly line of said Lot 7R2, a distance of 46.88 feet to an "X" cut found for the southeast corner of said Lot 7R2;

THENCE North 13°19'30" East, along a westerly line of said Lot 7R1-R and the easterly line of said Lot 7R2, a distance of 628.02 feet to a point for the northwest corner of said Lot 7R2;

THENCE North 70°40'24" West, along a southerly line of said Lot 7R1-R and the northerly line of said Lot 7R2, a distance of 205.00 feet to a 5/8-inch iron rod with a plastic cap, stamped "904A" found for the westerly, southwest corner of said Lot 7R1-R and the northwest corner of said Lot 7R2, same being on the easterly line of Lot 4, Block A of the Replat of Cross Roads Retail, an Addition to the Town of Cross Roads, according to the Map or Plat, recorded in Cabinet X, Page 887 of the Plat Records of Denton County, Texas;

THENCE North 13°19'30" East, along the westerly line of said Lot 7R1-R and the easterly line of said Lot 4, a distance of 617.54 feet to a 5/8-inch iron rod with a plastic cap, stamped "904A" found for the northwest corner of said Lot 7R1-R and the easterly, northeast corner of said Lot 4, same being on the southerly line of Block 5 of the Village at Crossroads, an Addition to the Town of Cross Roads, according to the Map or Plat, recorded in Cabinet X, Page 889 of the Plat Records of Denton County, Texas;

THENCE South 70°41'22" East, along the northerly line of said Lot 7R1-R and the southerly line of said Block 5, a distance of 1022.88 feet to a 5/8-inch iron rod with a plastic cap, stamped "904A" found for northwest corner of said Lot 7R1-R and the southeast corner of said Block 5, same being on the westerly line of Lot 1X, Block A of Hillstone Pointe West, Phase 1, an Addition to the Town of Cross Roads, according to the Map or Plat, recorded in Document No. 2017-475 of the Plat Records of Denton County, Texas;

THENCE South 04°13'12" West, along the easterly line of said Lot 7R1-R and the westerly line of said Lot 1X, a distance of 952.64 feet to a 1/2-inch iron rod with a plastic cap, stamped "9PLS 5310" found for the southwest corner of said Lot 1X;

THENCE South 70°39'58" East, along a northerly line of said Lot 7R1-R and the southerly line of said Lot 1X, a distance of 134.00 feet to a 5/8-inch iron rod with a plastic cap, stamped "904A" found for easterly, northeast corner of said Lot 7R1-R, same being the northwest corner of abovesaid Lot 0 of Oak Grove Retail;

THENCE South 09°02'25" East, along the common line of said Lot 7R1-R and said Lot 6, a distance of 260.22 feet to an "X" cut found for corner;

THENCE South 13°20'02" West, continuing along the common line of said Lot 7R1-R and said Lot 6, a distance of 132.26 feet to the POINT OF BEGINNING and containing 21,611 acres (942,504 square feet) of land, more or less.

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That SAGE CROSSROADS, LLC (Company), acting herein by and through its duly authorized officer, does hereby adopt this plat designating the herein described property as REPLAT OF CROSS ROADS RETAIL, LOTS 7R1-R1, 7R6 AND 7R7, BLOCK A, an addition to the Town of Cross Roads, Texas (the "Town"), and does hereby dedicate to the Town:

(a) easement for the purposes shown on this plat and for the mutual benefit, use, and accommodation of all public utility entities including the Town providing services to the addition created hereby and desiring to use or using the same;

No buildings or structures shall be constructed or placed upon, or across the easements disclosed herein. The Town and public utility entities shall have the right to remove and keep removed all or parts of any buildings or structures which may in any way endanger or interfere with their respective easements;

This plat approved subject to all planning ordinances, rules, regulations, and resolutions of the Town of Cross Roads, Texas.

WITNESS MY HAND at 11:05 AM, this 5th day of August, 2021.

SAGE CROSSROADS, LLC

By David Foor

David Foor VP
First Name and Title

STATE OF TEXAS

COUNTY OF HARRIS

BEFORE ME, the undersigned authority, a Notary Public in and for said county and state, on this day personally appeared David Foor, VP of Sage Crossroads, LLC, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

Given under my hand and seal of office this 5th day of August, 2021.

Notary Signature
NOTARY PUBLIC in and for the STATE OF TEXAS



SURVEYOR'S CERTIFICATE

KNOW ALL MEN BY THESE PRESENTS:

I, Michael B. Marx, a Registered Professional Land Surveyor in the State of Texas, do hereby certify that I have prepared this plat from an actual on the ground survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision in accordance with Platting Rules and Regulations of the Town of Cross Roads, Denton County, Texas.

Michael B. Marx, P.L.S. # 1581
KIMLEY HORN AND ASSOCIATES, INC.
6100 Warren Parkway, Suite 210
Frisco, Texas 75034
Phone: (972) 335-3550



STATE OF TEXAS
COUNTY OF COLLIN

BEFORE ME, the undersigned Authority, a Notary Public in and for said county and state, on this day personally appeared Michael B. Marx, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE
THIS 20th DAY OF JULY, 2021.

Notary Signature
NOTARY PUBLIC in and for the STATE OF TEXAS



Recommended for Approval

Signature of Planning and Zoning Commission member
8/12/21
Chairman, Planning and Zoning Commission Date

Town of Cross Roads, Texas

Approved for Construction
Signature of Mayor
8/12/21
Mayor, Town of Cross Roads Date

The undersigned, the Town Secretary, of the Town of Cross Roads, Texas, hereby certifies that the foregoing plat of Cross Roads Retail, Lots 7R1-R1, 7R6 and 7R7, Block A, an Addition to the Town of Cross Roads was submitted to the Town Council on the 12th day of August, 2021, and the Council, by formal action, then and there accepted the dedication of streets, alleys, parks, easements, public parks, and water and sewer lines, as shown set forth in and upon said plat, and said Council further authorizes the Mayor to make the acceptance thereof for construction by signing his/her name as herein above described.

Witness my hand this 12th day of August, AD, 2021.

Signature of Town Secretary
August 12, 2021
Town Secretary, Town of Cross Roads Date



REPLAT CROSS ROADS RETAIL LOTS 7R1-R1, 7R6 AND 7R7, BLOCK A

3 LOTS CONTAINING 21,611 ACRES BEING A REPLAT OF LOT 7R1-R, BLOCK A CROSS ROADS RETAIL MARSELLA JONES SURVEY, ABSTRACT NO. 862 TOWN OF CROSS ROADS, DENTON COUNTY, TEXAS

JULY, 2021

Kimley Horn

6160 Warren Parkway, Suite 210 Frisco, Texas 75034 FIRM# 10163822 Tel. No. (972) 335-3550 Fax No. (972) 335-3719

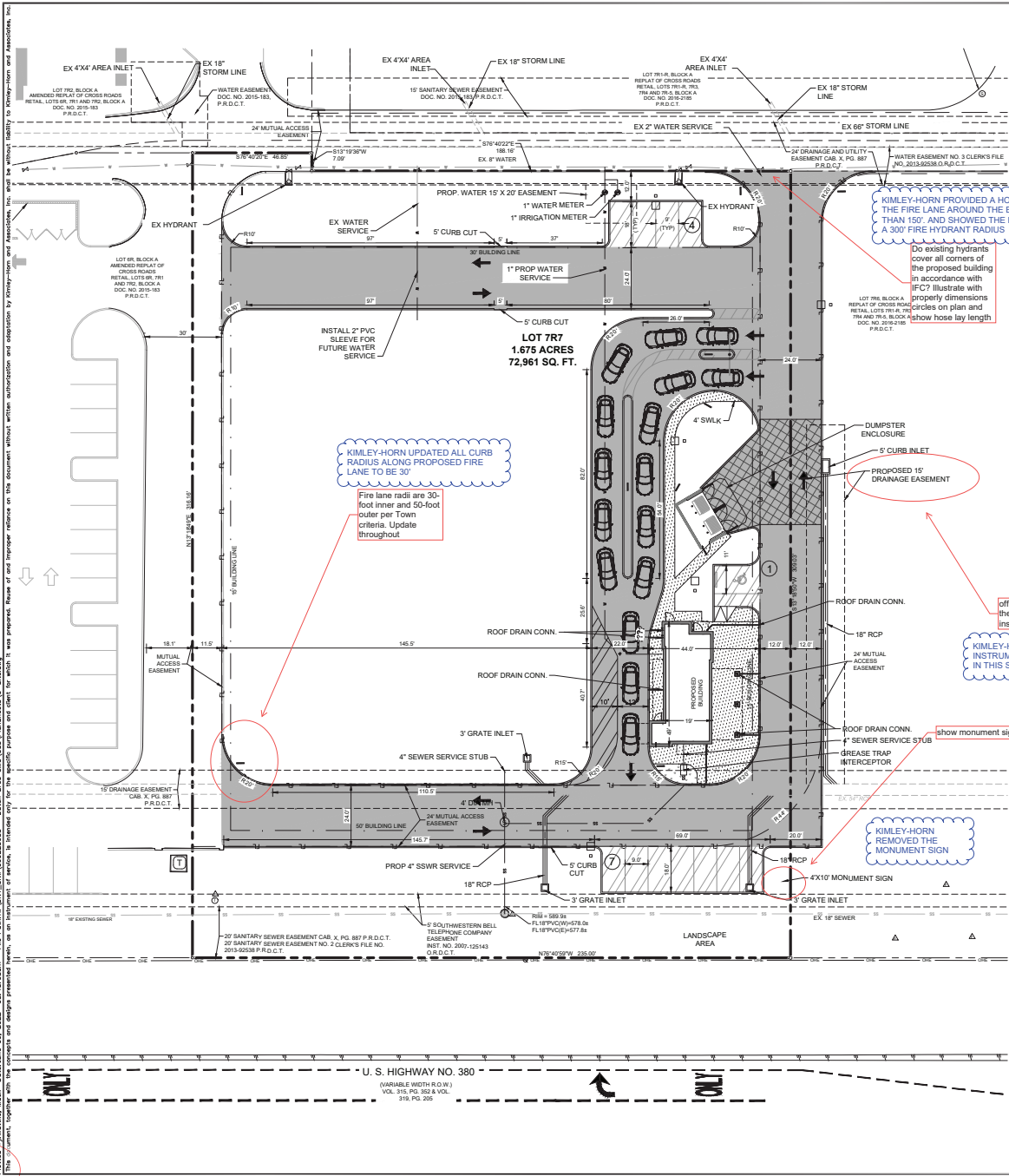
Table with columns: Scale, Drawn by, Checked by, Date, Project No., Sheet No. Values: MEM, KHA, JUL 2021, 060229627, 2 OF 2

OWNER: Sage Crossroads, LLC 1520 Oliver Street Houston, Texas 77007 Phone: 713-235-4601 Contact: David Foor

FILED FOR RECORD in the Official Records of: Denton County, Texas On: 05/25/2021 8:31:02 AM in the PLAT RECORDS CROSS ROADS RETAIL Doc Number: 2021- 333 Number of Pages: 2 Abstract: 104 03 Order: 2021082509221 By: JH

APPLICANT: Kimley Horn and Associates, Inc. 100 W. Oak Street, Suite 303 Denton, Texas 76201 Phone: 642-207-3050 Contact: Trey Braswell, P.E.

1. All work shall be done in accordance with the City of Denton, Texas Code of Ordinances, Chapter 10, and the Texas State Fire Marshal's Code of Fire Prevention and Control. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate agencies. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate agencies. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate agencies.



PARKING / SITE DATA	
EXISTING ZONING	PD
PROPOSED USE	RESTAURANT W/ DRIVE-THRU
LOT AREA	72,967 S.F. (1.67 AC)
BUILDING AREA	956 SF
FINISHED FLOOR ELEVATION	595.0 FT
PAVEMENT AREA	28,209 SF
TOTAL PARKING (TOWN)	8 SPACES 12 SPACES
ACCESSIBLE	1 SPACE 1 SPACE
SEATING AREA	REQUIRED PROVIDED
DRIVE-THRU STACKING	6 SPACES 16 SPACES
FLOOR AREA RATIO	0.40 MAX
BUILDING HEIGHT	30' MAX 24'
LOT COVERAGE	N/A N/A
OPEN SPACE	N/A N/A
PARKING REQUIRED FOR DRIVE-THRU RESTAURANT: TOWNPARKING 8,000/1000 S.F. OF SEATING AREA	

DETECTION NOTE
 ACCORDING TO RECORD DRAWINGS DATED JANUARY 18, 2008 FOR THE VILLAGE AT CROSS ROADS (COMMERCIAL) BY KIMLEY-HORN, DRAINAGE INFRASTRUCTURE HAS BEEN INSTALLED FOR THE SITE THAT WILL ACCOMMODATE A CAPACITY OF 318 IN THE DEVELOPED CONDITION.

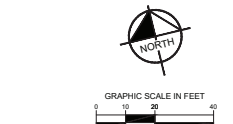
FLOODPLAIN NOTE
 ACCORDING TO FEMA FLOOD INSURANCE RATE MAP (FIRM) MAP NO. 48112C0460 DATED APRIL 18, 2011 BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA)/FIRM/DENON COUNTY, TEXAS, LOTS 7R6 & 7R7 ARE LOCATED WITHIN NON-SHADED ZONING.

- TOWN OF CROSS ROADS SITE PLAN NOTES**
- BUILDINGS WITH AN AGGREGATE SUM OF 5,000 SQUARE FEET OR GREATER ON A LOT SHALL HAVE AUTOMATIC FIRE SPRINKLERS INSTALLED THROUGHOUT ALL STRUCTURES. ALTERNATIVE FIRE PROTECTION MEASURES MAY BE APPROVED BY THE FIRE DEPARTMENT.
 - ALL SIGNAGE IS SUBJECT TO BUILDING INSPECTION DIVISION APPROVAL.
 - ALL DIMENSIONS ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.
 - ALL ROAD ARE 2' OR 1" UNLESS NOTED OTHERWISE.
 - ALL FIRE LANE RADI ARE A MINIMUM OF 20'.
 - ALL CURBS SHALL BE 6" STANDARD CONCRETE UNLESS OTHERWISE NOTED ON PLANS.

LANDSCAPE AREA

LOT AREA	LOT 7R7
REQUIRED LANDSCAPE AREA	10,920 SF (15%)
PROPOSED LANDSCAPE AREA	10,920 SF (15%)

* FILL BUILDOUT OF LOT 7R7 WILL MEET MINIMUM 10% LANDSCAPE AREA REFER TO LANDSCAPE PLANS FOR MORE DETAILS



VICINITY MAP
 N.T.S.

LEGEND

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- PROPOSED CONCRETE CURB
- EXISTING CURBS
- FL PROPOSED FIRE LANE & MUTUAL ACCESS EASEMENT
- EXISTING TREE
- PROPOSED PARKING COUNT
- PROPOSED WATER METER
- EXISTING FIRE HYDRANT
- 5" STANDARD DUTY CONCRETE PAVEMENT. REFERENCE CONSTRUCTION DETAILS
- 6" MEDIUM DUTY CONCRETE PAVEMENT. REFERENCE CONSTRUCTION DETAILS
- 7" HEAVY DUTY CONCRETE PAVEMENT. REFERENCE CONSTRUCTION DETAILS
- 4" STANDARD DUTY CONCRETE FOR SIDEWALKS. REFERENCE CONSTRUCTION DETAILS
- PROPOSED LANDSCAPE AREA
- PROPOSED SANITARY SEWER
- EXISTING SANITARY SEWER
- EXISTING WATER
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- PROPOSED STORM INLET

LANDSCAPE AREA
 off property, provide the separate instrument for review

LANDSCAPE AREA
 KIMLEY-HORN PROVIDED SEPARATE INSTRUMENT DRAINAGE EASEMENT IN THIS SUBMITTAL FOR REVIEW

LANDSCAPE AREA
 KIMLEY-HORN PROVIDED THE GEOTECH REPORT IN THE RESUBMITTAL AND REFERENCED THE DOCUMENT WITHIN THE GENERAL NOTES

provide geotech report in support of the sections

KIMLEY-HORN PROVIDED A HOSE LAY FROM THE FIRE LANE AROUND THE BUILDING TO LESS THAN 150' AND SHOWED THE BUILDING WITHIN A 300' FIRE HYDRANT RADIUS

Do existing hydrants cover all corners of the proposed building in accordance with IFC7? Illustrate with property dimensions circles on plan and show hose lay length

KIMLEY-HORN UPDATED ALL CURB RADIUS ALONG PROPOSED FIRE LANE TO BE 30'

Fire lane radi are 30-foot inner and 50-foot outer per Town criteria. Update throughout

5' CURB INLET
 PROPOSED 15' DRAINAGE EASEMENT

show monument sign

KIMLEY-HORN REMOVED THE MONUMENT SIGN

ACTION

APPROVED	DENIED
STAFF	Date Initials
P&Z	Date Initials
MAYOR	Date Initials
Neighborhood #	

See the Staff Approval Letter or P&Z Results Memo for any conditions associated with the approval of the project.



**SITE PLAN FOR LOT 7R7
 LOTS 7R7, BLOCK A**

MARSELLA JONES SURVEY, ABSTRACT NO. 662
 TOWN OF CROSS ROADS,
 DENTON COUNTY, TEXAS

OWNER:
 SAGE CROSSROADS, LLC
 1520 OLIVER ST
 HOUSTON, TX 77007-6035
 CONTACT: ANDREA MATTHEE
 PHONE: 713-293-6901

APPLICANT/ENGINEER:
 KIMLEY-HORN & ASSOCIATES
 100 W. OAK STREET, SUITE 303
 DENTON, TEXAS 76201
 CONTACT: ANDREA MATTHEE, P.E.
 PHONE: 972-335-3590

DATE PREPARED: 06/08/2022

DATE 06/08/2022
 PROJECT NO. 062225635
 SHEET NUMBER C1.2

CAUTION!
 THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION AND SHALL NOTIFY THE CONSTRUCTION MANAGER AND ENGINEER OF ANY CONDUITS DISCOVERED. CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING UTILITIES (KNOWN OR NOT KNOWN) WITHIN SCOPE OF CONSTRUCTION. IF ANY EXISTING UTILITIES ARE DAMAGED, THE CONTRACTOR SHALL REPLACE THEM AT HIS OWN EXPENSE. CALL 811 AT LEAST 72 HOURS PRIOR TO COMMENCING CONSTRUCTION OR ANY OTHER WORK.

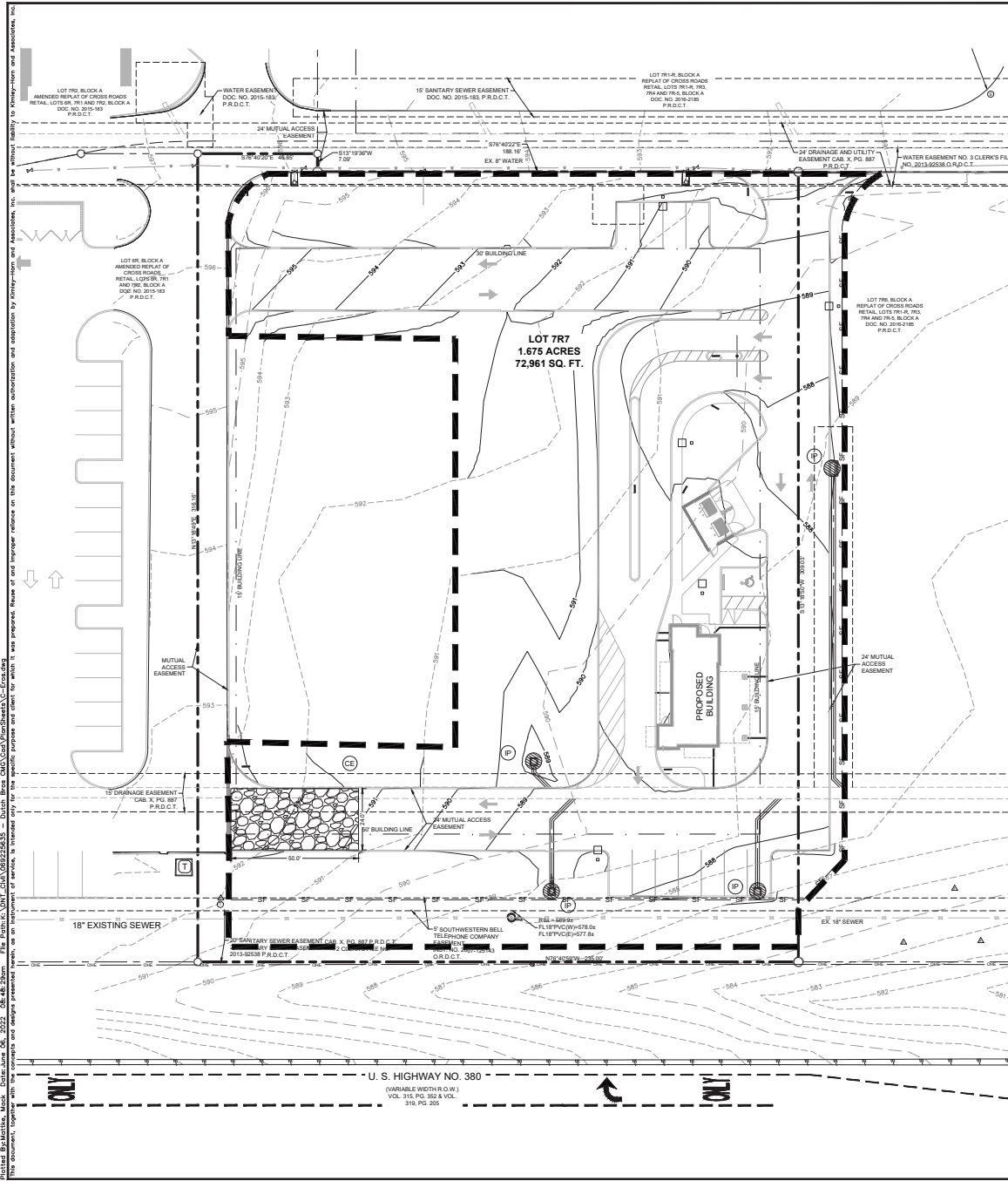
Kimley-Horn
 100 WEST OAK STREET, SUITE 303, DENTON, TX 76201
 WWW.KIMLEY-HORN.COM
 TEXAS REGISTERED ENGINEERING FIRM #268

PRELIMINARY
 Kimley-Horn

SCALE: AS SHOWN
 DESIGNED BY: []
 DRAWN BY: []
 CHECKED BY: []
 CANCELLED BY: []

SITE PLAN
 DUTCH BROS COFFEE
 CROSS ROADS RETAIL
 LOTS 7R6 & 7R7, BLOCK A
 CROSS ROADS
 TEXAS

DATE: []
 REVISIONS: []
 NO. []



EROSION CONTROL NOTES

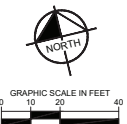
1. CONTRACTOR IS SOLELY RESPONSIBLE FOR SELECTION, IMPLEMENTATION, MAINTENANCE, AND EFFECTIVENESS OF ALL SWPPP CONTROLS - CONTROLS SHOWN ON THIS SITE MAP ARE SUGGESTED CONTROLS ONLY.
2. CONTRACTOR SHALL RECORD INSTALLATION, MAINTENANCE OR MODIFICATION, AND REMOVAL DATES FOR EACH BMP EMPLOYED (WHETHER CALLED OUT ON ORIGINAL SWPPP OR NOT) DIRECTLY ON THE SITE MAP.
3. DRAINAGE PATTERNS ARE SHOWN ON THIS PLAN BY PROPOSED AND EXISTING CONTOURS.
4. TEMPORARY AND PERMANENT STABILIZATION PRACTICES AND BMP'S SHALL BE INSTALLED AT THE EARLIEST POSSIBLE TIME DURING THE CONSTRUCTION SEQUENCE. AS AN EXAMPLE PERIMETER SILT FENCE SHALL BE INSTALLED BEFORE COMMENCEMENT OF ANY GRADING ACTIVITIES. OTHER BMP'S SHALL BE INSTALLED AS SOON AS PRACTICABLE AND SHALL BE MAINTAINED UNTIL FINAL SITE STABILIZATION IS ATTAINED. SEE PHASING SCHEDULE THIS SHEET.
5. BMP'S HAVE BEEN LOCATED AS INDICATED ON THIS PLAN IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES IN ORDER TO MINIMIZE SEDIMENT TRANSFER. FOR EXAMPLE, SILT FENCES LOCATED AT TOE OF SLOPE AND INLET PROTECTION FOR INLETS RECEIVING SEDIMENT FROM SITE RUNOFF.
6. CONTRACTOR TO PROVIDE INLET PROTECTION FOR PUBLIC ROW ONLY DURING EARTH MOVING ACTIVITIES. CONTRACTOR TO ENSURE PONDING DOES NOT OCCUR IN PUBLIC ROW OR ON ADJACENT PROPERTIES AT ANY TIME DURING CONSTRUCTION.
7. CONSTRUCTION ENTRANCE/EXIT SHALL BE LOCATED SO AS TO PROVIDE THE LEAST AMOUNT OF DISTURBANCE TO THE FLOW OF TRAFFIC IN AND OUT OF THE SITE. ADDITIONALLY, THE CONSTRUCTION ENTRANCE SHALL BE LOCATED TO CONCLUDE WITH THE PHASING OF THE PARKING LOT CONSTRUCTION.
8. CONTRACTOR SHALL PROVIDE INLET PROTECTION FOR ANY AFFECTED INLETS DOWNSTREAM OF THE PROPOSED IMPROVEMENTS, IF APPLICABLE.
9. CONTRACTOR IS RESPONSIBLE FOR MODIFYING THE SWPPP/SITE MAP TO INCLUDE BMP'S FOR ANY OFF-SITE MATERIAL WASTE, BORROW OR EQUIPMENT STORAGE AREAS.
10. CONTRACTOR IS RESPONSIBLE FOR SUBMITTAL OF NOI, NOT, POSTING OF SITE NOTICES, AND ANY ADDITIONAL INFORMATION OR SUBMITTALS REQUIRED BY TCEQ, EPA, OR LOCAL JURISDICTION.
11. COORDINATE EXISTING TREES TO REMAIN WITH LANDSCAPE PLANS. ALL EXISTING TREES TO REMAIN ARE TO RECEIVE TREE PROTECTION AROUND THE CRITICAL ROOT ZONE IN ORDER TO PREVENT DAMAGE DURING CONSTRUCTION. TREE PROTECTION SHOULD BE INSTALLED PRIOR TO ANY DEMOLITION OR EARTH DISTURBING ACTIVITIES.

SITE MAP GENERAL NOTES

1. CONTRACTOR IS SOLELY RESPONSIBLE FOR SELECTION, IMPLEMENTATION, MAINTENANCE, AND EFFECTIVENESS OF ALL SWPPP CONTROLS - CONTROLS SHOWN ON THIS SITE MAP ARE SUGGESTED CONTROLS ONLY.
2. CONTRACTOR SHALL RECORD INSTALLATION, MAINTENANCE OR MODIFICATION, AND REMOVAL DATES FOR EACH BMP EMPLOYED (WHETHER CALLED OUT ON ORIGINAL SWPPP OR NOT) DIRECTLY ON THE SITE MAP.
3. DRAINAGE PATTERNS ARE SHOWN ON THIS PLAN BY PROPOSED AND EXISTING CONTOURS, FLOW ARROWS AND/OR SLOPES.
4. TEMPORARY AND PERMANENT STABILIZATION PRACTICES AND BMP'S SHALL BE INSTALLED AT THE EARLIEST POSSIBLE TIME DURING THE CONSTRUCTION SEQUENCE. AS AN EXAMPLE, PERIMETER SILT FENCE SHALL BE INSTALLED BEFORE COMMENCEMENT OF ANY GRADING ACTIVITIES. OTHER BMP'S SHALL BE INSTALLED AS SOON AS PRACTICABLE AND SHALL BE MAINTAINED UNTIL FINAL SITE STABILIZATION IS ATTAINED. CONTRACTOR SHALL ALSO REFERENCE CIVIL AND LANDSCAPE PLANS SINCE PERMANENT STABILIZATION IS PROVIDED BY LANDSCAPING THE BUILDINGS AND SITE PAVING.
5. BMP'S HAVE BEEN LOCATED AS INDICATED ON THIS PLAN IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES IN ORDER TO MINIMIZE SEDIMENT TRANSFER. FOR EXAMPLE, SILT FENCES LOCATED AT TOE OF SLOPE AND INLET PROTECTION FOR INLETS RECEIVING SEDIMENT FROM SITE RUNOFF.
6. SANITARY SEWER EFFLUENT IS DISPOSED OF VIA AN ONSITE SEWER SYSTEM CONNECTED TO A MUNICIPAL SEWER SYSTEM.

SITE DATA

LOT AREA	1.674 AC
TOTAL ONSITE DISTURBED AREA	1.223 AC
TOTAL OFFSITE DISTURBED AREA	0.114 AC
TOTAL DISTURBED AREA	1.344 AC
PRE-DEVELOPMENT RUNOFF COEFFICIENT	0.35
POST-DEVELOPMENT RUNOFF COEFFICIENT	0.85



LEGEND

- 475 — PROPOSED LINE
- 475 — PROPOSED CONTOUR
- - - - - EXISTING CONTOUR
- - - - - SILT FENCE
- - - - - LIMITS OF DISTURBANCE
- (IP) INLET PROTECTION
- (CE) CONSTRUCTION ENTRANCE
- (FS) FILTER SOCK

EROSION CONTROL SCHEDULE AND PHASING

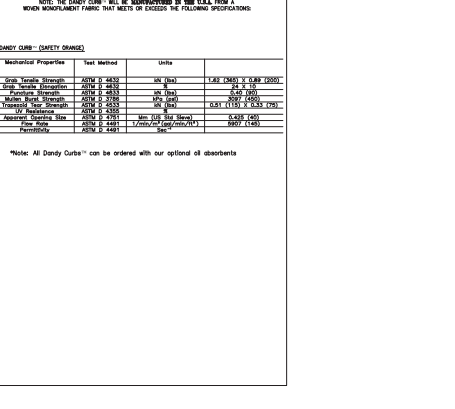
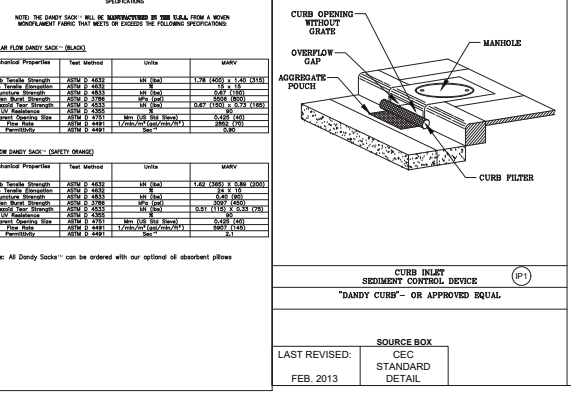
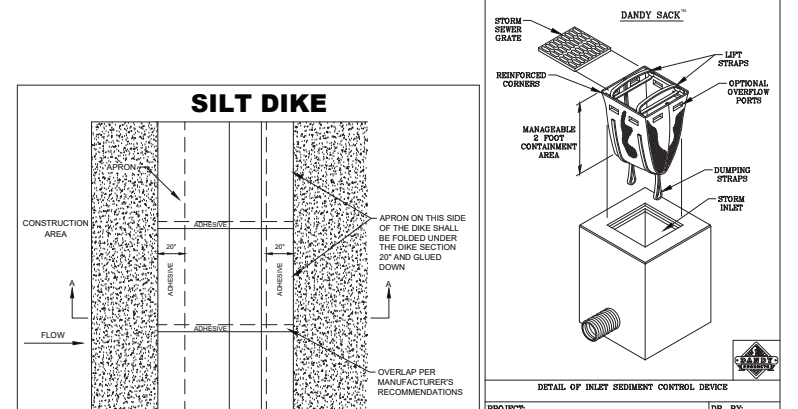
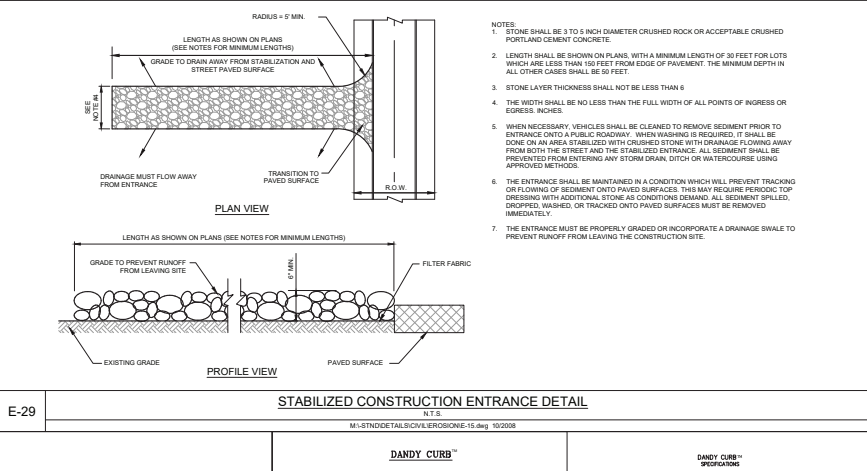
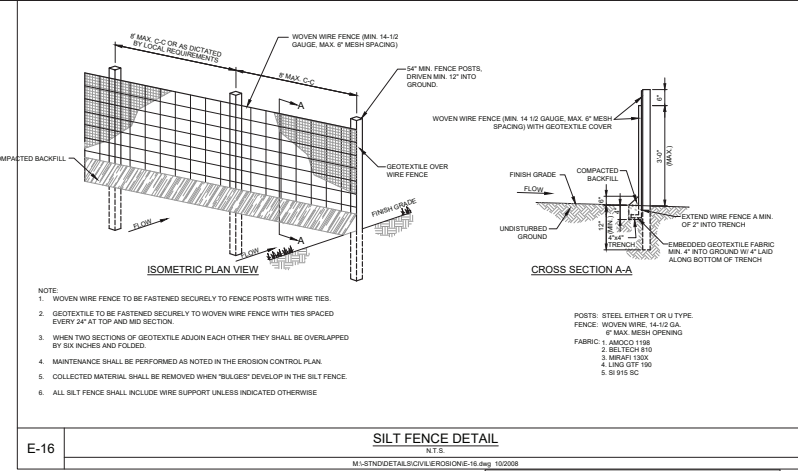
- THE PROJECT SHALL GENERALLY CONFORM TO THE FOLLOWING PHASING SCHEDULE. REFER TO THE SWPPP BOOK AND TPOES GENERAL PERMIT FOR DETAILED REQUIREMENTS.
- PHASE 1 - DEMOLITION**
- INSTALL PERMITS TER BMP'S INCLUDING THE CONSTRUCTION ENTRANCE/EXIT SWPPP STORAGE, SILT FENCE, AND ALL OTHER NECESSARY BMP'S ACCORDING TO THE LOCATION DRAWN ON THE EROSION CONTROL PLAN. CLEAR ONLY THE MINIMUM AREA REQUIRED TO INSTALL BMP'S.
 - SET THE PROJECT OFFICE TRAILER AND PREPARE TEMPORARY PARKING AND STORAGE AREAS.
 - DETERMINE DATES OF BMP INSTALLATION AND MAINTENANCE ON SITE MAP.
 - BEGIN DEMOLITION AND CLEARING OF THE SITE.
 - STABILIZATION OF DISTURBED AREAS MUST BE INITIATED WHEREVER CLEARING, GRADING, OR EARTH DISTURBING ACTIVITIES HAVE CEASED ON ANY PORTION OF THE SITE, OR TEMPORARILY CEASED AND WILL NOT RESUME WITHIN 14 DAYS PER GENERAL PERMIT REQUIREMENTS.
- PHASE 2 - GRADING**
- ENSURE APPROPRIATE BMP'S ARE IN PLACE DOWNSTREAM OF SITE WORK OR WHERE RUNOFF MAY EXIT THE SITE.
 - BEGIN GRADING THE SITE.
 - SEED AND RE-VEGETATE SLOPES AS AREAS ARE BROUGHT TO GRADE OR STOCKPILES THAT WILL REMAIN INACTIVE FOR 14 DAYS PER GENERAL PERMIT REQUIREMENTS.
- PHASE 3 - UTILITIES**
- KEEP ALL STORM WATER POLLUTION PREVENTION MEASURES IN PLACE.
- INSTALL UTILITIES, STORM DRAINS, CURBS AND GUTTERS.
 - INSTALL INLET PROTECTION AS SPECIFIED ON PLAN SHEETS AS STORM STRUCTURES ARE INSTALLED.
 - TEMPORARILY STABILIZE THROUGHOUT CONSTRUCTION, ANY DISTURBED AREAS THAT ARE LIKELY TO REMAIN INACTIVE FOR 14 DAYS.
- PHASE 4 - PAVING**
- KEEP ALL STORM WATER POLLUTION PREVENTION MEASURES IN PLACE.
- PAVE PARKING LOT AND SIDEWALKS AS SPECIFIED ON PLAN SHEETS.
 - STABILIZE SUBGRADE.
- PHASE 5 - LANDSCAPING AND DEVELOPMENT**
- INSTALL LANDSCAPING PER THE LANDSCAPE PLANS AND DETAILS.
 - REMOVE EROSION CONTROL DEVICES WHEN FINAL STABILIZATION IS ACHIEVED PER THE TPOES GENERAL PERMIT.
 - STABILIZE ANY AREA DISTURBED BY REMOVAL OF BMP'S.

THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION AND SHALL NOTIFY THE CONSTRUCTION MANAGER AND ENGINEER OF ANY CONFLICTS DISCOVERED. CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING UTILITIES SHOWN ON NOT SHOWN WITHIN SCOPE OF CONSTRUCTION. IF ANY EXISTING UTILITIES ARE DAMAGED BY CONTRACTOR, REPLACE THEM AT HIS OWN EXPENSE. CALL 811 AT LEAST 72 HOURS BEFORE ANY EXCAVATION.

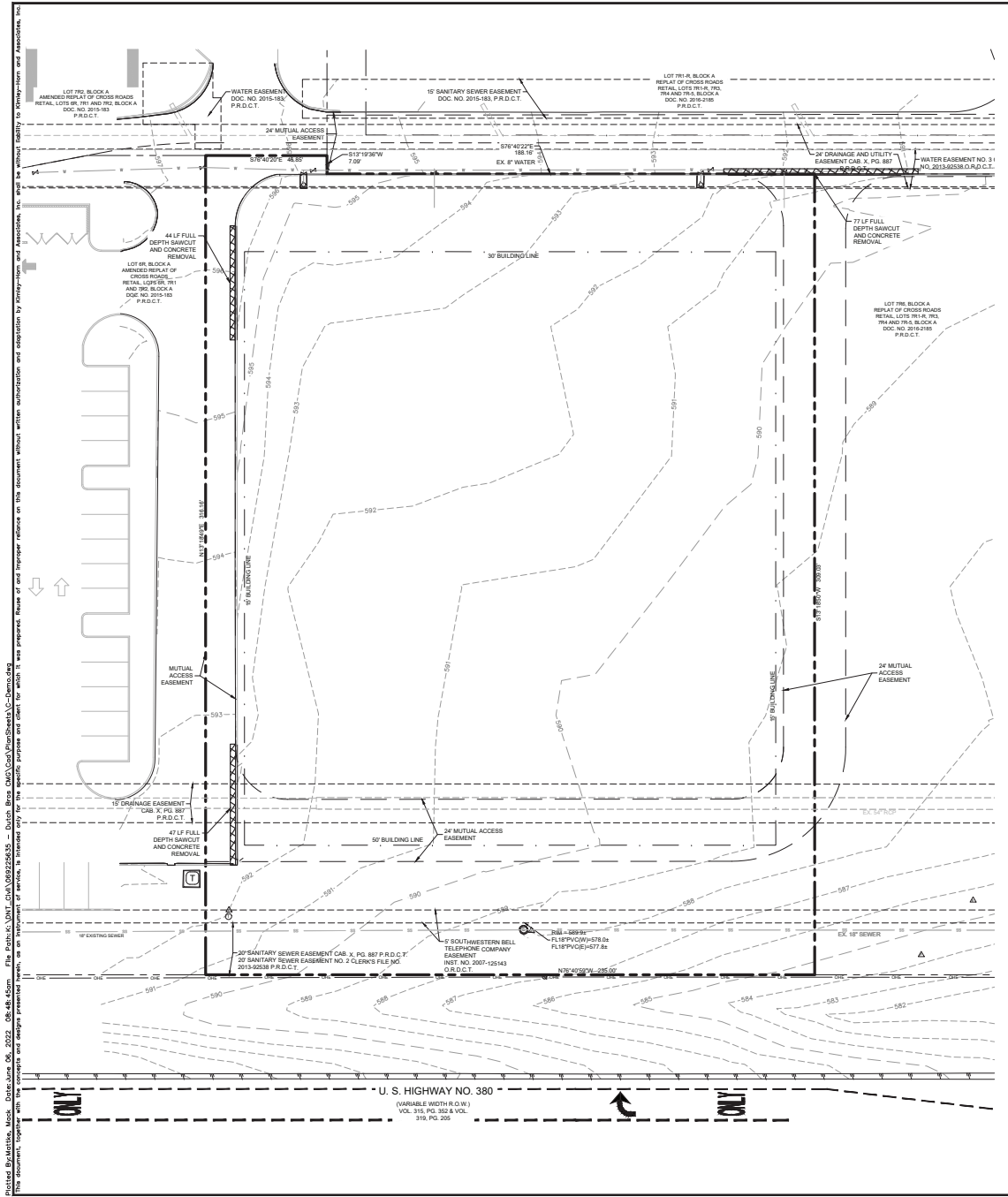
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 DRAWN BY: [blank]
 CHECKED BY: [blank]
 DATE: 06/06/2022
 PROJECT NO: 069225635
 SHEET NUMBER: C3.0

EROSION CONTROL PLAN
 DUTCH BROS COFFEE RETAIL
 CROSS ROADS RETAIL
 LOTS 7R6 & 7R7, BLOCK A
 CROSS ROADS TEXAS

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SCALE: AS SHOWN	DESIGNED BY: [Signature]	DATE: 06/09/2022
DRAWN BY: [Signature]	AM	PROJECT NO: 069225636
CHECKED BY: [Signature]	DATE: 06/09/2022	SHEET NUMBER: C3.1
 KIMLEY-HORN & ASSOCIATES, INC. 100 WEST CAMEL STREET, SUITE 200, DENTON, TX 76201 WWW.KIMLEY-HORN.COM TEXAS REGISTERED ENGINEERING FIRM #028	REVISIONS NO. DATE	DUTCH BROS COFFEE CROSSROADS RETAIL LOTS 7R6 & 7R7, BLOCK A CROSSROADS TEXAS



DEMOLITION NOTES

- INSTALL ALL EROSION CONTROL MEASURES AS SHOWN ON THE PLANS AND AS REQUIRED TO CONTROL SEDIMENT FROM LEAVING THE SITE PRIOR TO COMMENCING DEMOLITION WORK ON SITE.
- THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL (IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) ALL STRUCTURES, PAIR WALLS, CURBS, EXISTING DRIVEWAYS, PARKING DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC. SUCH THAT THE IMPROVEMENTS SHOWN ON THE PROPOSED PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE INDEXED TO THE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PRIOR TO DEMOLITION OCCURRING. ALL REMOVED MATERIALS AND DEBRIS ARE TO BE INSTALLED PRIOR TO DEMOLITION OCCURRING.
- THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR MATERIAL AND DISPOSAL.
- THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORT OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY. THESE WORKS AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES TO THE UTILITY COMPANIES FOR THEIR SERVICES.
- THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR THEIR SERVICES. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CALL LINES BEFORE PROCEEDING WITH THE WORK. UTILITIES DETERMINED TO BE ABANDONED AND LEFT IN PLACE SHALL BE GROUTED IF UNDER BUILDING.
- ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CALL LINES BEFORE PROCEEDING WITH THE WORK. UTILITIES DETERMINED TO BE ABANDONED AND LEFT IN PLACE SHALL BE GROUTED IF UNDER BUILDING.
- ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC, CABLE AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN THE ANY ROAD RIGHT OF WAY DURING CONSTRUCTION.
- CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC. (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY CITY AND OWNED LOCATION.
- SHOULD REMOVAL AND/OR RELOCATION ACTIVITIES DAMAGE EXISTING FACILITIES TO REMAIN, THE CONTRACTOR SHALL PROPOSE NEW MATERIALS/STRUCTURES IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. EXCEPT FOR MATERIALS DESIGNED TO BE RELOCATED ON THIS PLAN, ALL OTHER CONSTRUCTION MATERIALS SHALL BE NEW.
- CONTRACTOR SHALL LIMIT SAWCUT & PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS, BUT ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.
- THE CONTRACTOR SHALL COORDINATE WATER MAIN WORK WITH THE FIRE DEPT. AND THE MUTUAL WATER DISTRICT TO PLAN PROPOSED IMPROVEMENTS AND TO ENSURE ADEQUATE FIRE PROTECTION IS CONTINUITY AVAILABLE TO EXISTING BUILDINGS TO REMAIN AND SITE THROUGHOUT THIS SPECIFIC WORK AND THROUGH ALL PHASES OF CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ARRANGING/PROVIDING ANY REQUIRED WATER MAIN SHUT OFFS WITH THE CITY/COUNTY DURING CONSTRUCTION. ANY COSTS ASSOCIATED WITH WATER MAIN SHUT OFFS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND NO EXTRA COMPENSATION WILL BE PROVIDED.
- DAMAGE TO ALL EXISTING CONDITIONS TO REMAIN WILL BE REPLACED AT CONTRACTOR'S EXPENSE. CONCRETE, ASPHALT, ETC. CAN BE CRUSHED ON SITE OR OFFSITE, AND REUSED AS BASE MATERIAL FOR FUTURE PAVING AND BUILDING AREAS AS LONG AS IT MEETS REQUIRED GRADATION PER PLANS, CITY/COUNTY REQUIREMENTS AND GEOTECH REPORT.
- IF THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHOSE WORK MAY BE AFFECTED BY THE DEMOLITION WORK OR NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK, THE CONTRACTOR SHALL PROVIDE 72 HOURS MINIMUM NOTICE TO ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION.
- DAMAGE TO ALL EXISTING CONDITIONS TO REMAIN WILL BE REPLACED AT CONTRACTOR'S EXPENSE. CONCRETE, ASPHALT, ETC. CAN BE CRUSHED ON SITE OR OFFSITE, AND REUSED AS BASE MATERIAL FOR FUTURE PAVING AND BUILDING AREAS AS LONG AS IT MEETS REQUIRED GRADATION PER PLANS, CITY/COUNTY REQUIREMENTS AND GEOTECH REPORT.
- ALL EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME THE DRAWINGS WERE PREPARED AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER. GUARANTEE IS NOT MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE SHOWN IS ACCURATE. FINING THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE BEFORE HE COMMENCES ANY WORK IN THE VICINITY. FURTHERMORE, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY AND ALL DAMAGE DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE OWNER OR ENGINEER WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE VICINITY OF EXISTING UTILITIES OR STRUCTURES. NOR FOR TEMPORARY BRACING AND SHORING OF SAME. IF IT IS NECESSARY TO SHORE, BRACE, SHIM OR RELOCATE A UTILITY, THE UTILITY COMPANY OR DEPARTMENT AFFECTED SHALL BE CONTACTED BY THE CONTRACTOR AND THEIR PERMISSION OBTAINED REGARDING THE METHOD TO USE FOR SUCH WORK.
- THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONTRACT DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, COPIES OF ANY REQUIRED CONSTRUCTION PERMITS, AND EROSION CONTROL PLANS AND INSPECTION REPORTS (DWPPP).
- ANY DISCREPANCIES IN THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER/ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION TO THE ENGINEER. NO CONSIDERATION WILL BE GIVEN TO CHANGE ORDERS FOR WHICH THE OWNER AND ENGINEER WERE NOT CONTACTED PRIOR TO CONSTRUCTION OF THE AFFECTED ITEM.
- CONTRACTOR IS RESPONSIBLE FOR PREPARING AND IMPLEMENTING A TRAFFIC CONTROL PLAN AND THE INSTALLATION OF TRAFFIC CONTROL DEVICES FOR ANY STREET WORK.
- ALL DEMOLITION WORK OR CONSTRUCTION VEHICLE TRAFFIC WITHIN 10 FEET OF THE CANOPY OF ANY TREE TO BE SAVED SHALL CLOSELY BE COORDINATED WITH TREE PRESERVATION ACTIVITIES.
- CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST OSHA STANDARDS FOR EXCAVATION AND TRENCHING OPERATIONS. CONTRACTOR SHALL USE TREE SUPPORT SYSTEMS, SLUING, BRACING, ETC. AS NECESSARY FOR THESE OPERATIONS, AND SHALL COMPLY WITH ALL OSHA PERFORMANCE CRITERIA.
- DO NOT INTERRUPT EXISTING UTILITIES SERVING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE LOCAL MUNICIPALITIES. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.
- ANY RECYCLED MATERIAL TO BE STOCKPILED ON THE SITE SHALL BE STORED IN SMALL AN AREA AS PRACTICAL AND THE LOCATION OF ANY STOCKPILE SHALL BE WELL CLEAR OF THE BUILDING PAD AREA AND THE LOCATION MUST BE PRE-APPROVED BY THE ENGINEER AND OWNER PRIOR TO STOCKPILING.
- CONTRACTOR TO PULL ALL TREE REMOVAL PERMITS FOR ANY REQUIRED TREE REMOVAL.
- ALL RELOCATION SHOULD BE NOT TO BE RE-USED SHOULD BE REMOVED. REFER TO RELOCATION PLAN.
- REMOVE AND/OR PLUS EXISTING UTILITIES SUCH AS STORM DRAINAGE, SANITARY SEWER, WATER, GAS, ELECTRIC, AND TELEPHONE AS SHOWN OR AS NEEDED. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING EACH UTILITY COMPANY TO COORDINATE REMOVAL OF ALL UTILITIES AND FOR DETERMINING HORIZONTAL AND VERTICAL LOCATIONS OF UTILITIES PRIOR TO COMMENCING WORK.
- QUANTITIES SHOWN HERE ARE APPROXIMATE AND ARE PROVIDED FOR CONVENIENCE ONLY AND NOT FOR BID PURPOSES. CONTRACTOR SHALL VERIFY QUANTITIES NECESSARY TO DEMO FACILITIES SHOWN.
- REFERENCE ALTA SURVEY FOR TREE SIZE AND SPECIES INFO.
- REFERENCE PHASE I ESA BY TERRACON FOR ENVIRONMENTAL CONDITIONS THAT MAY BE PRESENT ON SITE.
- PRIOR TO DEMOLITION, CONTRACTOR IS TO FIELD VERIFY LOCATION OF ELECTRIC SERVICE LINE TO EXISTING WALMART'S PLUG BOX. CONTRACTOR IS TO ENSURE POWER TO THE BOX IS MAINTAINED AT ALL TIMES DURING CONSTRUCTION. ANY DAMAGE TO EXISTING FACILITIES TO REMAIN IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO REPLACE AT THEIR OWN EXPENSE.



DEMOLITION LEGEND

	EXISTING PAVEMENT, BUILDING, AND APURTINEMENTS TO BE REMOVED
	EXISTING CURB TO BE REMOVED
	PROPOSED FULL DEPTH SAWCUT
	PROPOSED TREE PROTECTION
	EXISTING TREE TO BE REMOVED
	EXISTING TREE TO REMAIN
	BOUNDARY LINE
	EASEMENT LINE
	BUILDING LINE
	WATER LINE
	SANITARY SEWER LINE
	STORM SEWER LINE
	UNDERGROUND GAS LINE
	OVERHEAD UTILITY LINE
	UNDERGROUND ELECTRIC LINE
	UNDERGROUND TELEPHONE LINE
	OVERHEAD ELECTRIC LINE
	FENCE
	CONCRETE PAVEMENT
	ASPHALT PAVEMENT

Kimley-Horn
 100 WEST CAK STREET, SUITE 200, DENTON, TX 76201
 WWW.KIMLEY-HORN.COM
 TEXASREGISTEREDENGINEERING FPM#1628

PRELIMINARY

 PRELIMINARY DESIGN

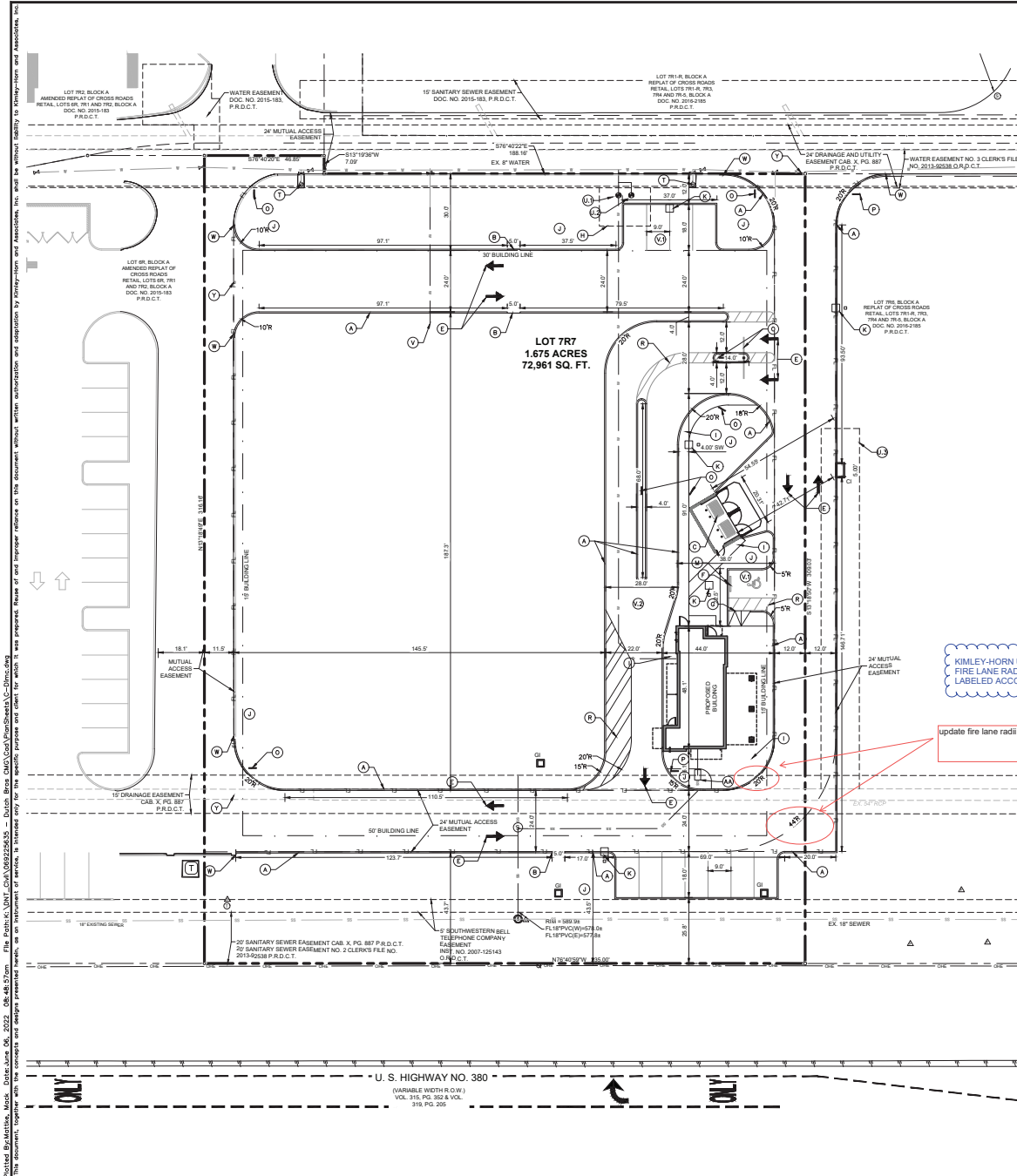
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DEMOLITION PLAN

811
 Know what's below.
 Call before you dig.

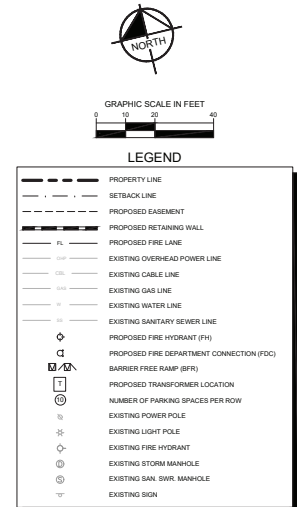
THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF CONSTRUCTION AND SHALL NOTIFY THE CONTRACTING MANAGER AND ENGINEER OF ANY CONFLICTS DISCOVERED. CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING UTILITIES SHOWN OR NOT SHOWN WITHIN SCOPE OF CONSTRUCTION. IF ANY EXISTING UTILITIES ARE DAMAGED, THE CONTRACTOR SHALL REPLACE THEM AT HIS OWN EXPENSE. CALL 811 AT LEAST 72 HOURS PRIOR TO DEMOLITION. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE CITY OF DENTON.

DATE	06/09/2022
PROJECT NO.	069225635
SHEET NUMBER	C4.0



SITE KEYNOTES

Ⓢ	TYPE 'N' CURB & GUTTER. SEE DETAIL SHEET.
Ⓣ	♾ CURB CUT. SEE DETAIL SHEET.
Ⓡ	RECYCLING/TRASH DUMPSTER LOCATION. REFER TO ARCHITECTURAL PLANS FOR DETAILS OF SCREENING, GATES, BOLLARDS AND MASONRY.
Ⓣ	SITE DIRECTIONAL SIGN. REFERENCE SHEET CS.2 - STRIPING AND SIGNAGE PLAN FOR TYPE.
Ⓡ	DIRECTIONAL PAVEMENT MARKING. REFERENCE SHEET CS.2 - STRIPING AND SIGNAGE PLAN.
Ⓢ	WHEEL STOPS. SEE DETAIL SHEET.
Ⓡ	BARRIER FREE RAMP. SEE CONSTRUCTION DETAILS.
Ⓡ	PROP. WATER 15' X 20' EASEMENT.
Ⓢ	CONCRETE SIDEWALK. SEE DETAIL SHEET.
Ⓢ	LANDSCAPE AREA. REFERENCE LANDSCAPE PLANS.
Ⓡ	SITE LIGHTING. REFER TO ARCHITECTURAL PLANS FOR DETAIL.
Ⓡ	ACCESSIBLE PARKING SIGN WITH SIGN POST IN BOLLARD. SIGN TO BE LOCATED IN CURB. REFERENCE SHEET CS.2 - STRIPING AND SIGNAGE PLAN.
Ⓡ	NON ACCESSIBLE PARKING SIGN WITH SIGN POST IN BOLLARD. SIGN TO BE LOCATED IN CURB. REFERENCE SHEET CS.2 - STRIPING AND SIGNAGE PLAN.
Ⓡ	EXISTING MONUMENT SIGN TO REMAIN.
Ⓡ	DRIVE THRU ORDER BOARD. PRE-ORDER BOARD OR HEIGHT DETECTOR. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
Ⓡ	STOP SIGN OR EXIT ONLY. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
Ⓡ	TRASH PAD. REFER TO ARCHITECTURAL SITE DETAILS.
Ⓡ	PAVEMENT STRIPING. REFERENCE SHEET CS.2 - STRIPING AND SIGNAGE PLAN.
Ⓡ	EXISTING FIRE HYDRANT. REFER TO SHEET CT.0 - UTILITY PLAN.
Ⓡ	PROPOSED DOMESTIC WATER METER. REFER TO SHEET C7.0 - UTILITY PLAN.
Ⓡ	PROPOSED IRRIGATION WATER METER. REFER TO SHEET C7.0 - UTILITY PLAN.
Ⓡ	PROPOSED 12" DRAINAGE EASEMENT.
Ⓡ	7" PVC SLEEVE FOR FUTURE WATER SERVICE CONNECTION.
Ⓡ	18" PROPOSED CURB & GUTTER TO EXISTING CURB & GUTTER WITH SMOOTH, CONTINUOUS TRANSITION.
Ⓡ	PROPOSED BOLLARD.
Ⓡ	SAW-CUT LINE.
Ⓡ	BOLLARD IN CURB. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
Ⓡ	PROPOSED GREASE TRAP. REFER TO ARCHITECTURAL PLANS FOR DETAILS.



SITE NOTES

- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL/MEP PLANS FOR SITE LIGHTING & ELECTRICAL PLAN.
- REFERENCE ARCHITECTURAL PLANS FOR DUMPSTER ENCLOSURE DETAILS.
- EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COSTS SHALL BE INCLUDED IN BASE BID. REFERENCE DEMOLITION PLAN.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, UNLESS OTHERWISE NOTED ON PLANS INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COSTS SHALL BE INCLUDED IN BASE BID.
- SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY BY KIMLEY-HORN AND ASSOCIATES, INC. DATED FEBRUARY 2020.
- TOTAL LAND AREA IS 1.675 ACRES.
- ALL PROPOSED PAVING IN CITY & D.W. AND EASEMENTS TO CONFORM TO TOWN OF CROSS ROADS STANDARDS.
- CONTRACTOR SHALL ADJUST EXISTING VALVES, MANHOLE RISERS, ETC. AS NECESSARY TO MATCH FINISHED GRADE.
- REFERENCE LANDSCAPE PLANS FOR PROPOSED BUFFERS, SCREENING, AND PLANTING.
- PER FEMA MAP NUMBER 48202C0495GK DATED APRIL 18, 2014, THIS SITE IS NOT WITHIN A FLOOD-ZONE.

KIMLEY-HORN UPDATED THE FIRE LANE RADII TO 30' AND LABELED ACCORDINGLY

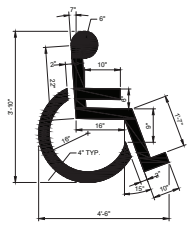
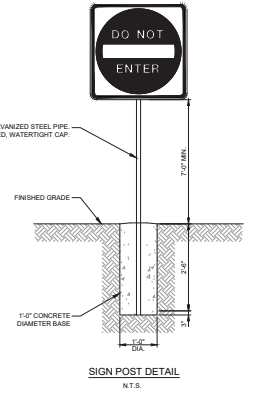
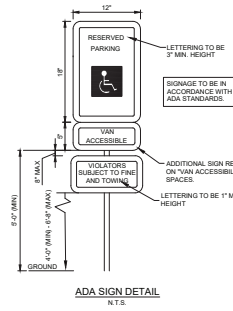
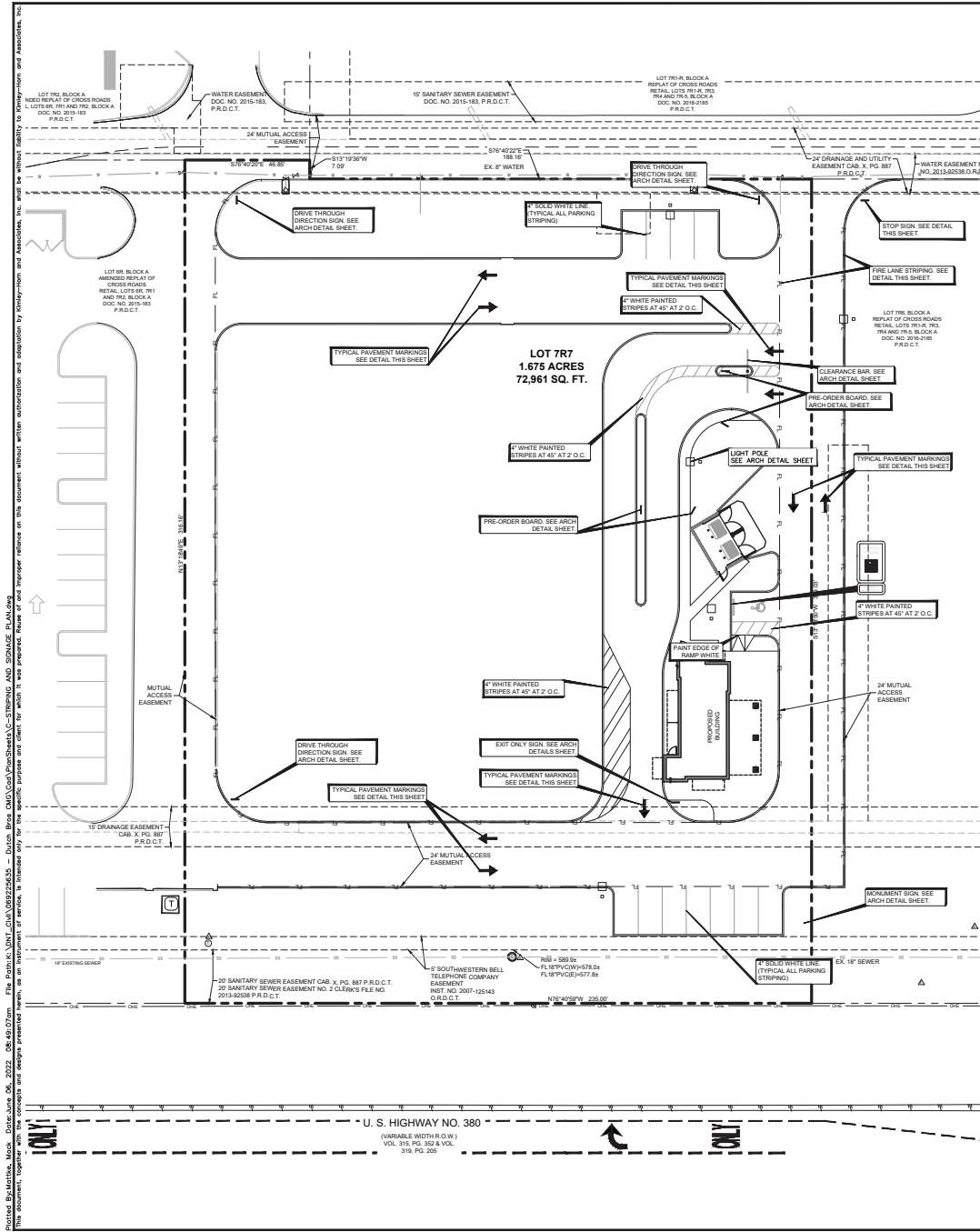
update fire lane radii



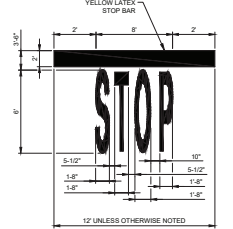
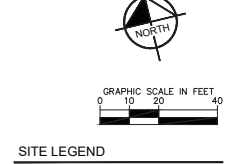
Know what's below. Call before you dig.

THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION AND SHALL NOTIFY THE CONTRACTING MANAGER AND ENGINEER OF ANY CONFLICTS DISCOVERED. CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING UTILITIES SHOWN ON ANY CONFLICTS WITHIN SCOPE OF CONSTRUCTION. IF ANY EXISTING UTILITIES ARE DAMAGED, THE CONTRACTOR SHALL REPAIR THEM AT HIS OWN EXPENSE. CALL 811 AT LEAST 72 HOURS PRIOR TO COMMENCING CONSTRUCTION IN ANY AREAS.

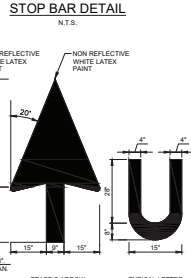
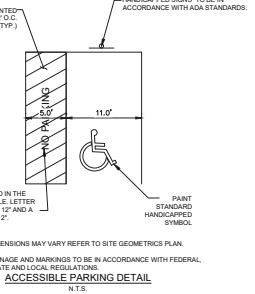
DATE	06/09/2022
PROJECT NO.	069225635
SHEET NUMBER	C5.1
REVIEWS	NO.
Kimley-Horn CONSULTING ENGINEERS & ARCHITECTS 100 WEST OAK STREET, SUITE 200, DENTON, TX 76201 WWW.KIMLEY-HORN.COM TEXAS REGISTERED ENGINEERING FIRM #28	
PRELIMINARY Kimley-Horn	
SCALE	AS SHOWN
DESIGNED BY	
DRAWN BY	
CHECKED BY	
DATE	
DIMENSION CONTROL PLAN	
DUTCH BROS COFFEE RETAIL CROSS ROADS RETAIL LOTS 7R6 & 7R7, BLOCK A CROSS ROADS TEXAS	



NOTE:
1. ALL TRAFFIC MARKINGS TO BE YELLOW LATEX AS PER DIMENSIONS SHOWN.



NOTE:
1. ALL TRAFFIC MARKINGS TO BE WHITE LATEX AS PER DIMENSIONS SHOWN.



811
Know what's below.
Call before you dig.

THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION AND SHALL NOTIFY THE CONSTRUCTION MANAGER AND ENGINEER OF ANY CHANGES DISCOVERED. CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING UTILITIES SHOWN OR NOT SHOWN WITHIN SCOPE OF CONSTRUCTION. IF ANY EXISTING UTILITIES ARE DAMAGED, THE CONTRACTOR SHALL REPLACE THEM AT HIS OWN EXPENSE. CALL 811 AT LEAST 72 HOURS PRIOR TO COMMENCING CONSTRUCTION ACTIVITIES.

Kimley»Horn
100 WEST GAK STREET, SUITE 200, DENTON, TX 76201
WWW.KIMLEY-HORN.COM
TEASREGISTEREDENGINEERING FIRM 028

PRELIMINARY
Kimley»Horn

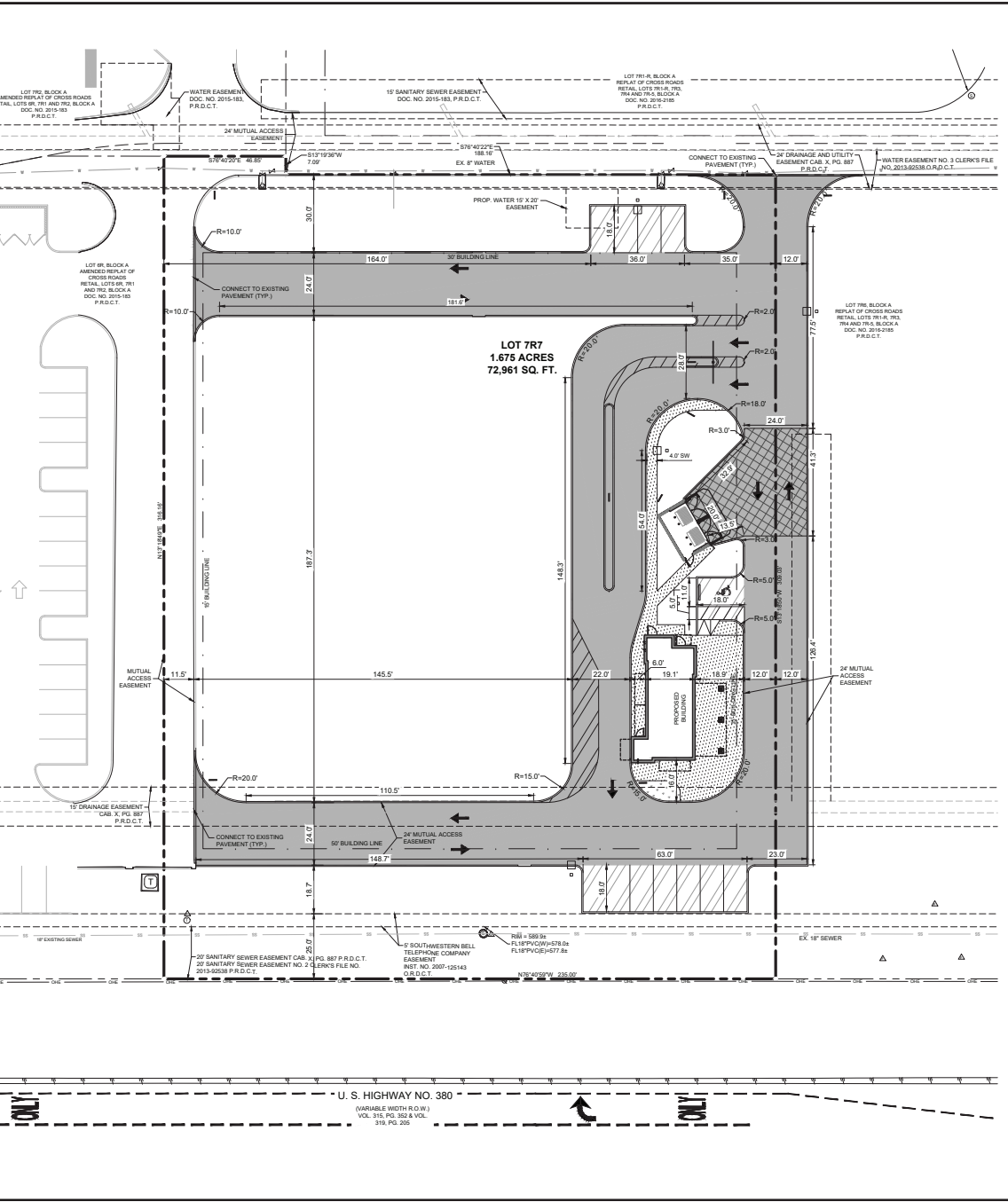
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STRIPING AND SIGNAGE PLAN
TEXAS

DUTCH BROS COFFEE
CROSS ROADS RETAIL
LOTS 7R6 & 7R7, BLOCK A
CROSS ROADS

DATE: 06/06/2022
PROJECT NO: 06225635
SHEET NUMBER: C5.2

Vertical Scale: 1" = 20' Horizontal Scale: 1" = 40' Date: 08/05/2022 Drawn by: MJK Design: MJK/CM Checked by: KMH/JK Date: 08/05/2022 Paved Area: 14.29 Acres Title: LOT 7R7 CROSS ROADS RETAIL LOTS 7R6 & 7R7, BLOCK A CROSS ROADS
 THIS DOCUMENT, INCLUDING THE PAVING PLAN AND GEOTECH REPORT, IS THE PROPERTY OF KIMLEY-HORN AND ASSOCIATES, INC. AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF KIMLEY-HORN AND ASSOCIATES, INC.



PAVING NOTES

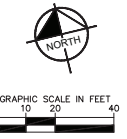
1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO: ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COSTS SHALL BE INCLUDED IN BASE BID.
3. ALL PROPOSED PAVING IN CITY R.O.W. TO CONFORM TO TOWN OF CROSSROADS STANDARDS.
4. CONTRACTOR SHALL ADJUST EXISTING VALVES, MANHOLE RIMS, ETC. AS NECESSARY TO MATCH FINISHED GRADE.
5. CONTRACTOR TO EXTEND ALL PAVING JOINTS THROUGH CURBS. JOINTS SHALL BE PERPENDICULAR TO CURBS.
6. EXPANSION JOINTS SHALL BE PLACED BETWEEN BUILDING AND CURBS.
7. CONCRETE SHALL FOLLOW THE SPECIFICATIONS OF THE GEOTECHNICAL REPORT.
8. MAXIMUM CONTROL JOINT SPACING SHALL NOT EXCEED 10' FOR STANDARD DUTY CONCRETE, 12' FOR MEDIUM DUTY, AND 14' FOR HEAVY DUTY CONCRETE.
9. EXPANSION JOINTS SHOULD BE USED WHEREVER THE PAVEMENT WILL ABUT A STRUCTURAL ELEMENT, E.G. LIGHT POLES, RETAINING WALLS, EXISTING PAVEMENT, BUILDING WALLS OR MANHOLES, AND SEALED WITH POLYURETHANE SEALANT.
10. EXPANSION JOINTS SHALL BE SPACED @' MAX AND SEALED TO MINIMIZE MOISTURE INFILTRATION.
11. SAW-CUT CONTROL JOINTS WITHIN 12 HOURS OF POUR.
12. EXPANSION AND CONSTRUCTION JOINTS SHOULD HAVE 24" LONG NO. 3 DOWEL BARS SPACED 18" ON CENTER.
13. REFER TO SITE LIGHTING ELECTRICAL PLAN FOR LOCATION OF CONDUIT FOR SITE LIGHTING.
14. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT PERMANENT PAVEMENT IS NOT PLACED UNTIL ALL REQUIRED CONDUITS AND SLEEVING FOR IRRIGATION, UTILITIES, LIGHTING, ETC HAS BEEN PROPERLY INSTALLED.
15. ALL EARTHWORK, PAVING, AND JOINTING SHALL CONFORM TO THE GEOTECH REPORT.
16. REFER TO SITE LIGHTING AND ELECTRICAL PLANS FOR CONDUIT LOCATION FOR SITE LIGHTING.
17. REFER TO IRRIGATION PLAN FOR EXACT IRRIGATION SLEEVE LOCATIONS.
18. CONDUIT FOR COMMUNICATIONS TO SITE SIGNAGE SHALL BE INSTALLED WITH BENDS THAT ARE NO LESS THAN 45° ANGLE. IF A 90° BEND IS REQUIRED, A SWEEPING BEND SHOULD BE INSTALLED.

KIMLEY-HORN PROVIDED THE GEOTECH REPORT IN THE RESUBMITTAL AND REFERENCED THE DOCUMENT WITHIN THE GENERAL NOTES.

provide geotech report in support of sections

call out the curb cuts on the paving plan

KIMLEY-HORN PROVIDED DIMENSIONS AND CALL OUTS FOR CURB CUTS



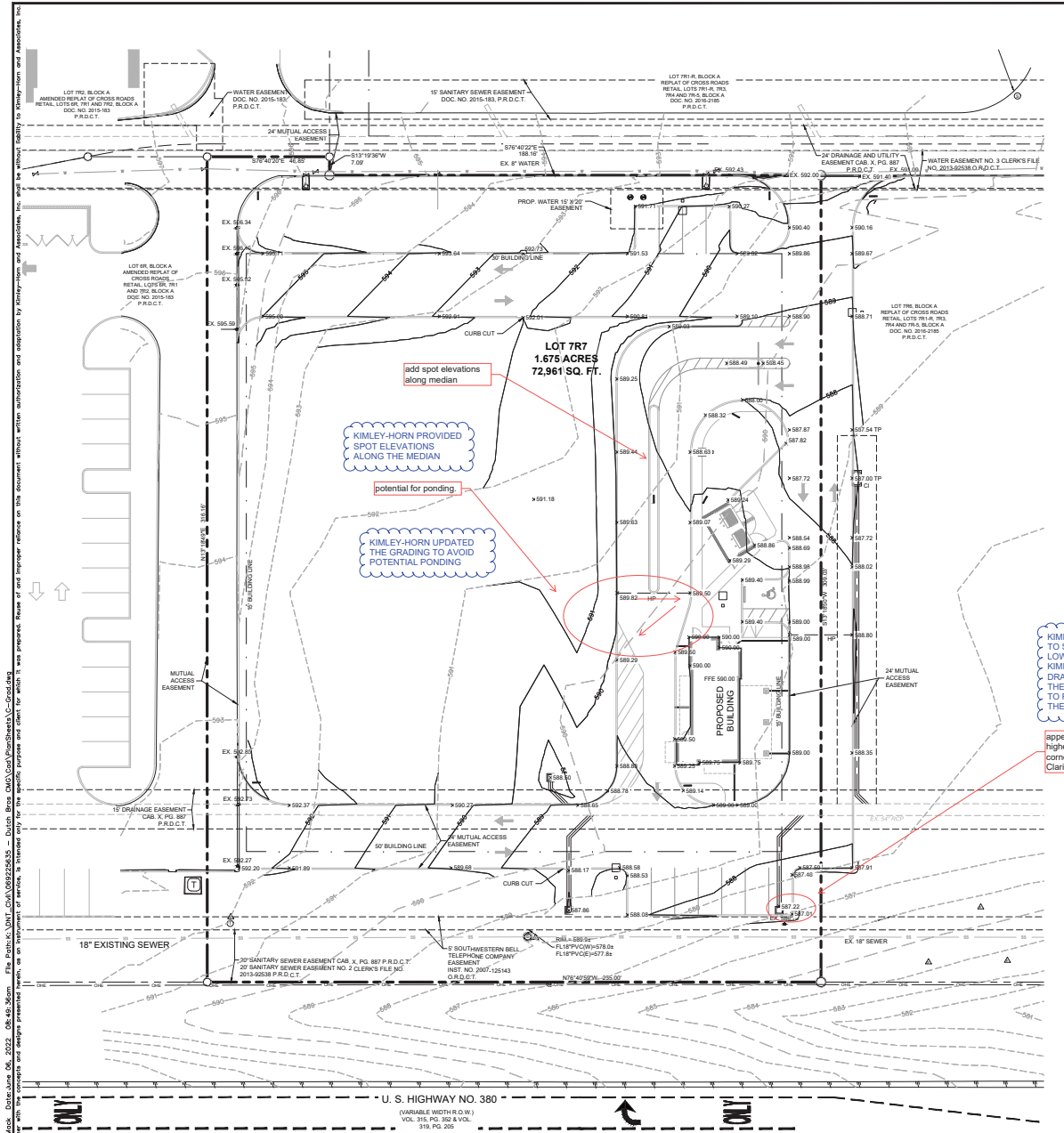
LEGEND

- — — PROPERTY LINE
- — — ADJACENT PROPERTY LINE
- PROPOSED CONCRETE CURB
- EXISTING CURB
- FL — PROPOSED FIRE LANE & MUTUAL ACCESS EASEMENT
- EXISTING TREE
- PROPOSED PARKING COUNT
- PROPOSED WATER METER
- EXISTING FIRE HYDRANT
- 6" STANDARD DUTY CONCRETE PAVEMENT. REFERENCE CONSTRUCTION DETAILS
- 8" MEDIUM DUTY CONCRETE PAVEMENT. REFERENCE CONSTRUCTION DETAILS
- 7" HEAVY DUTY CONCRETE PAVEMENT. REFERENCE CONSTRUCTION DETAILS
- 4" STANDARD DUTY CONCRETE FOR SIDEWALKS. REFERENCE CONSTRUCTION DETAILS
- PROPOSED LANDSCAPE AREA

Kimley-Horn www.kimley-horn.com		
TEAMS REGISTERED ENGINEERING FIRM #028		
PRELIMINARY		
Kimley-Horn		
100 WEST OAK STREET, SUITE 200, DENTON, TX 76201 WWW.KIMLEY-HORN.COM		
SCALE AS SHOWN	DESIGNED BY	DATE
	DRAWN BY	REVISED
	CHECKED BY	NO.
	APPROVED BY	DATE
PAVING PLAN		
DUTCH BROS COFFEE CROSS ROADS RETAIL LOTS 7R6 & 7R7, BLOCK A CROSS ROADS TEXAS		
DATE	PROJECT NO.	SHEET NUMBER
06/09/2022	069225635	C5.3

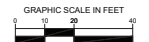
811
Know what's below. Call before you dig.

THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION AND SHALL NOTIFY THE CONSTRUCTION MANAGER AND ENGINEER OF ANY CONFLICTS DISCOVERED. CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING UTILITIES SHOWN OR NOT SHOWN WITHIN SCOPE OF CONSTRUCTION. IF ANY EXISTING UTILITIES ARE DAMAGED, THE CONTRACTOR SHALL REPLACE THEM AT HIS OWN EXPENSE. CALL 811 AT LEAST 72 HOURS PRIOR TO COMMENSAL CONSTRUCTION ACTIVITIES.



GRADING NOTES

1. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THESE PLANS AND THE CITY/VAH STANDARDS AND SPECIFICATIONS.
2. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL MAKE CERTAIN THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
3. THE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS SHALL VERIFY THE UTILITY OF ALL EXISTING AND PROPOSED SITES CONDITIONS INCLUDING GRADES AND DIMENSIONS BEFORE COMMENCEMENT OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES. MINOR ADJUSTMENTS TO FINISH GRADE TO ACCOMPLISH SPOT GRADES ARE ACCEPTABLE IF NECESSARY UPON PRIOR APPROVAL OF ENGINEER. PAVING INSTALLED SHALL FLUSH OUT AT ANY JUNCTURE WITH EXISTING PAVING.
4. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
5. ALL CUT OR FILL SLOPES SHALL BE 4:1 OR FLATTER UNLESS OTHERWISE NOTED.
6. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTIGUOUS GRADE.
7. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
8. TOPOGRAPHIC INFORMATION IS TAKEN FROM A TOPOGRAPHIC SURVEY BY LAND SURVEYORS. IF THE CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, THEN THE CONTRACTOR SHALL SUPPLY, AT THEIR EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR TO THE OWNER FOR REVIEW.
9. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING FOOTPRINT DIMENSIONS.
10. CONTRACTOR SHALL REFER TO FINAL GEOTECH REPORT FOR BUILDING SUBGRADE AND SITE PREPARATION REQUIREMENTS.
11. CONTRACTOR SHALL ADJUST EXISTING VALVES, MANHOLE RIMS, ETC. AS NECESSARY TO MATCH FINISHED GRADE.
12. ALL ELEVATIONS ARE TOP OF PAVEMENT UNLESS NOTED OTHERWISE TO GET TOP OF CURB ELEVATIONS ADD 4" TO THE ELEVATION SHOWN.
13. GRADING FOR ALL SIDEWALKS AND ACCESSIBLE ROUTES INCLUDING CROSSING DRIVEWAYS SHALL CONFORM TO ADA STANDARDS. SLOPES SHALL NOT EXCEED 5% LONGITUDINAL SLOPE OR 2% GROSS SLOPE. SIDEWALK ACCESS TO EXTERNAL BUILDING DOORS SHALL BE ADA COMPLIANT. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF ADA CRITERIA CANNOT BE MET AT ANY LOCATION.
14. ANY PROPOSED CONTOURS SHOWN ARE APPROXIMATE. PROPOSED SPOT ELEVATIONS AND DESIGNATED GRADIENT ARE TO BE USED IN THE EVENT OF ANY DISCREPANCIES.
15. REFER TO EROSION CONTROL PLAN FOR EROSION CONTROL DEVICES TO BE INSTALLED PRIOR TO COMMENCING GRADING OPERATIONS.
16. ALL FILL TO BE PLACED SHALL BE IN ACCORDANCE WITH THE CURRENT APPLICABLE GEOTECHNICAL REPORT RECOMMENDATIONS.



LEGEND

---	PROPERTY LINE
---	PROPOSED CONTOUR
---	EXISTING CONTOUR
---	PROPOSED VALLEY
---	PROPOSED RIDGE
X 500.00	PROPOSED SPOT ELEVATION
TC	PROPOSED TOP OF CURB ELEVATION
TP	PROPOSED TOP OF PAVEMENT ELEVATION
FG	PROPOSED FINISHED GRADE ELEVATION
TW	PROPOSED TOP OF WALL ELEVATION
BW	PROPOSED BOTTOM OF WALL ELEVATION
EX	EXISTING ELEVATION
ME	MATCH EXISTING
---	PROPOSED STORM DRAINAGE LINE

GRADING NOTES

1. TOP OF WALL AND BOTTOM OF WALL GRADE SPOT SHOTS ARE FOR GRADING PURPOSES ONLY. CONTRACTOR TO PROVIDE COMPLETE DESIGN FOR RETAINING WALLS. DESIGN SHALL BE SUBMITTED TO ENGINEER AND OWNER FOR REVIEW.
2. SPOT ELEVATIONS ARE TO TOP OF PAVEMENT UNLESS OTHERWISE NOTED.
3. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR SUBGRADE PREPARATION SPECIFICATIONS FOR ALL PROPOSED BUILDINGS.
4. ALL FILL MATERIAL SHALL BE COMPACTED PER GEOTECH RECOMMENDATION. REFER TO PAVING SECTION DETAILS FOR SUBGRADE PREPARATION REQUIREMENTS UNDER ALL PAVED AREAS. (REFER TO GEOTECH REPORT)
5. CONTRACTOR SHALL VERIFY ALL SIDEWALKS HAVE A MAXIMUM LONGITUDINAL SLOPE OF 5% AND A MAXIMUM CROSS SLOPE OF 2%. IF THE CONTRACTOR IDENTIFIES SLOPES GREATER, CONTRACTOR SHALL NOTIFY ENGINEER PRIOR TO CONSTRUCTION.
6. SPOT ELEVATIONS IDENTIFIED AS "MATCH EXISTING" SHALL BE FIELD VERIFIED. CONTRACTOR SHALL NOTIFY CIVIL ENGINEERING CONSULTANT (CEC) OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH GRADING ACTIVITIES.

KIMLEY-HORN PROVIDED SPOT ELEVATIONS ALONG THE MEDIAN

KIMLEY-HORN UPDATED THE GRADING TO AVOID POTENTIAL PONDING

KIMLEY-HORN UPDATED THE GRADING TO SHOW THAT THE INLET IS THE LOWEST POINT OF THE PARKING LOT. KIMLEY-HORN ALSO UPDATED THE DRAINAGE AREA MAP TO SHOW THAT THE AREA TO THE SOUTH OF THIS IS TO REMAIN AS EXISTING AND FLOW TO THE EXISTING DITCH

appears that grate is higher than the corner of the lot. Clarify



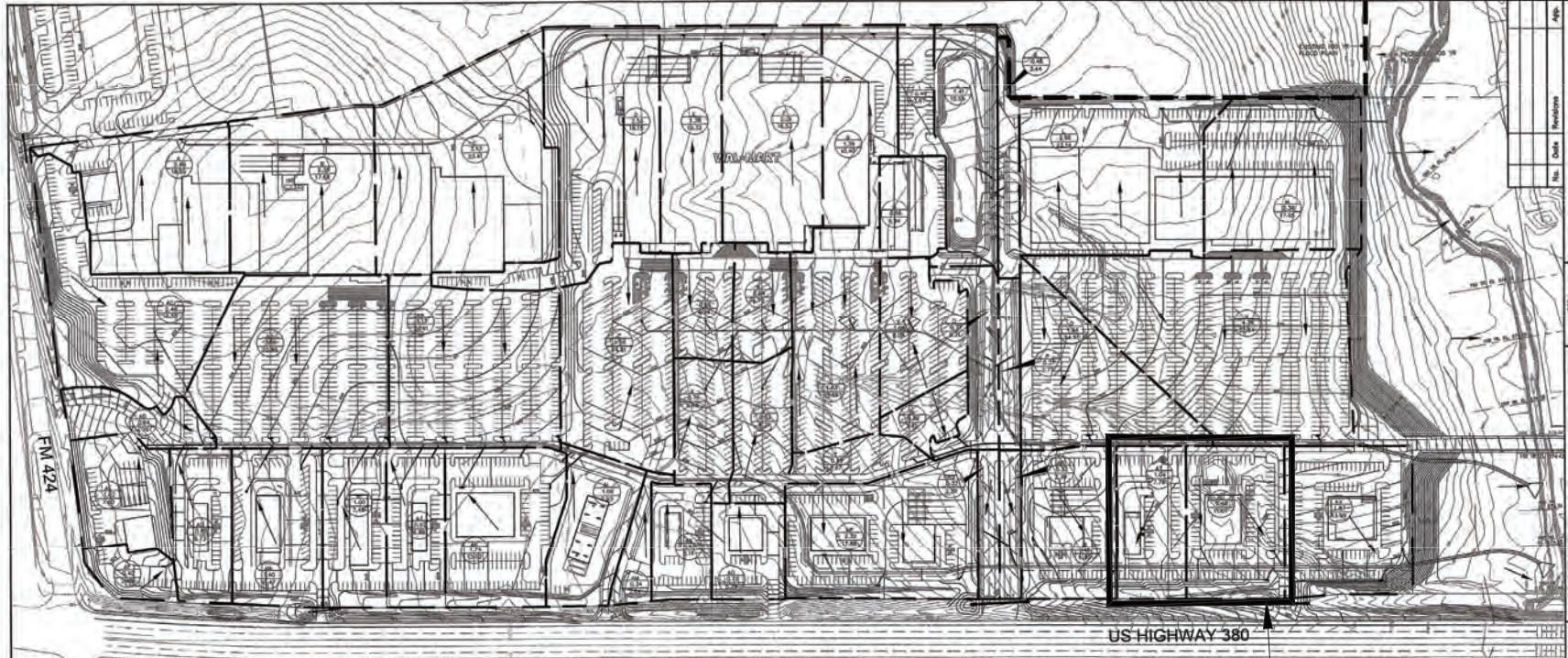
THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION AND SHALL NOTIFY THE CONTRACTING MANAGER AND ENGINEER OF ANY CONFLICTS DISCOVERED. CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING UTILITIES SHOWN OR NOT SHOWN WITHIN SCOPE OF CONSTRUCTION. IF ANY EXISTING UTILITIES ARE DAMAGED, THE CONTRACTOR SHALL REPLACE THEM AT HIS OWN EXPENSE. CALL 811 AT LEAST 72 HOURS PRIOR TO COMMENCING CONSTRUCTION. (REFER TO EROSION CONTROL PLAN FOR EROSION CONTROL DEVICES TO BE INSTALLED PRIOR TO COMMENCING GRADING OPERATIONS.)

DATE: 06/06/2022
 PROJECT NO: 062225635
 SHEET NUMBER: C6.0

DESIGNED BY: [Name]
 DRAWN BY: [Name]
 AM: [Name]
 CHECKED BY: [Name]
 SCALE: AS SHOWN

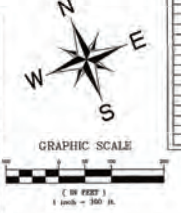
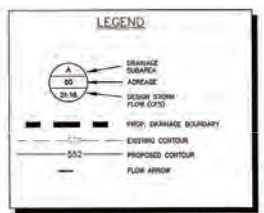
Kimley-Horn
 PRELIMINARY
 100 WEST GAK STREET, SUITE 200, DENTON, TX 76201
 WWW.KIMLEY-HORN.COM
 TEXAS REGISTERED ENGINEERING FIRM #208

GRADING PLAN
 DUTCH BROS COFFEE
 CROSS ROADS RETAIL
 LOTS 7R6 & 7R7, BLOCK A
 CROSS ROADS
 TEXAS



DRAINAGE CALCULATIONS

DRAINAGE AREA				DRAINAGE AREA			
AREA ID	AREA (AC)	RUNOFF COEFFICIENT	Q ₁₀₀ (cfs)	AREA ID	AREA (AC)	RUNOFF COEFFICIENT	Q ₁₀₀ (cfs)
A	5.48	0.85	10.80	AA	5.13	0.85	10.80
B	2.35	0.85	10.80	AB	3.08	0.85	10.80
C	3.13	0.85	10.80	AC	2.48	0.85	10.80
D	2.95	0.85	10.80	AD	0.84	0.85	10.80
E	1.35	0.85	10.80	AE	1.02	0.85	10.80
F	2.21	0.85	10.80	AF	0.65	0.85	10.80
G	1.30	0.85	10.80	AG	0.85	0.85	10.80
H	0.85	0.85	10.80	AH	1.95	0.85	10.80
I	0.45	0.85	10.80	AI	1.95	0.85	10.80
J	1.41	0.85	10.80	AJ	0.92	0.85	10.80
K	0.48	0.85	10.80	AK	1.74	0.85	10.80
L	1.95	0.85	10.80	AL	0.95	0.85	10.80
M	2.32	0.85	10.80	AM	0.34	0.85	10.80
N	4.34	0.85	10.80	AN	0.65	0.85	10.80
O	1.84	0.85	10.80	AO	0.72	0.85	10.80
P	0.37	0.85	10.80	AP	2.77	0.85	10.80
Q	0.71	0.85	10.80	AQ	0.52	0.85	10.80
R	0.52	0.85	10.80	AR	0.32	0.85	10.80
S	1.25	0.85	10.80	AS	1.04	0.85	10.80
T	0.48	0.85	10.80	AT	1.45	0.85	10.80
U	1.63	0.85	10.80	AU	1.81	0.85	10.80
V	0.83	0.85	10.80	AV	4.31	0.85	10.80
W	4.64	0.85	10.80	AW	0.79	0.85	10.80
X	0.78	0.85	10.80	AX	3.65	0.85	10.80
Y	1.44	0.85	10.80	AY	4.94	0.85	10.80
Z	1.88	0.85	10.80	AZ	14.82	0.85	10.80



DRAINAGE NOTES

THE EXISTING SITE DOES NOT REQUIRE DETENTION PER RECORD DRAWING THE VILLAGE AT CROSS ROADS DATED JANUARY 2007. DRAINAGE AREAS AT & AU ACCOUNT FOR THE EXISTING SITE.

THE VILLAGE AT CROSS ROADS
NEC OF U.S. 380
AND F.M. 424
CROSS ROADS, TEXAS

Kimley-Horn and Associates, Inc.
12208 Hwy. 40, Suite 300, Dallas, TX 75244
Phone: (972) 271-2300
Fax: (972) 271-2303

DRAINAGE AREA MAP

Scale: As Shown
Designed By: [Blank]
Drawn By: [Blank]
Checked By: [Blank]

Project No.: 06220800

SHEET **C 9**

Kimley-Horn

12208 Hwy. 40, Suite 300, Dallas, TX 75244
Phone: (972) 271-2300
Fax: (972) 271-2303

PRELIMINARY

Scale: As Shown
Designed By: [Blank]
Drawn By: [Blank]
Checked By: [Blank]

Project No.: 06220800

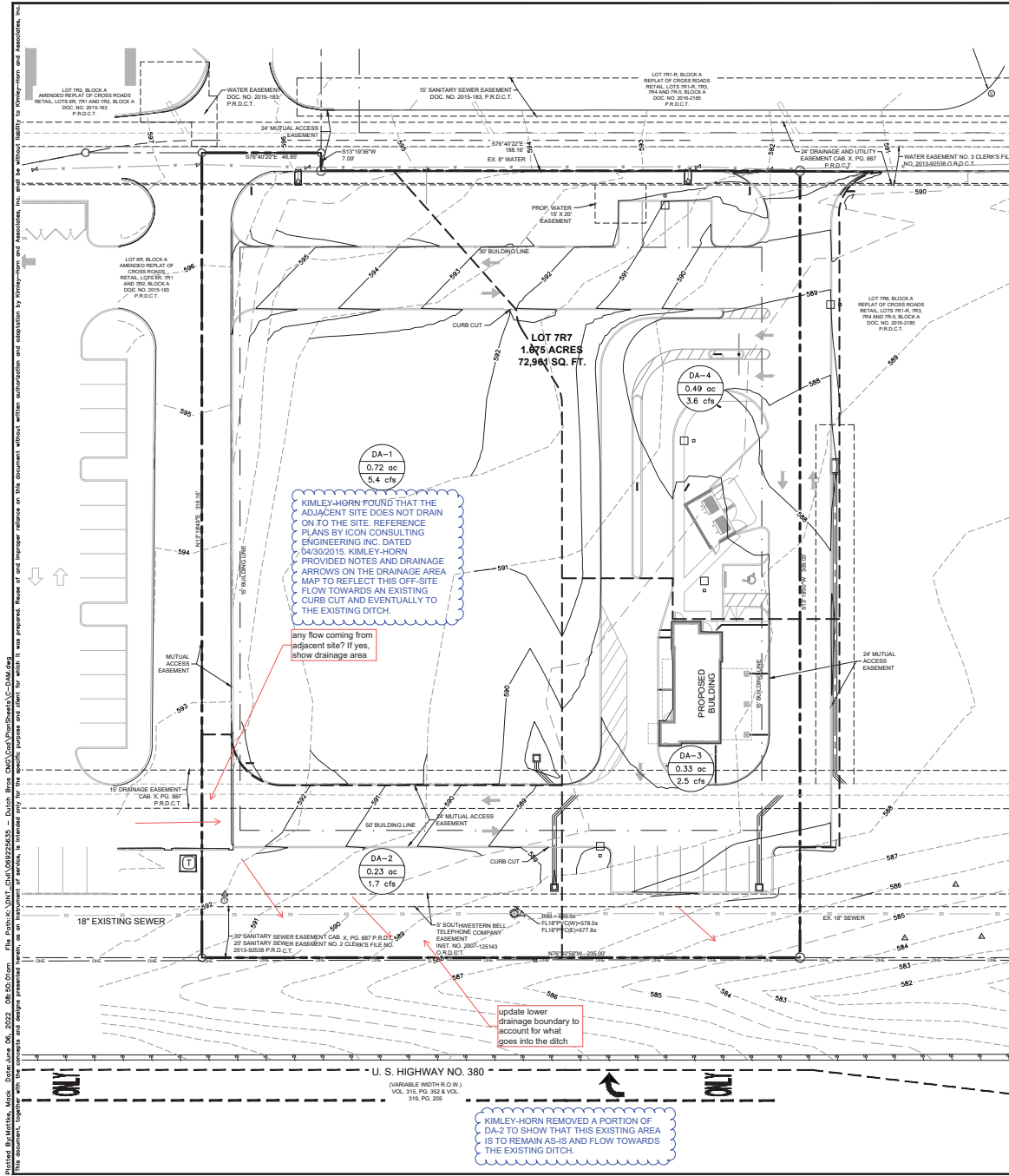
SHEET **C 9**

EXISTING DRAINAGE AREA MAP

DUTCH BROS COFFEE
CROSS ROADS RETAIL
LOTS 7R6 & 7R7, BLOCK A
CROSS ROADS, TEXAS

DATE: 06/09/2022
PROJECT NO.: 06220800
SHEET NUMBER: **C6.1**

DATE: [Blank]
PROJECT NO.: [Blank]
SHEET NUMBER: [Blank]



GRAPHIC SCALE IN FEET
0 10 20 30 40

LEGEND

- BASIN NAME
- ACRES
- 100 YR FLOW (CFS)
- DRAINAGE AREA
- FLOW ARROW
- PROPOSED CONTOUR
- EXISTING CONTOUR
- PROPOSED STORM SEWER LINE
- EXISTING SANITARY SEWER LINE
- EXISTING WATER LINE
- PROPERTY LINE
- EXISTING STORM LINE

DRAINAGE NARRATIVE:

ALL PROPOSED DRAINAGE AREAS WILL BE ROUTED TO THE EXISTING STORM SYSTEM IN PLACE. DA-1 THROUGH DA-4 WILL BE ROUTED TO THE EXISTING STORM PIPE SYSTEM.

DRAINAGE AREA-1 WILL BE ROUTED TO THE EXISTING DITCH RUNNING ALONG THE SITE.

ALL PROPOSED DRAINAGE AREAS WILL NOT ADVERSELY AFFECT THE DOWNSIDE FROM FLOW AS ACCORDING TO THE VILLAGE AT CROSS ROADS PLAN PREPARED BY KIMLEY-HORN IN 2007.

DRAINAGE AREA MAP NOTES:

1. DRAINAGE CRITERIA FOR THIS DRAINAGE AREA MAP IS BASED ON SURVEY AND CITY DRAINAGE REQUIREMENTS.

PROPOSED ON-SITE

- TC = 10 MIN
- C = 0.85
- H00 = 8.80 IN/HR
- A = DRAINAGE AREA (ACRES)
- Q100 = C100(A)(CFS)

DRAINAGE AREA TABLE

DRAINAGE AREA NO.	AREA (ac)	RUNOFF COEFFICIENT "C"	TIME OF CONCENTRATION (minutes)	RAINFALL INTENSITY "I" (in/hr)	TOTAL FLOW Q100 (cfs)	COLLECTION POINT
DA-1	0.72	0.85	10	8.80	5.4	3' X 3' GRATE INLET
DA-2	0.23	0.85	10	8.80	1.7	3' X 3' GRATE INLET
DA-3	0.33	0.85	10	8.80	2.5	3' X 3' GRATE INLET
DA-4	0.49	0.85	10	8.80	3.6	5' CURB INLET

KIMLEY-HORN FOUND THAT THE ADJACENT SITE DOES NOT DRAIN ON TO THE SITE. REFERENCE PLANS BY ICON CONSULTING ENGINEERING INC. DATED 04/30/2015. KIMLEY-HORN PROVIDED NOTES AND DRAINAGE ARROWS ON THE DRAINAGE AREA MAP TO REFLECT THIS OFF-SITE FLOW TOWARDS AN EXISTING CURB CUT AND EVENTUALLY TO THE EXISTING DITCH.

any flow coming from adjacent site? If yes, show drainage area.

update rainfall intensities. Should be 9.24

KIMLEY-HORN UPDATED THE DRAINAGE AREA TABLE TO SHOW 9.24 INTENSITIES

provide inlet computations for all inlets

KIMLEY-HORN PROVIDED INLET CALCULATIONS FOR ALL INLETS. INLET CALCULATIONS CAN BE REFERENCED ON C6.5

update lower drainage boundary to account for what goes into the ditch

KIMLEY-HORN REMOVED A PORTION OF DA-2 TO SHOW THAT THIS EXISTING AREA IS TO REMAIN AS-IS AND FLOW TOWARDS THE EXISTING DITCH.



THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION AND SHALL NOTIFY THE CONTRACTOR MANAGER AND ENGINEER OF ANY UTILITIES DISCOVERED. CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING UTILITIES SHOWN OR NOT SHOWN WITHIN SCOPE OF CONSTRUCTION. IF ANY EXISTING UTILITIES ARE DAMAGED, THE CONTRACTOR SHALL REPLACE THEM AT HIS OWN EXPENSE. CALL 811 AT LEAST 72 HOURS PRIOR TO COMMENCING CONSTRUCTION ACTIVITIES.

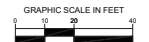
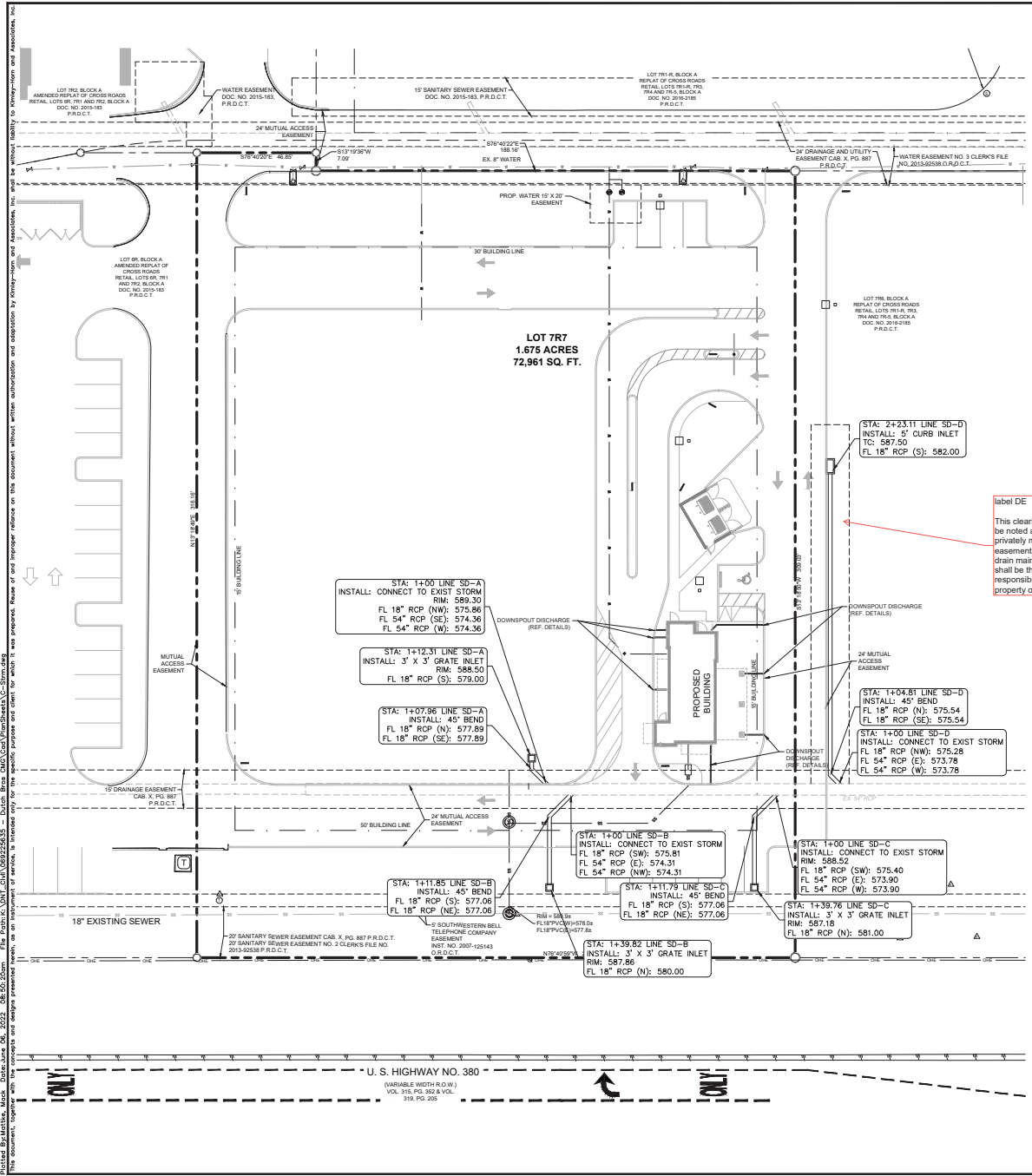
DATE: 06/06/2022
PROJECT NO: 069229635
SHEET NUMBER: C6.2

DESIGNED BY: [Name]
DRAWN BY: [Name]
CHECKED BY: [Name]
SCALE: AS SHOWN

PROPOSED DRAINAGE AREA MAP

DUTCH BROS COFFEE CROSS ROADS RETAIL LOTS 7R6 & 7R7, BLOCK A CROSS ROADS TEXAS

Kimley-Horn
100 WEST OAK STREET, SUITE 200, DENTON, TX 76201
WWW.KIMLEY-HORN.COM
TEXAS REGISTERED ENGINEERING FIRM # 628



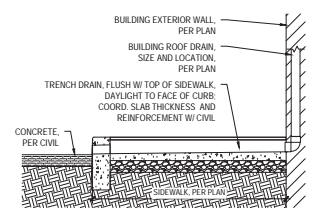
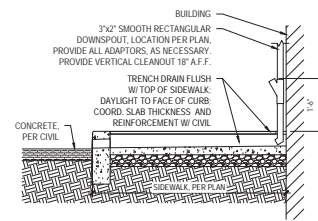
LEGEND

---	PROPERTY LINE
---	PROPOSED STORM LINE
---	EXISTING STORM LINE
---	EXISTING OVERHEAD ELECTRIC
---	EXISTING WATER LINE
---	EXISTING SEWER LINE

- STORM DRAINAGE NOTES:**
1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
 2. CONTRACTOR SHALL FIELD VERIFY THE EXACT HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES IN FIELD PRIOR TO COMMENCING CONSTRUCTION. NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
 3. STORM PIPE SHALL BE AS FOLLOWS UNLESS OTHERWISE NOTED.
 - A) RCP - ASTM C76 CLASS B - REQUIRED IN PUBLIC RIGHT OF WAY AND AT CONNECTION POINTS TO PUBLIC STORM SEWER.
 - B) DUCTILE IRON PIPE - ASTM A146.
 - C) PIPE - ASHSTO MSZ TYPE S; MSW TYPE S R ASTM F 2506 SMOOTH WALL.
 - D) PIP - ASTM D 3034 CORUS.
 4. ALL EXISTING AND PROPOSED PIPES AND STRUCTURES ARE TO BE CLEANED OUT AT THE COMPLETION OF CONSTRUCTION TO REMOVE ALL SILT AND DEBRIS.
 5. ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATER TIGHT.
 6. ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVERMENT AND SHALL HAVE TRAFFIC BEARING RING & COVER MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISH GRADE. LIDS SHALL BE LABELED 'STORM SEWER'.
 7. ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT FROM INVERT IN TO INVERT OUT.

label DE
This clearly needs to be noted as a privately maintained easement. Storm drain maintenance shall be the responsibility of the property owner

KIMLEY-HORN PROVIDED A LABEL FOR THE 15' DRAINAGE EASEMENT THAT IT WILL BE PRIVATELY MAINTAINED.



Know what's below.
Call before you dig.

THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION AND SHALL NOTIFY THE CONTRACTOR MANAGER AND ENGINEER OF ANY COMPLETELY DISCOVERED. CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING UTILITIES SHOWN OR NOT SHOWN WITHIN SCOPE OF CONSTRUCTION. IF ANY EXISTING UTILITIES ARE DAMAGED, THE CONTRACTOR SHALL REPLACE THEM AT HIS OWN EXPENSE. CALL 811 AT LEAST 72 HOURS PRIOR TO COMMENCING CONSTRUCTION OR ANY EXCAVATION.

Kimley-Horn
100 WEST OAK STREET, SUITE 200, DENTON, TX 76201
WWW.KIMLEY-HORN.COM
TEAM REGISTERED ENGINEERING FIRM #28

PRELIMINARY
Kimley-Horn

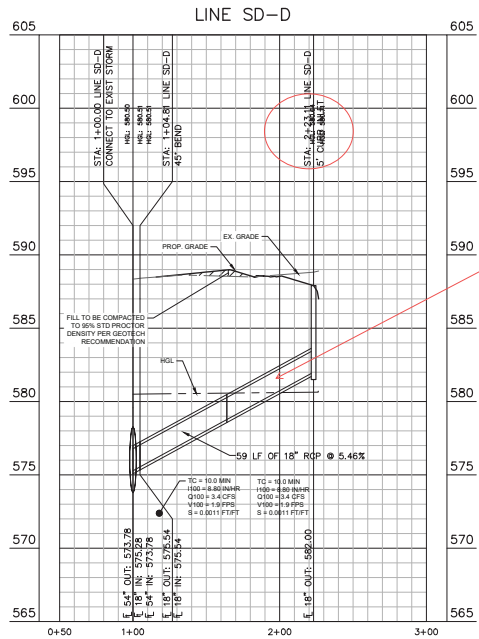
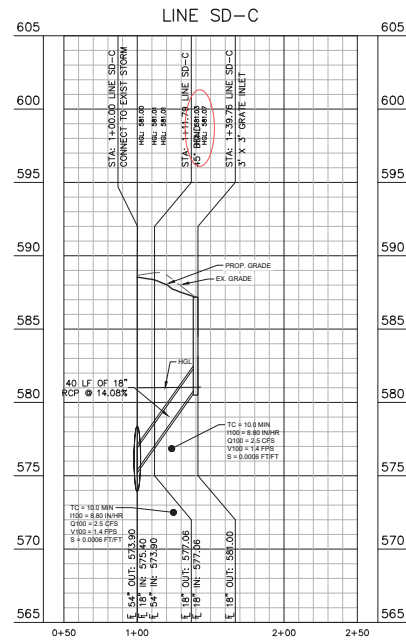
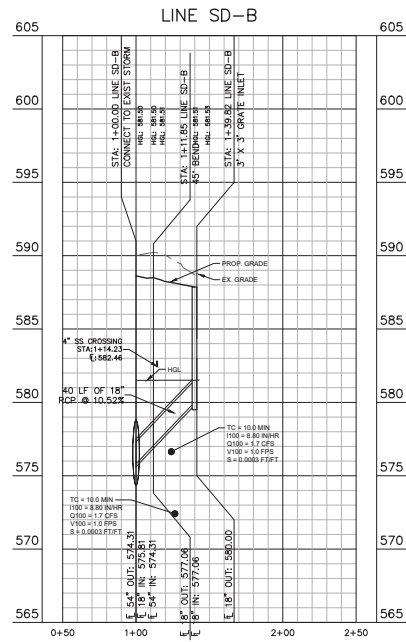
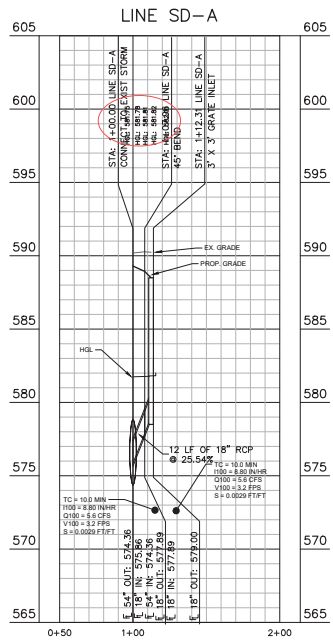
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DRAWN BY: [blank]
DATE: [blank]
CHECKED BY: [blank]

STORM PLAN

DUTCH BROS COFFEE
CROSS ROADS RETAIL
LOTS 7R6 & 7R7, BLOCK A
CROSS ROADS
TEXAS

DATE: 06/09/2022
PROJECT NO: 062225635
SHEET NUMBER: C6.3

Revised Submittal: North - Station 06 - 2022 - 06-03-2022 - Mr. Patrick Miller, Civil Engineer, 1505 South Loop West, Suite 600, Dallas, TX 75246-1438
 This document is intended to be used as a guide only. It is not a contract document and does not constitute an offer. It is subject to the terms and conditions of the contract.

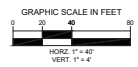


update text overlap to be legible

KIMLEY-HORN CLEANED UP ALL OVERLAPPING TEXT

provide partial flow data

KIMLEY-HORN PROVIDED PARTIAL FLOW DATA



KIMLEY-HORN CLEANED UP ALL OVERLAPPING TEXT

DATE	REVISIONS	NO.

Kimley-Horn
100 WEST OAK STREET, SUITE 200, DENTON, TX 76201
WWW.KIMLEY-HORN.COM
TEXAS REGISTERED ENGINEERING FIRM #28

PRELIMINARY
DESIGNED BY
DRAWN BY
CHECKED BY
SCALE

STORM PROFILES
DUTCH BROS COFFEE
CROSS ROADS RETAIL
LOTS 7R6 & 7R7, BLOCK A
CROSS ROADS
TEXAS

DATE	06/06/2022
PROJECT NO.	069225635
SHEET NUMBER	C6.4

Revised Schedule: Meeting Date: 08/22/2022 10:30 AM, City Council Meeting: 08/22/2022 7:00 AM, City Council Meeting: 08/22/2022 7:00 AM
 This document represents the proposed project and is not a final design. It is subject to change without notice. KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.

KIMLEY-HORN UPDATED ALL STATIONS AND VALUES TO MATCH THE PLANS

KIMLEY-HORN UPDATED THE AREAS TO MATCH THE DRAINAGE AREAS

update stations to match the plans

0.72

0.49

update to 9.24 per Town criteria

KIMLEY-HORN UPDATED TO SHOW 9.24 INTENSITIES

45 degree bend

KIMLEY-HORN UPDATED THIS TO BE A 45 DEGREE BEND

RUNOFF COLLECTION POINT INFORMATION				DRAINAGE AREA INFORMATION				Time at Design		Rainfall	Storm	Hydraulic	RCP			ACB		Velocity	Head Loss	Velocity	Flow	Flow	HYDRAULIC GRADIENT ELEVATIONS	
Up-stream STA (FT)	Down-stream STA (FT)	Distance Between STA (FT)	Area ID	Intercepted Area "A" (AC)	Frequency Factor "K"	Runoff Coeff. "C"	Incrmental "KCA"	Accumulated "KCA"	Up-Stream STA (MIN)	Storm Frequency (YRS)	Intensity "I" (IN/HR)	Water Runoff "Q" (CFS)	Grade Slope "S" (FT/FT)	No. of Barrels (EA)	Pipe Dia. (IN)	Box Span (IN)	Box Rise (FT)	"V" (FPS)	Coefficient "Kj"	at Up-stream STA (FT)	Time Between STA (MIN)	Time at Down-stream STA (MIN)	Up-stream (FT)	Down-stream (FT)
LINE SD-A																							582.01	
1+15.49	1+11.14	4.35	DA-1	0.75	1.00	0.85	0.64	0.64	10.0	100	8.80	5.6	0.0029	1	18	0	0	3.2	1.25	0.20	0.0	10.0	58' .82	58' .81
1+11.14	1+00.00	11.14					0.00	0.64	10.0	100	8.80	5.6	0.0029	1	18	0	0	3.2	0.15	0.02	0.1	10.1	58' .78	58' .75
LINE SD-B																							58' .53	
1+43.00	1+15.03	27.97	DA-2	0.23	1.00	0.85	0.20	0.20	10.0	100	8.80	1.7	0.0003	1	18	0	0	1.0	1.25	0.02	0.5	10.5	58' .51	58' .51
1+15.03	1+00.00	15.03					0.00	0.20	10.5	100	8.80	1.7	0.0003	1	18	0	0	1.0	0.15	0.00	0.3	10.8	58' .50	58' .50
LINE SD-C																							58' .07	
1+42.94	1+14.97	27.97	DA-3	0.33	1.00	0.85	0.28	0.28	10.0	100	8.80	2.5	0.0006	1	18	0	0	1.4	1.25	0.01	0.3	10.3	58' .03	58' .01
1+14.97	1+00.00	14.97					0.00	0.28	10.3	100	8.80	2.5	0.0006	1	18	0	0	1.4	0.15	0.00	0.2	10.5	58' .01	58' .00
LINE SD-D																							580.71	
2+26.30	1+07.99	1+18.31	DA-4	0.46	1.00	0.85	0.39	0.39	10.0	100	8.80	3.4	0.0011	1	18	0	0	1.9	1.25	0.07	1.0	11.0	580.64	580.51
1+07.99	1+00.00	7.99					0.00	0.39	11.0	100	8.80	3.4	0.0011	1	18	0	0	1.9	N/A	0.00	0.1	11.1	580.51	580.50

TC	T.C-HG
588 70	6.69
589 10	7.29
588 10	6.57
588 50	6.99
587 00	5.93
588 50	7.43
587 00	6.29
588 40	7.89

STORM CALCULATIONS

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DRAWN BY: AM
CHECKED BY: CM
DATE: [Blank]

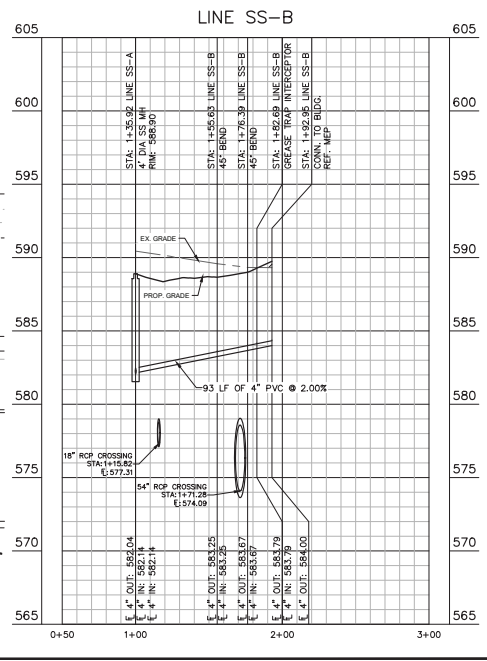
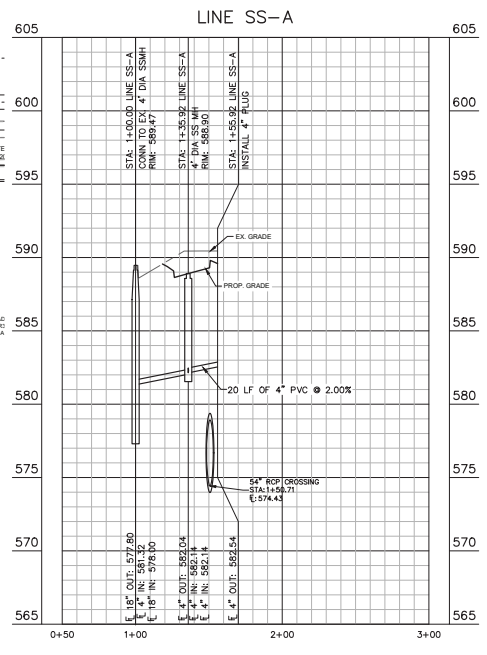
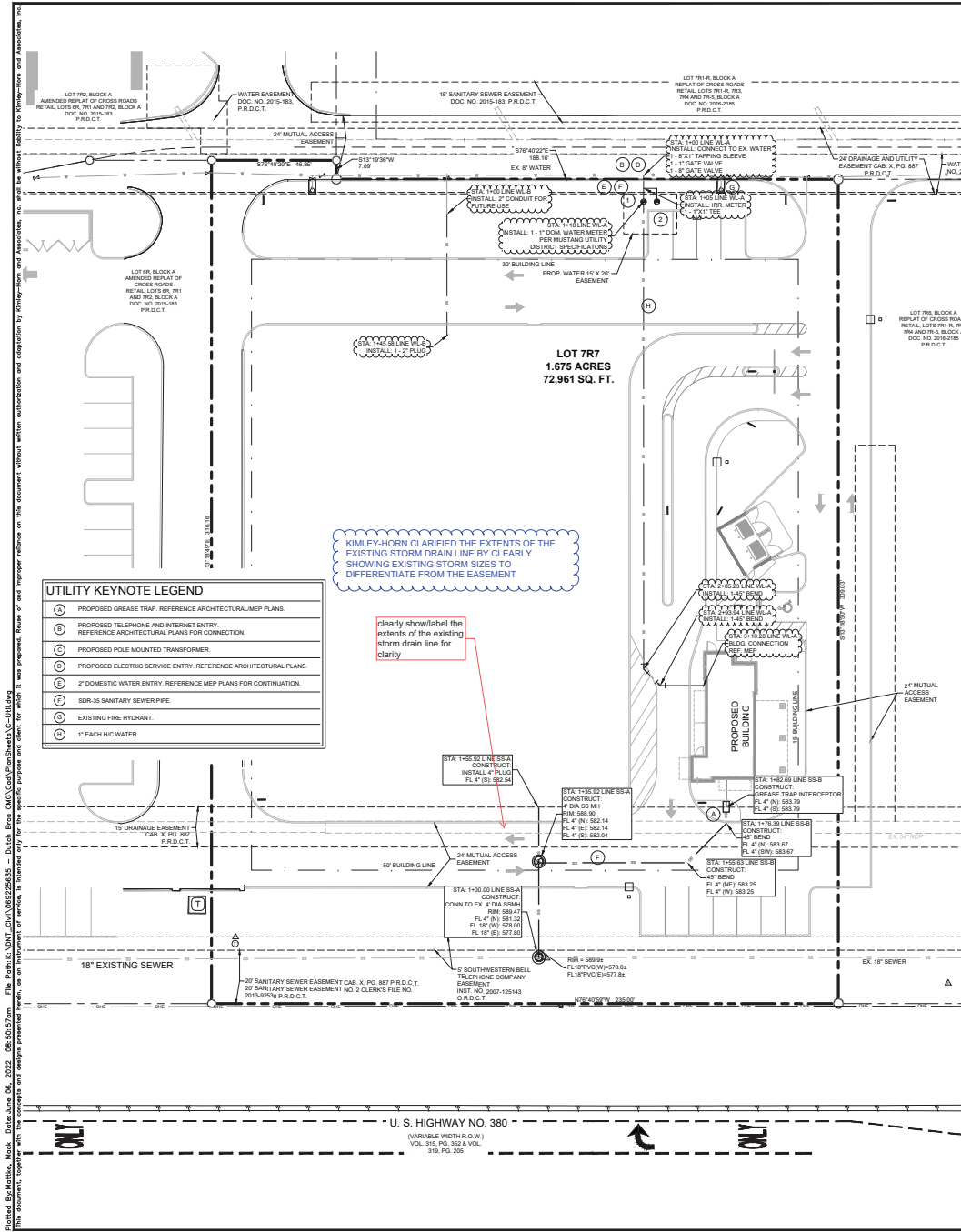
DUTCH BROS COFFEE
CROSS ROADS RETAIL
LOTS 7R6 & 7R7, BLOCK A
CROSS ROADS, TEXAS

C6.5

NO.	REVISIONS	DATE

Kimley»Horn
 100 WEST OAK STREET, SUITE 200, DENTON, TX 76201
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 TEXAS REGISTERED ENGINEERING FIRM #28

PRELIMINARY



LEGEND

- PROPERTY LINE
- SETBACK LINE
- PROPOSED EASEMENT
- PROPOSED SANITARY SEWER LINE
- PROPOSED WATER LINE
- PROPOSED STORM SEWER LINE
- PROPOSED FIRE LINE
- EXISTING OVERHEAD POWER LINE
- EXISTING CABLE LINE
- EXISTING GAS LINE
- EXISTING WATER LINE
- EXISTING SANITARY SEWER LINE
- PROPOSED SANITARY SEWER MANHOLE (SS MH)
- PROPOSED DOUBLE CLEAN-OUT
- PROPOSED CLEAN-OUT
- PROPOSED FIRE HYDRANT (FH)
- PROPOSED FIRE DEPARTMENT CONNECTION (FDC)
- PROPOSED WATER METER
- PROPOSED WATER VALVE
- PROPOSED TEE
- PROPOSED BEND
- PROPOSED REDUCER
- PROPOSED LIGHT POLE
- EXISTING POWER POLE
- EXISTING LIGHT POLE
- EXISTING FIRE HYDRANT
- EXISTING STORM MANHOLE
- EXISTING SAN. SWR. MANHOLE
- EXISTING SIGN

- ### UTILITY NOTES
- SEE MEP PLANS FOR ALL UTILITY CONNECTIONS INTO BUILDING.
 - WATER AND SEWER LINES SHALL STUB 5 FEET FROM BUILDING FOR SERVICE CONNECTIONS UNLESS OTHERWISE NOTED.
 - A FIVE FOOT CLEARANCE SHALL BE MAINTAINED AROUND ALL FIRE HYDRANTS.
 - REFER TO DETAILS FOR WATER METER, METER BOX, FIRE HYDRANTS, VALVES, VALVE BOXES AND SERVICE INSTALLATION.
 - REFER TO DETAILS FOR SANITARY SEWER MANHOLE REQUIREMENTS.
 - REFER TO DETAILS FOR TRENCHING, BEDDING, BACK FILL, AND SLOPE CONNECTION REQUIREMENTS.
 - WATER AND SANITARY SEWER PIPE SHALL BE CONSTRUCTED OF SLIP-ON OR MECHANICAL JOINT CAST OR DUCTILE IRON PIPE, ASBESTOS-CEMENT PRESSURE PIPE, PRECASTED CONCRETE PIPE, OR PVC PIPE.
 - PVC SLEEVES SHALL CONSIST OF 2" SCHEDULE 40 PVC CONDUITS, BURIED 2 MIN. BELOW FINISHED GRADE. SLEEVES SHALL EXTEND A MINIMUM OF 2 FEET BEYOND PAVING.

WATER METER & SEWER SCHEDULE

ID	TYPE	SIZE	NO.	SEWER
1	DOMESTIC	1"	1	4"
2	IRRIGATION	1"	1	---

811
Know what's below.
Call before you dig.

THE CONTRACTOR SHALL VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION AND SHALL NOTIFY THE CONTRACTING MANAGER AND ENGINEER OF ANY CONFLICTS DISCOVERED. CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING UTILITIES SHOWN OR NOT SHOWN WITHIN SCOPE OF CONSTRUCTION. IF ANY EXISTING UTILITIES ARE DAMAGED, THE CONTRACTOR SHALL REPLACE THEM AT HIS OWN EXPENSE. CALL 811 AT LEAST 72 HOURS PRIOR TO COMMENCING CONSTRUCTION ON ANY LOT.

DATE: 06/06/2022

PROJECT NO: 062225635

SHEET NUMBER: C7.0

Kimley»Horn

100 WEST OAK STREET, SUITE 200, DENTON, TX 76201

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TEAMSREGISTEREDENGINEERING FIRM #028

PRELIMINARY

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SCALE: AS SHOWN

DESIGNED BY: [Name]

DRAWN BY: [Name]

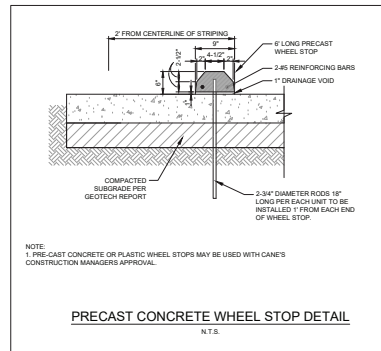
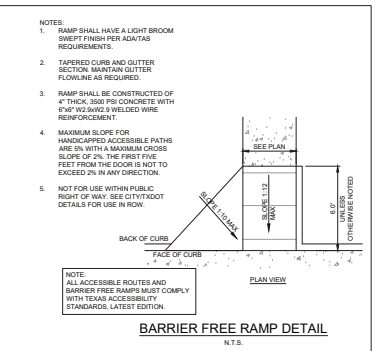
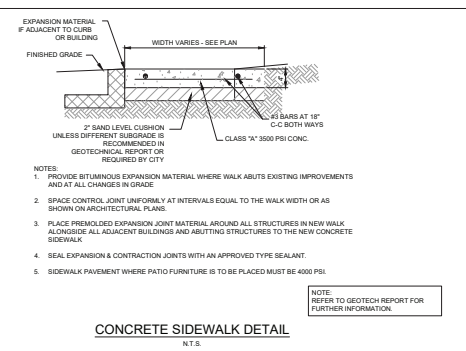
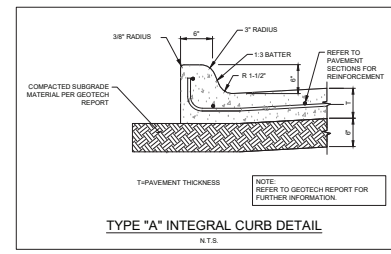
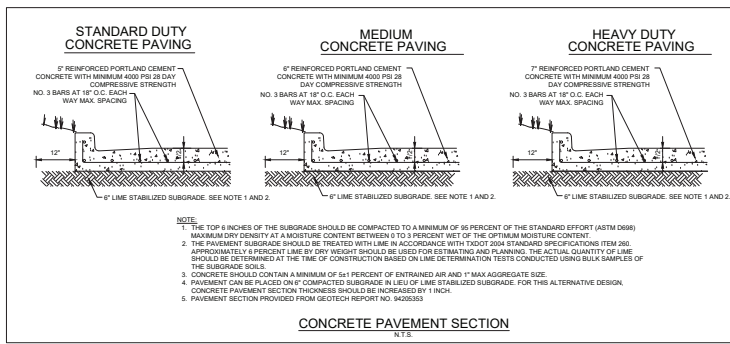
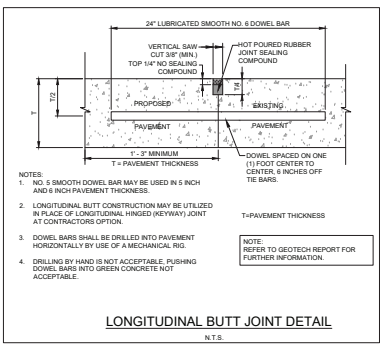
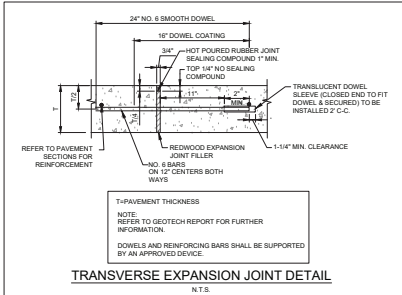
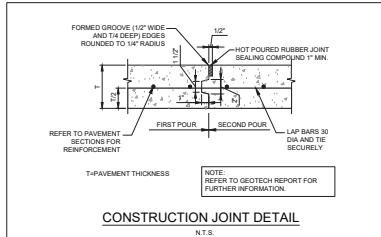
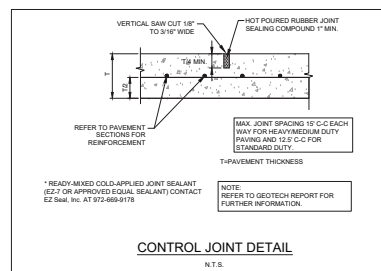
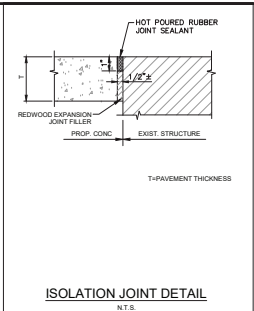
CHECKED BY: [Name]

APPROVED BY: [Name]

UTILITY PLAN

DUTCH BROS COFFEE
CROSS ROADS RETAIL
LOTS 7R6 & 7R7, BLOCK A
CROSS ROADS TEXAS

Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc. in the event of any error or omission in the drawings or specifications prepared by Kimley-Horn and Associates, Inc. which is caused by any error or omission in the information or data furnished to Kimley-Horn and Associates, Inc. by the client or any other person. Kimley-Horn and Associates, Inc. shall not be responsible for any error or omission in the drawings or specifications prepared by Kimley-Horn and Associates, Inc. which is caused by any error or omission in the information or data furnished to Kimley-Horn and Associates, Inc. by the client or any other person.



NOTE:
TOWN OF CROSSROADS DETAILS TAKE PRECEDENCE IN CITY R.O.V. AND EASEMENTS

811

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THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION AND SHALL NOTIFY THE CONSTRUCTION MANAGER AND ENGINEER OF ANY CONFLICTS DISCOVERED. CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING UTILITIES SHOWN OR NOT SHOWN WITHIN SCOPE OF CONSTRUCTION. IF ANY EXISTING UTILITIES ARE DAMAGED, THE CONTRACTOR SHALL REPLACE THEM AT HIS OWN EXPENSE. CALL 811 AT LEAST 72 HOURS PRIOR TO COMMENCING CONSTRUCTION IN LOCATIONS

<p>CONSTRUCTION DETAILS</p> <p>DUTCH BROS COFFEE CROSS ROADS RETAIL LOTS TR6 & TR7, BLOCK A CROSS ROADS TEXAS</p>	<p>DATE 06/06/2022</p> <p>PROJECT NO. 069225635</p> <p>SHEET NUMBER C8.0</p>
<p>SCALE AS SHOWN</p> <p>DESIGNED BY DRAWN BY CHECKED BY DATE</p>	<p>REVISIONS</p> <p>NO.</p> <p>DATE</p>

Kimley-Horn

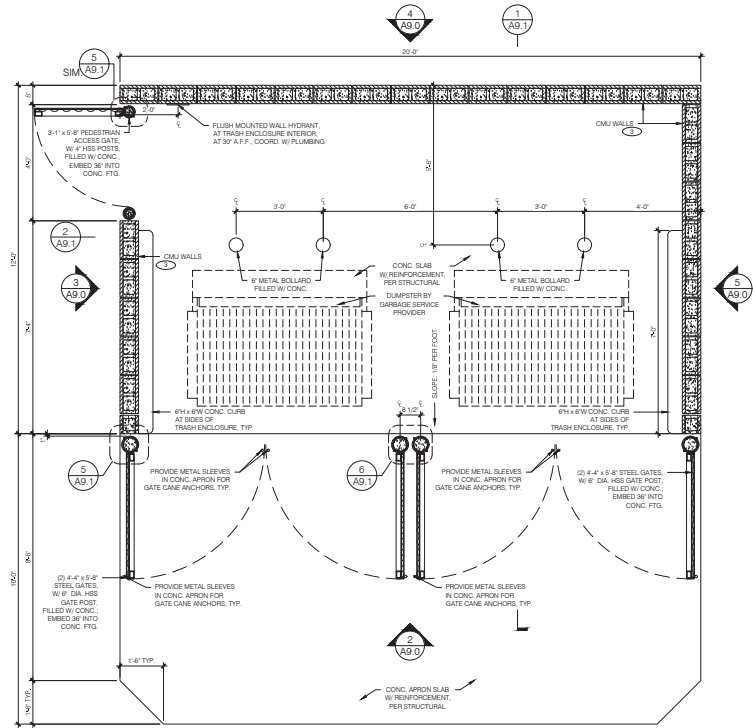
PRELIMINARY

Kimley-Horn

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WWW.KIMLEY-HORN.COM
TEXAS REGISTERED ENGINEERING FIRM #28

Project: 06-2022-08-01-000000 - City of Denton, TX - 5110 E. Highway 78, Denton, TX 76201. This drawing is the property of Kimley-Horn and Associates, Inc. and shall remain the property of Kimley-Horn and Associates, Inc. No part of this drawing may be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Kimley-Horn and Associates, Inc.

ID	MATERIAL	MANUFACTURER	COLOR	NOTES
3	CMU BLOCK	WILLAMETTE-GRAYSTONE	CHARCOAL	SPRIT FACE, 4" TIME #4@8 AS NECESSARY
	CMU CAP	WILLAMETTE-GRAYSTONE	CHARCOAL	3"X16"
PS-2	PAINT	SHERWIN-WILLIAMS	-	BLOCK OR DARK GRAY, GATES BODY
PS-3	PAINT	SHERWIN-WILLIAMS	-	BLOCK OR BLUE, GATE FRAMES & POSTS



1 TRASH ENCLOSURE PLAN
SCALE: 1/2" = 1'-0"

NOTE:
TOWN OF CROSSROADS DETAILS TAKE PRECEDENCE IN CITY R.O.W. AND EASEMENTS

Know what's below.
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THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION AND SHALL NOTIFY THE CONSTRUCTION MANAGER AND ENGINEER OF ANY CONFLICTS DISCOVERED. CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING UTILITIES SHOWN OR NOT SHOWN WITHIN SCOPE OF CONSTRUCTION. IF ANY EXISTING UTILITIES ARE DAMAGED, THE CONTRACTOR SHALL REPLACE THEM AT HIS OWN EXPENSE. CALL 811 AT LEAST 72 HOURS PRIOR TO COMMENSING CONSTRUCTION ACTIVITIES.

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PRELIMINARY
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SCALE AS SHOWN
DESIGNED BY
DRAWN BY
CHECKED BY
DATE

CONSTRUCTION DETAILS
TEXAS

DUTCH BROS COFFEE
CROSSROADS RETAIL
LOTS 7R6 & 7R7, BLOCK A
CROSSROADS

DATE: 06/06/2022
PROJECT NO: 069225635
SHEET NUMBER: C8.1

MSUD GENERAL NOTES

- All construction shall be in accordance with the standard specifications of Mustang Special Utility District, which has also adopted the latest edition of the "Standard Specifications For Public Works Construction - North Central Texas" herein referred to as "NCTCOG" specifications. Copies may be obtained from the North Central Texas Council of Governments, 616 SW Plaza Drive, Suite 200, Arlington, Texas 76011.
- When specified name brands are indicated, products of equal or better may be substituted for approval upon submittal of all supporting data to the MSUD Engineer for review.
- The contractor shall provide for temporary 3" C&G Mix Asphalt Concrete as per NCTCOG Item 503 to be placed over all vehicular traveled areas and the final improvements as per these drawings.
- All newly installed pipes and fittings must conform to American National Standards Institute/National Sanitation Foundation (ANSI/NSF) Standard 61 and must be certified by an independent organization accredited by ANSI.
- The wastewater and locations of all underground utilities shown on the drawings were obtained from available records and are approximate. Neither the engineer nor the engineer assumes any other underground utilities not shown or not in the location shown. The contractor shall determine the depth and location of existing underground utilities prior to trenching and shall be required to take any precautionary measures to protect all lines above and/or any other underground utilities not shown or not in the location shown.
- Any contractor/subcontractor performing work on his project shall familiarize himself with the site and shall be solely responsible for any damage to existing facilities resulting directly or indirectly from operations. Said existing improvements shall include but not be limited to, storm, ditches, fences, plants, irrigation. Any removal or damage to existing improvements shall be repaired or replaced by the contractor at his expense and shall be approved by the engineer.
- Contractor shall obtain all permits and conduct of construction and operations in accordance with Occupational Safety and Health Administration (OSHA) requirements.
- All construction and materials shall comply with Mustang SUD specifications. Any construction and/or materials not covered in Mustang SUD specifications shall be in accordance with NCTCOG specifications or the AWWA.
- It shall be the contractor's responsibility to provide adequate record drawings to the engineer/Mustang SUD immediately after construction.
- It shall be contractor's responsibility to verify location, elevation and dimensions of adjacent and/or conflicting utilities in advance of construction in order that adjustments can be made to provide adequate clearance, if required. The contractor shall prepare and post public utilities at all times during construction. Any damage to utilities resulting from the contractor's operation shall be repaired at his expense. The engineer shall be notified when proposed facility grades conflict with existing utility grades.
- All materials for water and wastewater shall be creosote. Any exceptions made will be at Mustang's or the Engineer's discretion.

MSUD WATER NOTES

- GENERAL:**
- All water lines and appurtenances shall be constructed in accordance with TCEQ requirements Chapter 290.
 - All water lines shall be designed, manufactured and installed in accordance with current Mustang SUD water standards detail.
 - All pipes and appurtenances shall conform to American National Standards Institute/National Sanitation Foundation (ANSI/NSF) standards of equal or better.
 - All pipes and appurtenances shall be installed in accordance with manufacturer's instruction.
 - Water mains shall be installed in a trench 18 inches deep below the street surface.
 - Fracturing Utility Note: Other utilities such as gas, electric, telephone, cables, etc. shall not be installed in the same trench with water service lines. Other utilities such as gas, electric, telephone, cables, etc. may share the wastewater service line trench provided such utilities are offset a minimum of 2' from the wastewater service line.
- PIPE:**
- All PVC water pipe shall be BLUE in color for potable and PURPLE in color for non-potable.
 - All PVC pipe shall be installed with plastic detector device.
 - Water mains shall be either HDPE 200 or DR18 (Phonax Class 200) Mustang SUD minimum thickness shall be 2.0 inches (AWWA C900-16 DR 14 (Phonax Class 200) for higher pressure applications as determined by Mustang SUD's Engineer). Water mains greater than 12" diameter shall be AWWA C900-16 DR 18 (Phonax Class 200) OR one of the following:
 - Reinforced Concrete Cylinder Pipe (RCCP) C300 pressure class 150 or greater as specified by the Engineer.
 - Double test pipe with Polyprop and cement mortar lining (AWWA C116), minimum class 51 or greater.
 - Embedment For Pipe sizes 12" and smaller, the Embedment shall be as per the MSUD "Pipe Embedment Detail".
 - Compliance:
 - 11.5. The following minimum covers over the waterline is required:
 - 48" of cover over waterlines up to and including 12" diameter.
 - 60" of cover over waterlines larger than 12" diameter.
 - Water mains buried with over 72" of cover shall be approved by the MSUD Engineer.
 - The minimum cover over all water mains is 1 foot, unless approved otherwise by the MSUD Engineer. Approved mains with less than 3.6 feet of cover shall be capped as per the MSUD "Cap Detail".
 - Storage PVC water pipe is allowed to be covered a maximum of 6 (6) months without cover. Thereafter all pipe shall be capped or kept away from sunlight and to be protected from other elements.
 - The Contractor is responsible to install the pipe in a way that the entry on the pipe is installed on the side and is readable from the top of the ditch.
 - All ductile iron pipe, fittings and restraints shall be manufactured domestically.
 - All ductile iron pipe, fittings, valves, etc. shall be encased with polyethylene wrap 8 mils thick.
 - The pipe shall have beveled or chamfered ends according to manufacturer's recommendations when using MJJ fittings.
 - When PVC water pipe is installed in casing, casing spacers shall be used to prevent damage to the pipe and bedding during installation. PVC pipe shall not rest on the balls. Plastic spacers such as FRAC or approved wood shall be used.
 - Pipe shall be handled so as to protect pipe and pipe joints and carefully bedded to provide continuous bearing and prevent uneven settlement. Pipe shall be protected against flotation at all times. Open ends of installed pipe shall be sealed at all times when construction is not in progress.

FITTINGS:

- The Contractor shall use cast iron or ductile iron fittings, complete with Polyprop.
- All fittings shall be MJJ unless specified otherwise.
- All fittings shall be blocked per the MSUD Water Standard Detail.
- Tapping sleeves shall be ductile iron and manufactured by Mueller, Tyler, Texas or approved equal.
- Please also refer to NCTCOG Item 503.2.3 specifications.
- The use of 50' bends in water mains is prohibited without approval of MSUD Engineer. Two 45' bends are allowed.
- Install 12"x12" concrete blocks under fittings installed on PVC pipe.
- Restrained joints such as Mega-Lug or equal are required at all fittings.
- All ductile iron fittings and restraints shall be manufactured domestically.

VALVES:

- Valves installed on waterlines 12" in diameter or less shall be vertical globe valves.
- Valves installed on waterlines larger than 12" in diameter shall be butterfly valves.
- All globe valves shall have non-rising stems and installed sealed.
- All globe valves shall be installed with riser pipe to be painted blue in color.
- All valves and fire hydrants shall be in line with the property line, when possible.
- All valve locations shall be marked with "V" stamped or cut on the curb.
- Install 12"x12" concrete blocks under valves installed on PVC pipe.
- Contractor to provide extensions for all valve stems and fire hydrant heads for all water lines deeper than 48" depth.

TESTING:

- Hydrostatic test as per NCTCOG Item 505.5 specifications shall be performed.
- Water systems shall be disinfected in accordance with American Water Works Association (AWWA) C651 (current edition) and then flushed and sampled before being passed to users. Samples shall be collected in accordance with MSUD SUD testing requirements.
- All temporary test points to have connection stops at the main. All temporary testing and instrumentation points shall be removed in the restoration step prior to final acceptance.
- The Contractor shall take a sample of water from a tap on a sterilized main in the presence of a MSUD Representative and submit the sample(s) to an approved Testing Laboratory or analyzer. After receiving approved samples, the Contractor, along with MSUD Representative, shall take a sample of water into service.
- All fire hydrants shall be low and pressure resistant marked (tag and color code) pairs in accordance with NFPA 291 (Recommended Practice for Fire Flow Testing and Marking of Hydrants)' latest edition. Copies of each test report for each fire hydrant, including a map showing the location of the fire hydrant being low tested and the location of the pressure hydrant, shall be provided to Mustang SUD prior to acceptance of the system and the completion of service. See WATER STANDARD DETAILS (1) OF 2 FOR Fire Hydrant Flow Test Report form.

MSUD WASTEWATER NOTES:

- GENERAL:**
- All wastewater lines and appurtenances shall be constructed in accordance with TCEQ requirements Chapter 217.
 - All wastewater lines shall be designed, manufactured and installed per Mustang SUD wastewater standard details.
 - All pipes and appurtenances shall be tested in accordance with manufacturer's instruction.
 - Wastewater systems shall be tested in accordance with TCEQ for allowable leakage and pipe deflection before being placed in service. Test results shall be provided to Mustang SUD.
 - All wastewater manholes, manholes, man pits, and force-main-to-gravity transition manholes shall be lined with Goulet ultra-high build epoxy or approved equal.
 - All force main ductile iron pipe and fittings shall be lined with Protecto 401 (P401) orange epoxy or approved equal.
 - Fracturing Utility Note: Other utilities such as gas, electric, telephone, cables, etc. may share the wastewater service line trench provided such utilities are offset a minimum of 2' from the wastewater service line.
 - All structures shall be accomplished by the removal bedding of the pipe lengths in the trench. Mechanical means will not be allowed to accomplish design calls. No reflections of joints will be allowed.
 - All ductile iron pipe, fittings, valves, etc. shall be encased with polyethylene wrap 8 mils thick.
 - All ductile iron pipe, fittings and restraints shall be manufactured domestically.
 - All gravity main fittings shall be rubber gasket push on type.

PIPE:

- All PVC pipe shall be installed with metallic detector pipe.
- All PVC gravity or pressure wastewater pipe shall be green in color.
- Wastewater mains shall be Polymer Concrete PVC SDR35 for depths of burial up to 11.5'. Wastewater mains placed deeper than 11.5' shall be PVC SDR26 unless specified and approved otherwise by the MSUD Engineer.
- For cross coverings, the pipe shall be ductile iron Class 50.
- Normal diameter for sanitary sewer pipeline shall be 6" minimum. Residential and commercial service lines are excluded from this requirement.
- Embedment shall be as per the "Wastewater Pipe Embedment Detail" on this sheet.
- The minimum cover over all Wastewater mains is 1 foot, unless approved otherwise by the MSUD Engineer. Approved mains with less than 3.6 feet of cover shall be capped as per the "Cap Detail" on this sheet.
- Open cut-off walls shall be constructed as per the details and specifications on this sheet.
- PVC wastewater pipe is allowed to be covered a maximum of six (6) months without cover. Thereafter all pipe shall be covered or kept away from sunlight and protected from other elements.
- When PVC wastewater pipe is installed in casing, casing spacers shall be used to prevent damage to the pipe and bedding during installation. PVC pipe shall not rest on the balls. Plastic spacers such as FRAC or approved wood shall be used.
- Pipe shall be handled so as to protect pipe and pipe joints and carefully bedded to provide continuous bearing and prevent uneven settlement. Pipe shall be protected against flotation at all times. Open ends of installed pipe shall be sealed at all times when construction is not in progress.

WASTEWATER SERVICE NOTES:

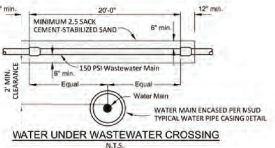
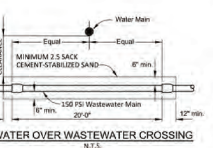
- All property corners shall be staked with iron pins prior to the installation of any wastewater service. The location of the wastewater service shall be staked according to the plans.
- Wastewater services by 18" minimum diameter shall be in the curb and painted green.
- Contractor shall install locator posts or balls on the end of service lines.

TESTING:

- The following tests shall be performed and a written report provided to Mustang SUD:
 - Testing as per NCTCOG Item 507.5.2 specifications. Camera shall be used to show service connections.
 - Low pressure air leakage as per TCEQ 31 TAC 217.67
 - Mandrel collection test as per TCEQ 31 TAC 217.67
 - Inflow/Infiltration test as per TCEQ 31 TAC 217.67
 - Manholes shall be lined with per TCEQ 31 TAC 217.68
 - Provide final test and clean prior to project acceptance or final walk through.

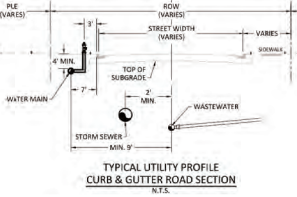
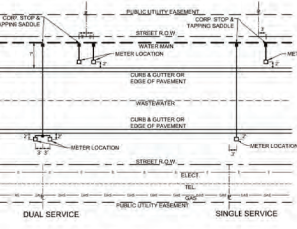
SYSTEM DESIGN VALUES:

- WATER:**
- Average Day Demand = 288 gpd/connection
 Maximum Day Demand = 8 gpm
 Peak Hour Demand = 1032 gpm
 Single Family Residential = 4.2 people per unit
 Multi-Family Residential = 2.25 people per unit
- WASTEWATER:**
- SF Average Day Generation = 295 gpd/connection
 MF Average Day Generation = 175 gpd/connection
 SF Maximum Day Generation = 1300 gpd/connection
 MF Maximum Day Generation = 700 gpd/connection
 Single-Family Residential = 4.2 people per unit
 Multi-Family Residential = 2.25 people per unit



- NOTES:**
- WHERE A WATER MAIN CROSSES A WASTEWATER MAIN OR LATERAL AND NINE FOOT SEPARATION CANNOT BE ACHIEVED, A FULL JOINT (20") OF PRESSURIZED PVC PIPE (150 PSI MIN.) SHALL BE USED ON THE WASTEWATER MAIN OR LATERAL, CENTERED ABOUT THE WATER MAIN.
 - ADDITIONALLY, WHERE A WASTEWATER MAIN CROSSES OVER A WATER MAIN, AND NINE FOOT SEPARATION CANNOT BE ACHIEVED, THE WATER MAIN SHALL BE INCASED IN AN 18 FOOT (OR LONGER) SECTION OF PIPE CENTERED ABOUT THE WASTEWATER MAIN.

NOTE: TOWN OF CROSSROADS DETAILS TAKE PRECEDENCE IN CITY OF D.M. AND EASEMENTS



NO.	REVISION	BY	DATE

Mustang Special Utility District

APPROVED BY MSUD
 GENERAL MANAGER, C. BOYD DATE: 2020-09-14

GENERAL NOTES

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 TEXAS REGISTERED ENGINEERING FIRM #208

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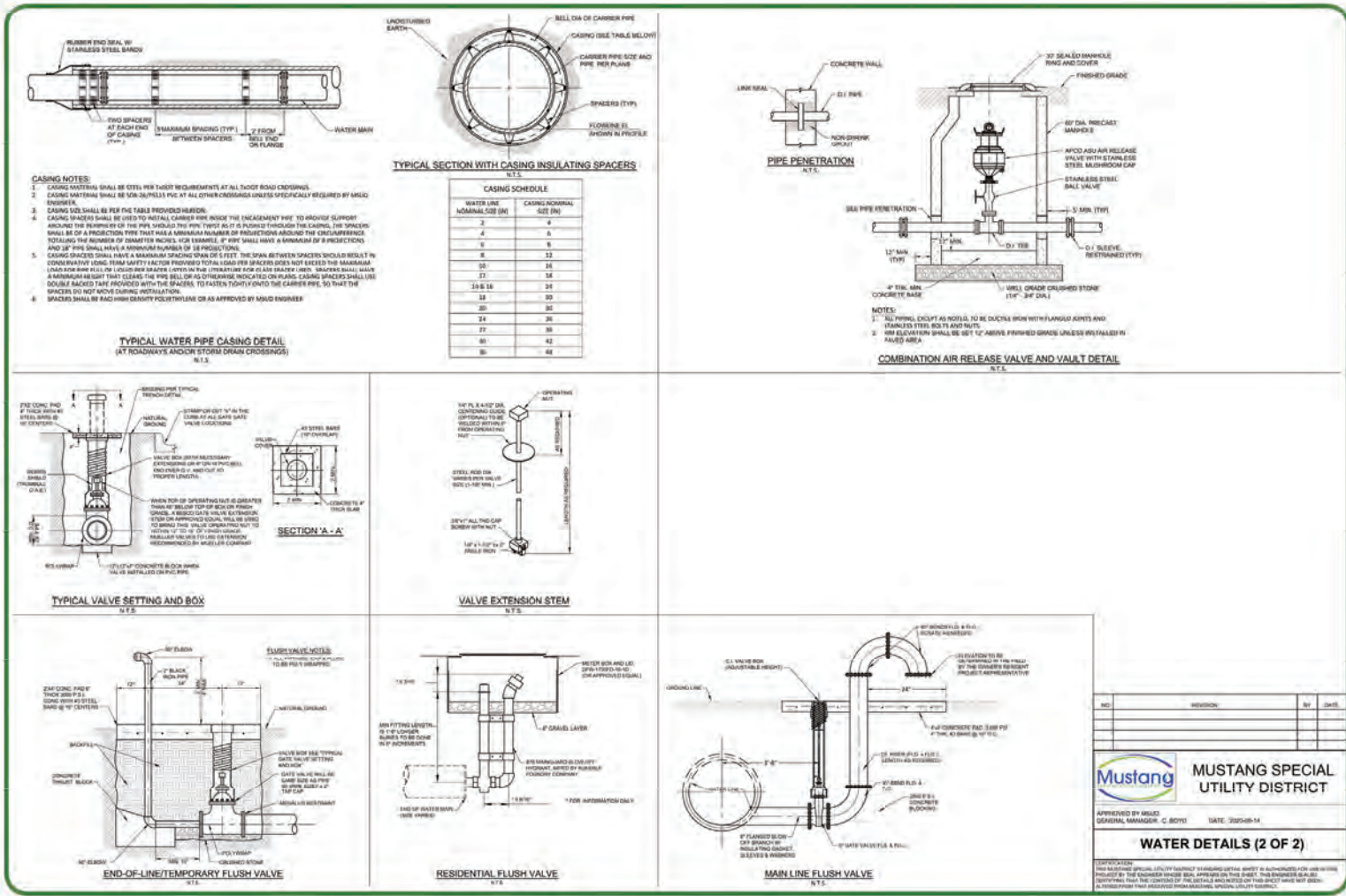
MUSTANG SPECIAL UTILITY DISTRICT DETAILS
 TEXAS

DUTCH BROS COFFEE CROSSROADS RETAIL
 LOTS TR6 & TR7, BLOCK A
 CROSSROADS

DATE: 05/06/2022
 PROJECT NO: 06225936
 SHEET NUMBER: **C9.0**

Mustang Special Utility District - Revision 06 - 2022 - 06-10-2022 - On the left side of the drawing is the project name and the drawing title. On the right side of the drawing is the project name and the drawing title. The drawing is a standard detail sheet for the town of Crossroads. The drawing is a standard detail sheet for the town of Crossroads.

MUSTANG SPECIAL UTILITY DISTRICT, 1000 WEST 30TH STREET, SUITE 200, DENTON, TX 76201
 PHONE: (817) 381-7300 FAX: (817) 381-7301
 WWW.MUSTANGSPECIALUTILITYDISTRICT.COM
 MUSTANG SPECIAL UTILITY DISTRICT, 1000 WEST 30TH STREET, SUITE 200, DENTON, TX 76201
 PHONE: (817) 381-7300 FAX: (817) 381-7301
 WWW.MUSTANGSPECIALUTILITYDISTRICT.COM



MUSTANG SPECIAL UTILITY DISTRICT
 APPROVED BY AMLUC GENERAL MANAGER: C. BOYD DATE: 3/20/2022

NO.	REVISION	BY	DATE

WATER DETAILS (2 OF 2)

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THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION AND SHALL NOTIFY THE CONSTRUCTION MANAGER AND ENGINEER OF ANY CONFLICTS DISCOVERED. CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING UTILITIES SHOWN OR NOT SHOWN WITHIN SCOPE OF CONSTRUCTION. IF ANY EXISTING UTILITIES ARE DAMAGED, THE CONTRACTOR SHALL REPLACE THEM AT HIS OWN EXPENSE. CALL 811 AT LEAST 72 HOURS PRIOR TO COMMENCING CONSTRUCTION OR LOCATED.

NOTE:
 TOWN OF CROSSROADS DETAILS TAKE PRECEDENCE IN CITY O.D.V. AND EASEMENTS

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MUSTANG SPECIAL UTILITY DISTRICT
UTILITY DISTRICT DETAILS
 TEXAS

DUTCH BROS COFFEE
CROSS ROADS RETAIL
 LOTS 7R6 & 7R7, BLOCK A
 CROSS ROADS

DATE: 06/09/2022
 PROJECT NO: 069225635
 SHEET NUMBER: C9.2

MUSTANG SPECIAL UTILITY DISTRICT DETAILS
 DATE: 08/21/2022
 FILE: 08/21/2022
 PROJECT: 06225635
 SHEET: C9.3
 DRAWN BY: J. B. HARRIS
 CHECKED BY: J. B. HARRIS
 DESIGNED BY: J. B. HARRIS
 SCALE: AS SHOWN
 MUSTANG SPECIAL UTILITY DISTRICT
 100 WEST OAK STREET, SUITE 200, DENTON, TX 76201
 WWW.KIMLEY-HORN.COM
 TEAM REGISTERED ENGINEERING FIRM #08

WASTEWATER PIPE LINE EMBEDMENT DETAIL PVC SDR-26 & SDR-35

NORMAL SIZE OF PIPE IN INCHES	O.D. OF PIPE IN INCHES (PVC-SDR26)	MINIMUM TRENCH WALL CLEARANCE "A" IN INCHES	WIDTH OF TRENCH (X) IN INCHES		WIDTH OF PUMP REPLACEMENT "Y" (W/ CONC. & ASPHALT) IN INCHES
			MAXIMUM	MINIMUM	
4	4.67	8	24	18	42
6	6.74	8	24	18	48
8	8.86	8	24	21	48
10	11.27	8	28	21	48
12	13.27	8	30	24	50
15	16.40	8	33	27	52
18	20.73	8	43	27	57
24	24.43	8	48	33	66
30	32.21	8	58	43	88
36	38.61	8	63	47	97

NOTE: REFER TO THIS PLAN FOR SPECIFIED WIDTH OF REPLACEMENT.
 * RECOMMENDED WIDTHS - VARIES BASED ON DEPTH AND SOIL MATERIAL.

TABLE OF DIMENSIONS FOR WIDTH OF TRENCH AND PAVEMENT REPLACEMENT

GASKETED SEWER FITTING FOR SEWER SERVICE CONNECTIONS TO EXISTING MAINS

SECTION A-A

STANDARD WASTEWATER SERVICE CONNECTION

WASTEWATER SERVICE CLEAN-OUT DETAIL

STANDARD DEEP CUT CONNECTION

CLAY CUT-OFF WALL

WASTEWATER STANDARD DETAILS (1 OF 2)

APPROVED BY: MILES GENERAL MANAGER
 DATE: 7/27/2020

MUSTANG SPECIAL UTILITY DISTRICT

APPROVED BY: CHRIS BOYD
 DATE: 7/27/2020



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THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION AND SHALL NOTIFY THE CONTRACTOR MANAGER AND ENGINEER OF ANY CONFLICTS DISCOVERED. CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING UTILITIES SHOWN OR NOT SHOWN WITHIN SCOPE OF CONSTRUCTION. IF ANY EXISTING UTILITIES ARE DAMAGED, THE CONTRACTOR SHALL REPLACE THEM AT HIS OWN EXPENSE. CALL 811 AT LEAST 72 HOURS PRIOR TO COMMENCING CONSTRUCTION ACTIVITIES.

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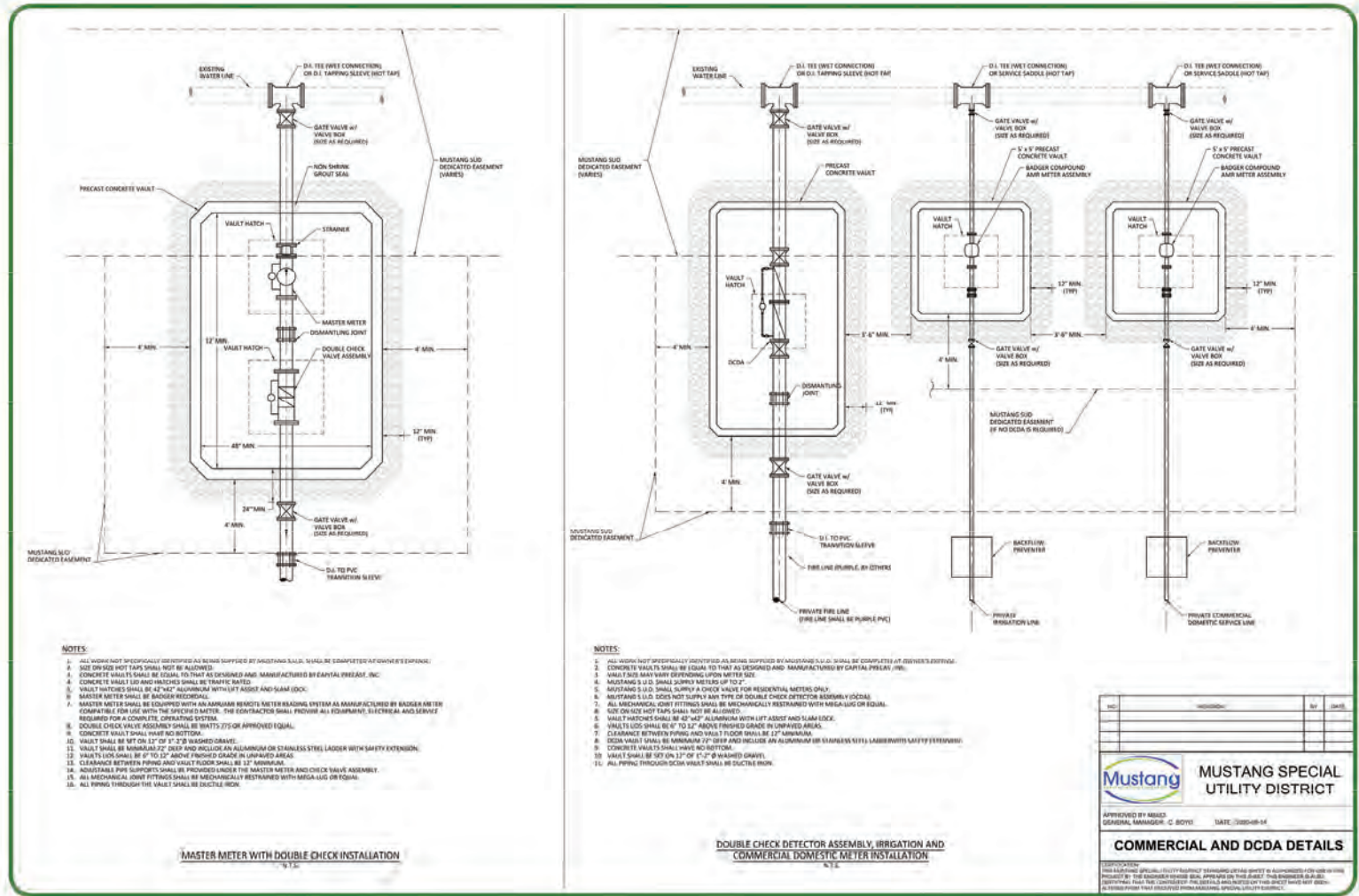
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 DRAWN BY: J. B. HARRIS
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MUSTANG SPECIAL UTILITY DISTRICT DETAILS

DUTCH BROS COFFEE CROSS ROADS RETAIL LOTS 7R6 & 7R7, BLOCK A CROSS ROADS TEXAS

DATE: 06/09/2022
 PROJECT NO: 06225635
 SHEET NUMBER: C9.3

Mustang Special Utility District, 1000 West Oak Street, Suite 200, Denton, TX 76201. Phone: 940.383.1111. Fax: 940.383.1112. Email: info@mustangspecialutility.com. Website: www.mustangspecialutility.com. Mustang Special Utility District is a public utility district organized by Chapter 49A, Article 3, Section 4.01, Texas Government Code, and is subject to the provisions of Chapter 49A, Article 3, Section 4.01, Texas Government Code. Mustang Special Utility District is a public utility district organized by Chapter 49A, Article 3, Section 4.01, Texas Government Code, and is subject to the provisions of Chapter 49A, Article 3, Section 4.01, Texas Government Code.



NOTES:

1. ALL WORK NOT SPECIFICALLY IDENTIFIED AS BEING SUPPLIED BY MUSTANG S.U.D. SHALL BE COMPLETED AT OWNER'S EXPENSE.
2. SIZE OF PIPE NOT SHOWN SHALL NOT BE ALLOWED.
3. CONCRETE VALVE BOXES SHALL BE EQUAL TO THAT AS DESIGNED AND MANUFACTURED BY CAPITAL PRECAST, INC.
4. CONCRETE VALVE BOXES AND FITTINGS SHALL BE TRAFFIC RATED.
5. VALVE FITTINGS SHALL BE 42" ALUMINUM WITH 1/2" AIR-GIT AND SLAM LOCK.
6. MASTER METER SHALL BE BADGER RECORDER.
7. MASTER METER SHALL BE EQUIPPED WITH AN ALUMINUM REMOTE METER READING SYSTEM AS MANUFACTURED BY BADGER AIR METER COMPANY FOR USE WITH THE SPECIFIC METER. THE CONTRACTOR SHALL PROVIDE ALL EQUIPMENT, ELECTRICAL AND SERVICE REQUIRED FOR A COMPLETE OPERATING SYSTEM.
8. DOUBLE CHECK VALVE ASSEMBLY SHALL BE BRATTO 275 OR APPROVED EQUAL.
9. CONCRETE VALVE SHALL HAVE NO BOTTOM.
10. VALVE SHALL BE 18" OR 24" BORED CHAMFER.
11. VALVE SHALL BE MINIMUM 27" DEEP AND INCLUDE AN ALUMINUM OR STAINLESS STEEL LADDER WITH SAFETY EXTENSION.
12. VALVE LIDS SHALL BE 6" TO 12" ABOVE FINISHED GRADE IN UNPAVED AREAS.
13. CLEARANCE BETWEEN PIPING AND VALVE FLOOR SHALL BE 12" MINIMUM.
14. SCHEDULE 40 PIPE SUPPORTS SHALL BE PROVIDED UNDER THE MASTER METER DOUBLE CHECK VALVE ASSEMBLY.
15. ALL MECHANICAL JOINT FITTINGS SHALL BE MECHANICALLY RESTRAINED WITH WEDGE LUG OR EQUAL.
16. ALL PIPING THROUGH THE VALVE SHALL BE DUCTILE IRON.

NOTES:

1. ALL WORK NOT SPECIFICALLY IDENTIFIED AS BEING SUPPLIED BY MUSTANG S.U.D. SHALL BE COMPLETED AT OWNER'S EXPENSE.
2. CONCRETE VALVE SHALL BE EQUAL TO THAT AS DESIGNED AND MANUFACTURED BY CAPITAL PRECAST, INC.
3. VALVE SIZE MAY VARY DEPENDING UPON METER SIZE.
4. MUSTANG S.U.D. SHALL SUPPLY METERS UP TO 2".
5. MUSTANG S.U.D. SHALL NOT SUPPLY A NEW TYPE OF DOUBLE CHECK DETECTOR ASSEMBLY (DCDA).
6. MUSTANG S.U.D. SHALL NOT SUPPLY A NEW TYPE OF DOUBLE CHECK DETECTOR ASSEMBLY (DCDA).
7. ALL MECHANICAL JOINT FITTINGS SHALL BE MECHANICALLY RESTRAINED WITH WEDGE LUG OR EQUAL.
8. SIZE OF PIPE NOT SHOWN SHALL NOT BE ALLOWED.
9. VALVE FITTINGS SHALL BE 42" ALUMINUM WITH 1/2" AIR-GIT AND SLAM LOCK.
10. DCDA SHALL BE MINIMUM 27" DEEP AND INCLUDE AN ALUMINUM OR STAINLESS STEEL LADDER WITH SAFETY EXTENSION.
11. CLEARANCE BETWEEN PIPING AND VALVE FLOOR SHALL BE 12" MINIMUM.
12. CONCRETE VALVE SHALL HAVE NO BOTTOM.
13. VALVE SHALL BE 18" OR 24" BORED CHAMFER.
14. ALL PIPING THROUGH THE VALVE SHALL BE DUCTILE IRON.

Mustang SPECIAL UTILITY DISTRICT

APPROVED BY: MILES GENERAL MANAGER, C. BOYD DATE: 08/09/2022

COMMERCIAL AND DCDA DETAILS

DESIGNED BY: DATE: 08/09/2022
 DRAWN BY: DATE: 08/09/2022
 CHECKED BY: DATE: 08/09/2022
 IN CHARGE: DATE: 08/09/2022

NOTE: TOWN OF CROSSROADS DETAILS TAKE PRECEDENCE IN CITY R.O.V. AND EASEMENTS

811

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THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION AND SHALL NOTIFY THE CONSTRUCTION MANAGER AND ENGINEER OF ANY CONFLICTS DISCOVERED. CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING UTILITIES SHOWN OR NOT SHOWN WITHIN SCOPE OF CONSTRUCTION. IF ANY EXISTING UTILITIES ARE DAMAGED, THE CONTRACTOR SHALL REPLACE THEM AT HIS OWN EXPENSE. CALL 811 AT LEAST 72 HOURS BEFORE THE COMMENCEMENT OF CONSTRUCTION.

Kimley»Horn

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TEXAS REGISTERED ENGINEERING FIRM #208

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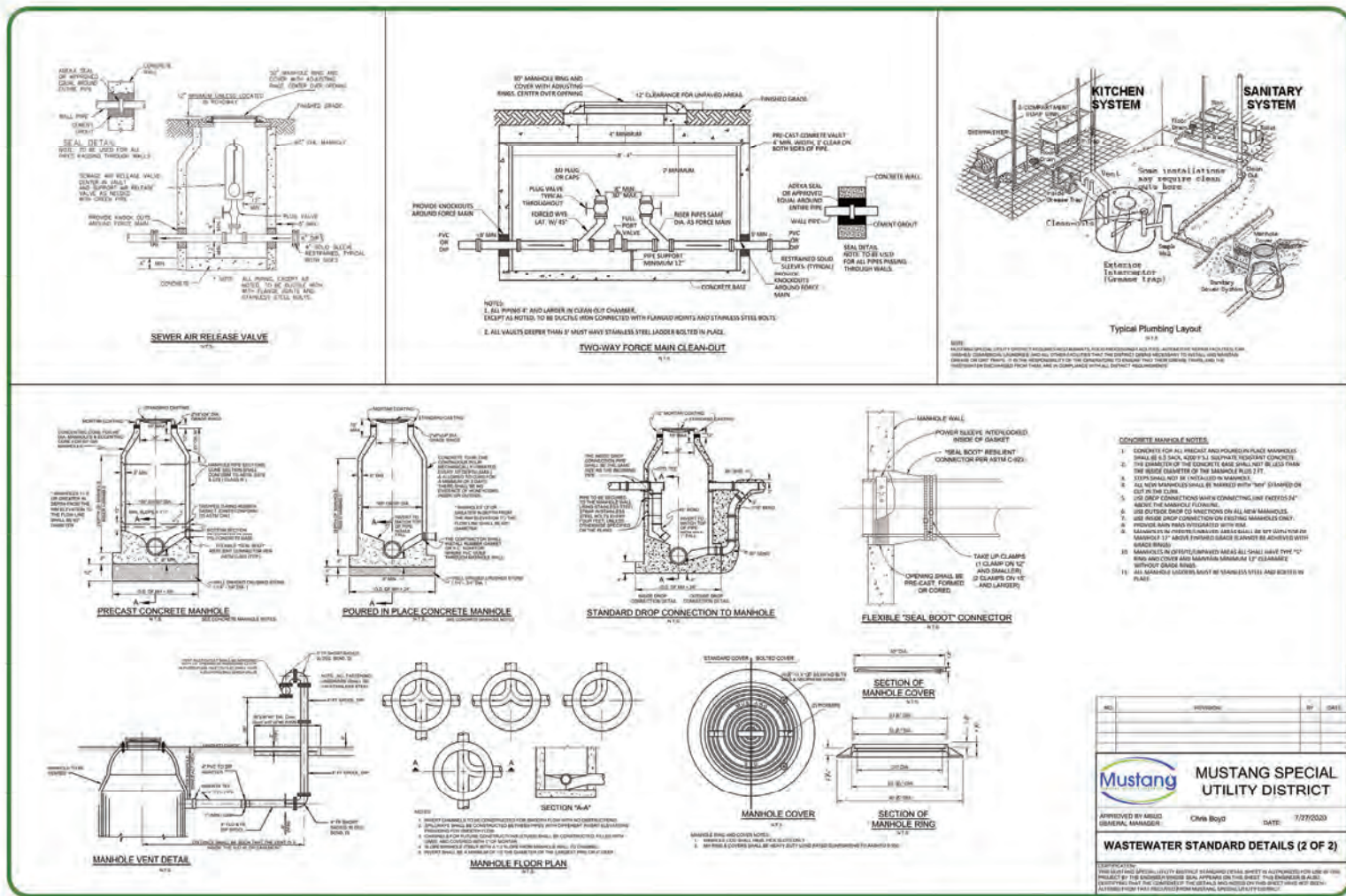
MUSTANG SPECIAL UTILITY DISTRICT DETAILS

DUTCH BROS COFFEE
CROSSROADS RETAIL
LOTS 7R6 & 7R7, BLOCK A
CROSSROADS TEXAS

NO.	REVISIONS	DATE

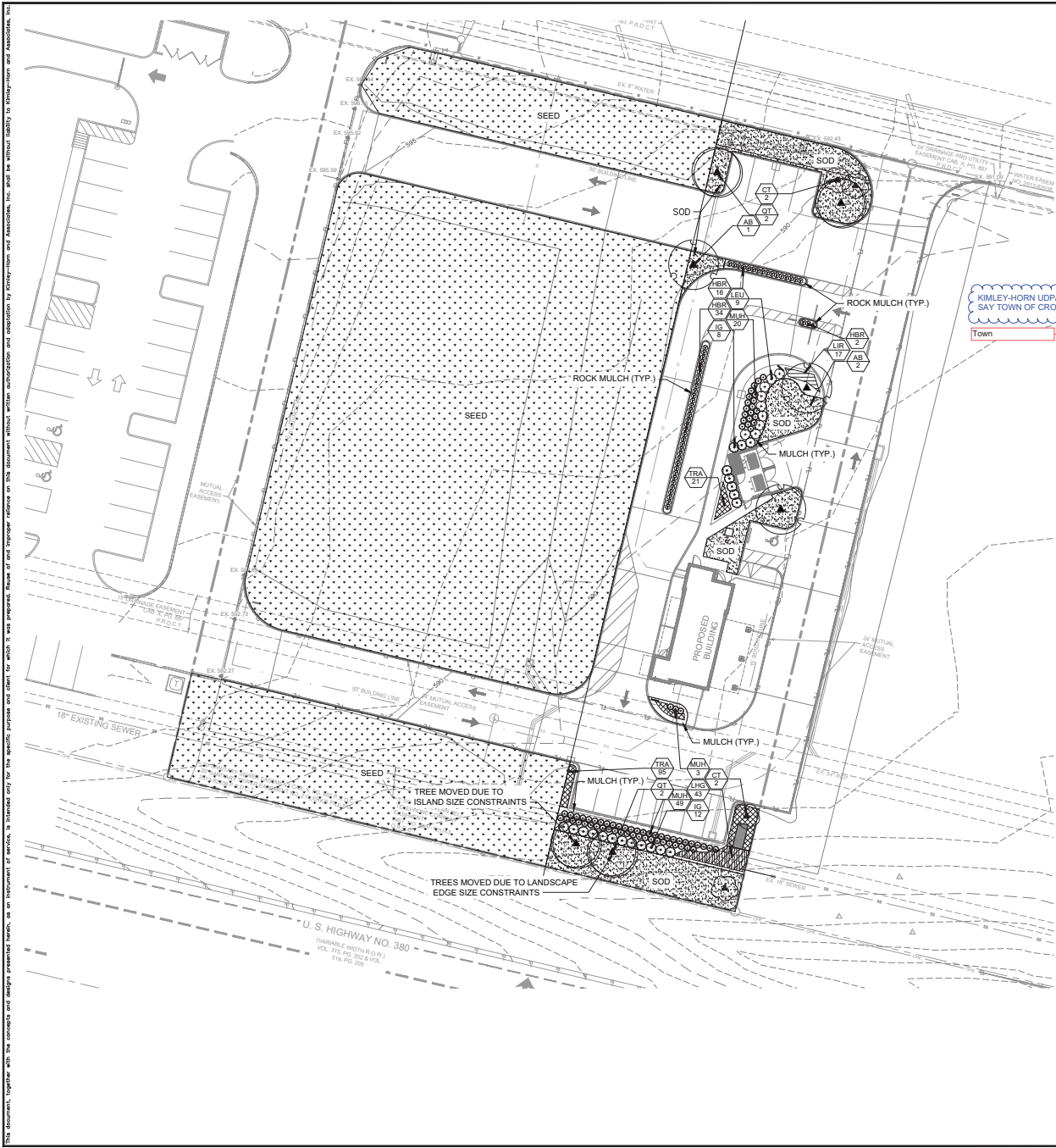
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 PROJECT NO: 069225635
 SHEET NUMBER: C9.4

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THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION AND SHALL NOTIFY THE CONSTRUCTION MANAGER AND ENGINEER OF ANY CONFLICTS DISCOVERED. CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING UTILITIES SHOWN OR NOT SHOWN WITHIN SCOPE OF CONSTRUCTION. IF ANY EXISTING UTILITIES ARE DAMAGED, THE CONTRACTOR SHALL REPLACE THEM AT HIS OWN EXPENSE. CALL 811 AT LEAST 72 HOURS PRIOR TO COMMENCING CONSTRUCTION IN LOCATIONS

SCALE	AS SHOWN	DESIGNED BY	DRAWN BY	CHECKED BY	DATE	REVISED	DATE
MUSTANG SPECIAL UTILITY DISTRICT DETAILS							
WASTEWATER STANDARD DETAILS (2 OF 2)							
DUTCH BROS COFFEE CROSS ROADS RETAIL LOTS TR6 & TR7, BLOCK A CROSS ROADS TEXAS							
DATE: 06/09/2022 PROJECT NO: 069225635 SHEET NUMBER: C9.5							



PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL / COMMON NAME	SPECIFICATIONS	REMARKS
(Symbol)	AB	3	Acer buergerianum / Trident Maple	3" cal. 14" H. 5'-6" spr	Full, Straight, Single Leader
(Symbol)	QT	4	Quercus texana / Texas Red Oak	3" cal. 16" H. 6" spr	Full, Straight, Single Leader
ORNAMENTAL TREE	CODE	QTY	BOTANICAL / COMMON NAME	SPECIFICATIONS	REMARKS
(Symbol)	CT	4	Cercis canadensis / Eastern Redbud	3" cal. 10" H. 5" spr	Full, Single Leader
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	SPECIFICATIONS	REMARKS
(Symbol)	HBR	52	Hesperaloe parviflora 'Basklights' TM / Basklights Red Yucca	18" H. 18" spr. 24" oc	Full
(Symbol)	IG	27	Ilex glabra / hollyberry Holly	24" H. 18" spr. 30" oc	Full. 3 gallon min.
(Symbol)	LEU	9	Leucophyllum frutescens / Texas Sage	36" H. 24" spr. 48" oc	Full
GRASSES	CODE	QTY	BOTANICAL / COMMON NAME	SPECIFICATIONS	REMARKS
(Symbol)	MLH	90	Muhlenbergia capillaris / Pink Muhly	24" H. 30" oc	Full
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	SPECIFICATIONS	REMARKS
(Symbol)	LIR	17	Liriope muscari / Liriope	12" H. 12" spr. 18" oc	Full. 1 gallon min.
(Symbol)	TRA	103	Trisetum spensatum 'Astoid' / Astoid Jawwort	6" H. 8" spr. 18" oc	Full. 1 gallon min.
MISC.	CODE	QTY	BOTANICAL / COMMON NAME	SPECIFICATIONS	REMARKS
(Symbol)	SOD	TBD	Cynodon dactylon / Bermuda Sod	100% Insect/Disease free, laid tight, rolled	
(Symbol)	SE	TBD	Steel Edging	3/16" x 4" black	
(Symbol)	MULCH	TBD	Shredded Hardwood Mulch	3" depth at perimeter planting areas and parking islands	
(Symbol)	ROCK	TBD	Local Sourced Rock	1" - 3" in size	

NOTE: PLANTS ARE SPECIFIED BY HEIGHT AND SPREAD. NOT CONTAINER SIZE. ALL PLANTINGS ARE EXPECTED TO MEET ALL SPECIFICATIONS PROVIDED.

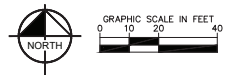
NOTE: PLANT QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. IN THE CASE OF A DISCREPANCY, THE DRAWING SHALL TAKE PRECEDENCE.

CITY OF CROSS ROADS LANDSCAPE REQUIREMENTS:

REQUIRED	PROPOSED
2 LANDSCAPE	2 LANDSCAPE
2 TREES	3 TREES
2 TREES	3 TREES
7 TREES	7 TREES
60% LARGE	64% LARGE
1 OPTION	3 OPTIONS

PLANTING NOTES

- ALL PLANT MATERIAL SHALL BE INSTALLED ACCORDING TO SOUND NURSERY PRACTICES AND SHALL MEET ALL STANDARDS AS STATED IN THE LATEST EDITION OF "NURSERY STANDARDS FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- NO SUBSTITUTIONS IN PLANT MATERIALS SHALL BE MADE WITHOUT WRITTEN AUTHORIZATION FROM OWNER OR LANDSCAPE ARCHITECT. IN THE EVENT OF DISCREPANCIES BETWEEN THE DRAWING AND THE PLANT LIST, THE DRAWING SHALL PREVAIL.
- LOCATE ALL UTILITIES PRIOR TO ANY DIGGING OPERATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES TO EXISTING UTILITIES INCURRED BY HIS WORK.
- REFERENCE IRRIGATION PLAN FOR BED IRRIGATION INFORMATION.
- STAKING AND GUYING ALTERNATIVES: METHODS INDICATED IN DRAWING DETAILS ARE PREFERRED. CONTRACTOR MAY SUGGEST ALTERNATE METHODS, ASSUMING FULL RESPONSIBILITY FOR THEIR IMPLEMENTATION. CONTRACTOR SHALL REPLACE, PLANT, OR UPRIGHT ANY TREES BLOWN OVER OR DAMAGED DUE TO INADEQUATE STAKING AT NO ADDITIONAL COST TO THE OWNER.
- PLANTS MASSED IN BEDS SHALL BE ARRANGED USING TRIANGULAR SPACING.
- PROVIDE A STEEL EDGE OR CONCRETE MOW STRIP BETWEEN ALL PLANTING BEDS AND LAWN AREAS. REFERENCE SITE PLAN.
- ALL PLANTING BEDS TO BE TOP DRESSED WITH A MINIMUM OF 3" SHREDED HARDWOOD MULCH, UNLESS OTHERWISE SPECIFIED.
- PROVIDE GRASS SEEDING OR LAY BERMUDA SOD FOR PROPOSED LAWN AREAS TO ALL EDGES OF PAVEMENT AND/OR LIMITS OF DISTURBANCE OUTSIDE R.O.W. OR PROPOSED LANDSCAPE EASEMENT. PROVIDE IRRIGATION AS NECESSARY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPING UNITS. FINAL ACCEPTANCE. ALL REQUIRED LANDSCAPING SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THE WORK SHALL INCLUDE, BUT NOT BE LIMITED TO, MOVING, EDGING, PRUNING, FERTILIZING, WATERING, WEEDING, AND OTHER SUCH ACTIVITIES COMMON TO THE MAINTENANCE OF LANDSCAPING. ALL PLANT MATERIALS SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS APPROPRIATE FOR THE SEASON OF THE YEAR. PLANT MATERIAL THAT DOES NOT MEET THE PLANT MATERIAL SPECIFICATIONS SHALL BE REPLACED WITH SIMILAR SIZE AND VARIETY.
- CONTRACTOR SHALL MAINTAIN PLANT MATERIAL TO REMAIN ALIVE AND HEALTHY FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE. WARRANTY SHALL NOT INCLUDE DAMAGE FOR LOSS OF PLANT MATERIAL DUE TO NATURAL CAUSES, ACTS OF VANDALISM OR NEGLIGENCE ON THE PART OF THE OWNER.
- ALL DISTURBED AREAS WITHIN LIMITS OF CONSTRUCTION NOT CALLED TO BE SOODED, SHALL BE REESTABLISHED WITH BERMUDA SOD AND IRRIGATED.
- ALL LANDSCAPE BEDS TO HAVE TOPSOIL/BEDDING MIX THAT MEETS LANDSCAPE SPECIFICATIONS. INSTALL TO DEPTHS, PER PLANTING DETAILS (IF DEPTHS MIN.) FINISHED GRADES OF PLANTING BEDS TO BE 2" BELOW FINISHED GRADE OF ADJACENT PAVING OR AS SHOWN ON GRADING PLAN.
- ALL SOD AREAS TO RECEIVE 4" DEPTH (MIN) TOPSOIL PRIOR TO INSTALLATION. TOPSOIL SHALL BE NATURAL, PARIABLE, FERTILE, pH RANGE OF 5.5-7.4, AND FREE OF FRASH, STONES, WEEDS, AND THIRDS BRANCHES.
- ALL DISTURBED AREAS IN R.O.W. TO BE RE-ESTABLISHED WITH BERMUDA SEED OR SOD AND IRRIGATED UNLESS OTHERWISE SHOWN ON PLANS.
- ALL TREES TO BE PLACED A MINIMUM OF 4' FROM ANY UTILITY.



Kimley-Horn
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 13445 VOLVO ROAD, SUITE 700, DALLAS, TX 75240
 PHONE: 972.382.2539-3520
 WWW.KIMLEY-HORN.COM
 TEXAS REGISTERED ENGINEERING FIRM F-928

NO.	REVISIONS	DATE	BY

LANDSCAPE PLAN

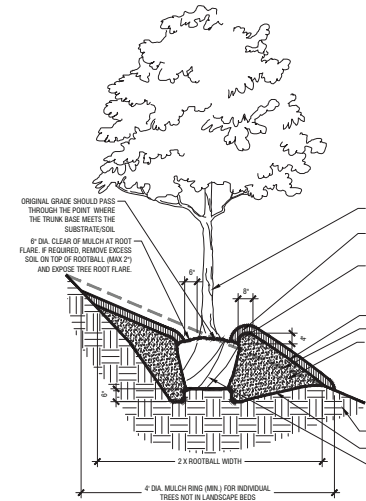
DUTCH BROS CMG
 TOWN OF CROSS ROADS,
 TEXAS

SHEET NUMBER
1

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NOTES:
1. REF. PLANTING AND PLANTING SOIL SPECIFICATIONS FOR ADDITIONAL INFORMATION.
2. REF. TREE STAKING DETAIL, THIS SHEET.

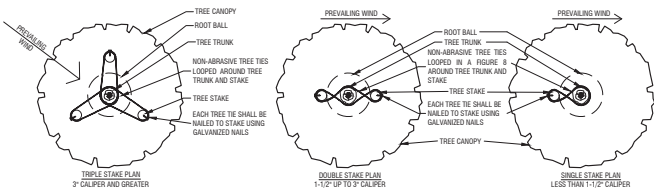


TRUNK/ROOTBALL TO BE CENTERED AND PLUMB LEVEL IN PLANTING PIT
3\"/>

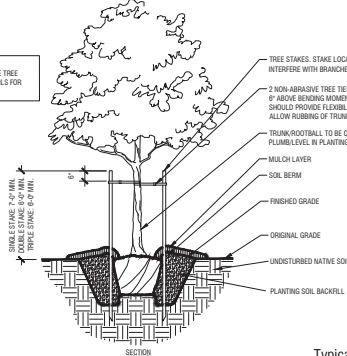
Tree Planting on 5-25% Slopes (20:1 to 4:1 Slopes)

Scale: NTS

D



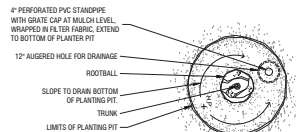
NOTES:
1. THIS DETAIL IS FOR ABOVE GRADE TREE STAKING ONLY. REF. OTHER DETAILS FOR TYPICAL TREE PLANTING.



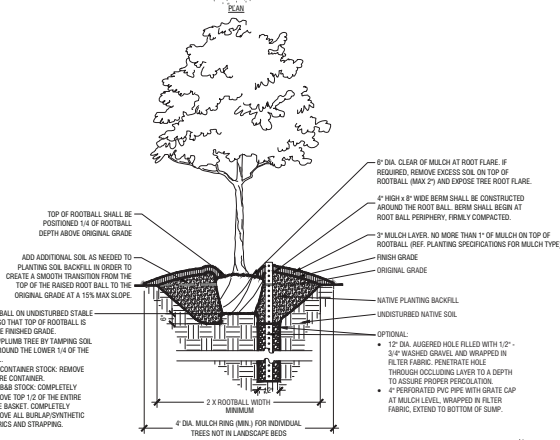
Typical Tree Staking

Scale: NTS

B



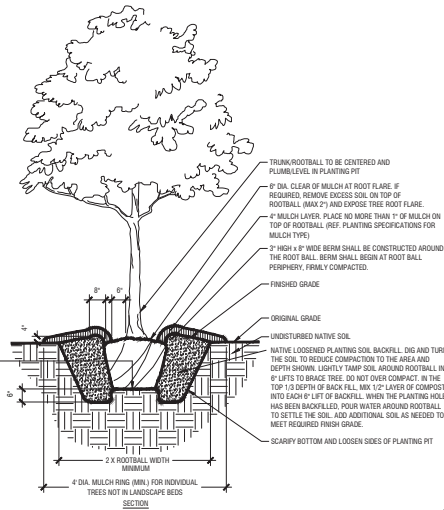
NOTES:
1. THIS DETAIL IS FOR TREE PLANTING IN POOR DRAINAGE CONDITIONS ONLY. REF. DETAIL A THIS SHEET FOR TYPICAL TREE PLANTING.



Tree Planting (Poor Drainage Condition)

Scale: NTS

C



Typical Tree Planting (Up to 3\"/>

Scale: NTS

A

NO.	REVISIONS	DATE	BY

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TEXAS REGISTERED ENGINEERING FIRM F-928

KHA PROJECT	DATE
	0/27/2022
SCALE: AS SHOWN	DESIGNED BY: KWB
	DRAWN BY: KWB
CHECKED BY: LUC	DATE

LANDSCAPE DETAILS

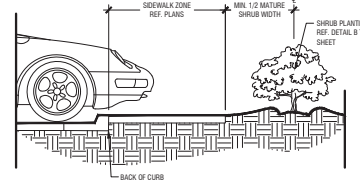
DUTCH BROS CMG
TOWN OF CROSS ROADS,
TEXAS

SHEET NUMBER

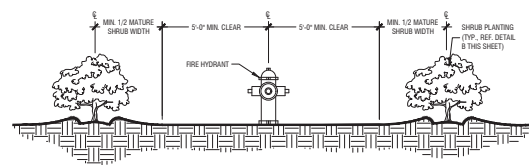
2

This document, together with the contract and any other documents referred to herein, is intended only for the specific purpose and shall not be construed as a contract. It is intended only for the specific purpose and shall not be construed as a contract. It is intended only for the specific purpose and shall not be construed as a contract.

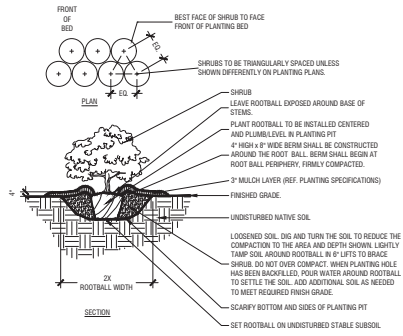
- NOTES:**
1. REF. PLANTING AND PLANTING SOIL SPECIFICATIONS FOR ADDITIONAL INFORMATION.
 2. REF. PLANTING SCHEDULE AND PLANTING PLANS FOR SPACELAYOUT.
 3. WHEN SHRUBS ARE MASSED TOGETHER WITH GROUNDCOVER BEDS, ALL SOIL IN BED TO BE AMENDED. (REF. PLANTING SPECIFICATIONS)



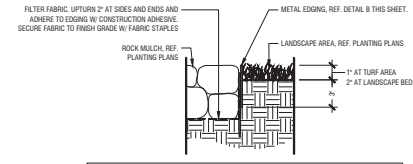
Shrub Planting at Sidewalk
Scale: NTS



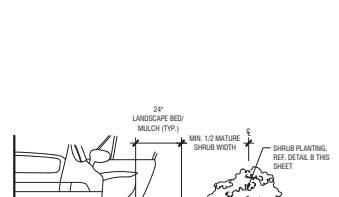
Shrub Planting at Fire Hydrant
Scale: NTS



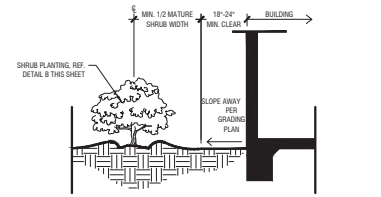
Typical Shrub Planting
Scale: NTS



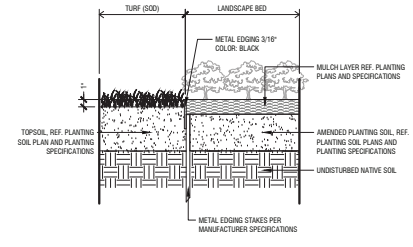
METAL EDGING (AT ROCK COBBLE BED)
Scale: 1 1/2\"/>



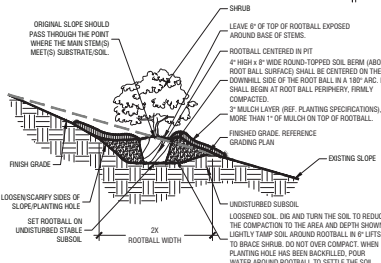
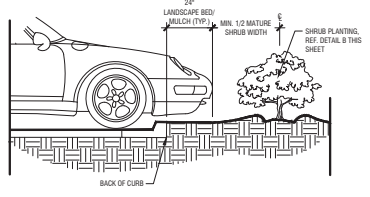
Shrub Planting at Curb
Scale: NTS



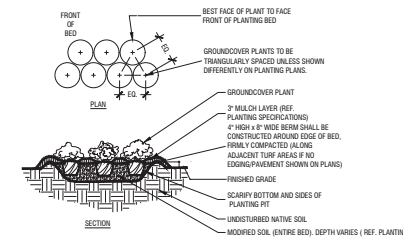
Shrub Planting at Building Edge
Scale: NTS



METAL EDGING (AT TURF & LANDSCAPE BED)
Scale: 1 1/2\"/>

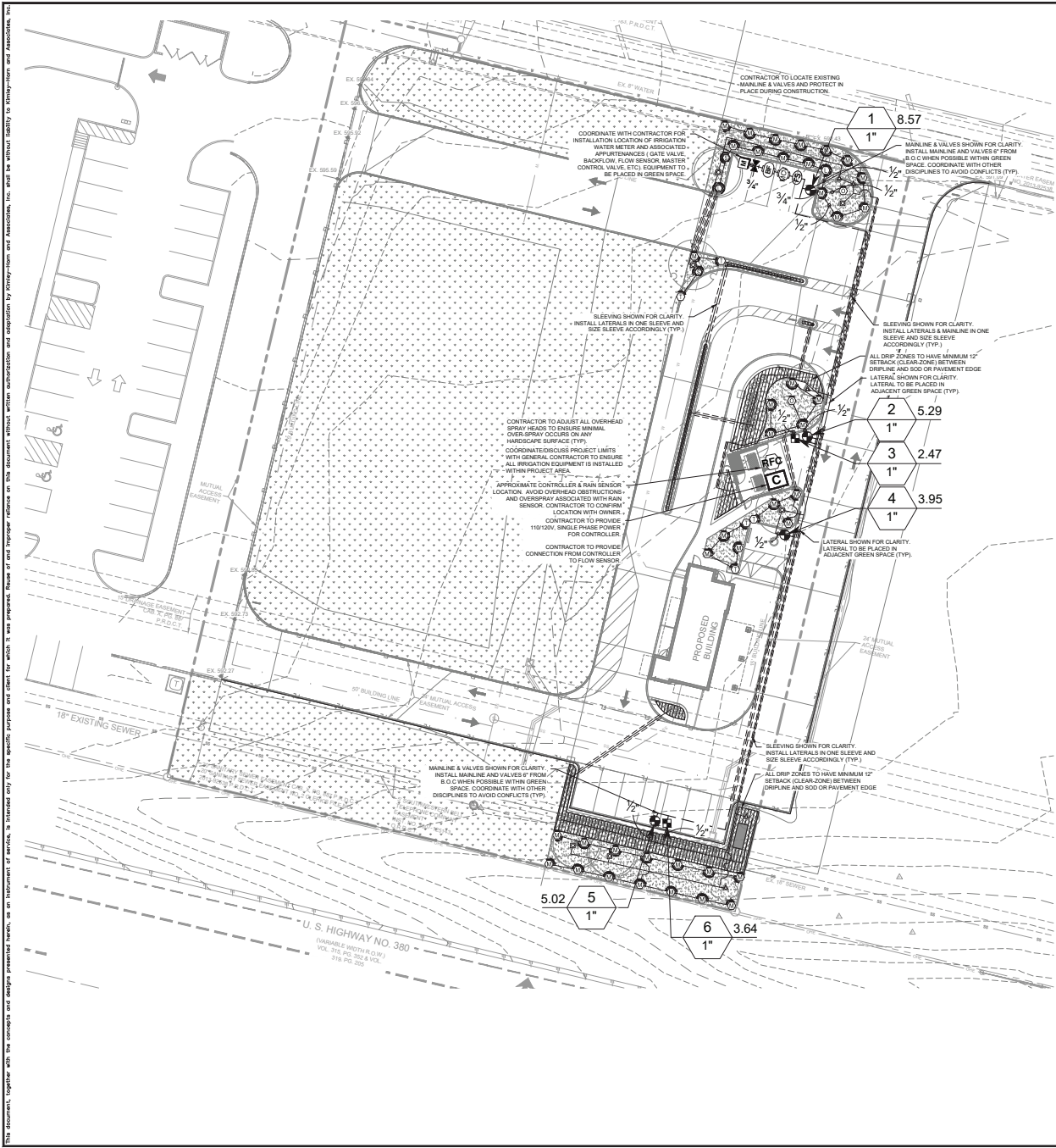


Shrub Planting On 5-50% (20:1 TO 2:1) Slope
Scale: NTS



Typical Groundcover Planting
Scale: NTS

KHA PROJECT	DATE	0/27/2022	SCALE: AS SHOWN	DESIGNED BY: KMB	DRAWN BY: KMB	CHECKED BY: LMC	No.	REVISIONS	DATE	BY
	DATE	0/27/2022								
LANDSCAPE DETAILS			© 2022 KIMLEY-HORN AND ASSOCIATES, INC. 13445 NOEL ROAD, SUITE 700, DALLAS, TX 75240 PHONE: 972.382.2222 WWW.KIMLEY-HORN.COM							
			TEXAS REGISTERED ENGINEERING FIRM F-928							
DUTCH BROS CMG			TOWN OF CROSS ROADS, TEXAS							
SHEET NUMBER			4							



IRRIGATION SCHEDULE DUTCH BROS

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
Ⓜ	Hunter MP Corner PRS8-84-PR84-8V Turf Rotator: 4" pop-up with factory installed check valve, pressure regulated to 40 psi, MP Rotator nozzle. T-Turboglobe 48 arc 45-105 on PR840 body.	5
Ⓜ	Hunter MP Corner PRS8-84-PR84-8V Turf Rotator: 4" pop-up with factory installed check valve, pressure regulated to 40 psi, MP Rotator nozzle. T-Turboglobe 48 arc 45-105 on PR840 body. LST 1/2" key set, 35 T10-000 side, RST 1/2" copper right side.	3
Ⓜ	Hunter MP 200 PRS8-84-PR84-8V Turf Rotator: 4" pop-up with factory installed check valve, pressure regulated to 40 psi, MP Rotator nozzle. M-Matronic 48 arc 90 to 210, L-Right Blue 210 to 270 arc, O-Drive 360 arc.	43
Ⓜ	Hunter MP 200 PRS8-84-PR84-8V Turf Rotator: 4" pop-up with factory installed check valve, pressure regulated to 40 psi, MP Rotator nozzle. M-Matronic 48 arc 90 to 210, L-Right Blue 210 to 270 arc, O-Drive 360 arc.	11
Ⓜ	Toro 5705/F/PC 25 Turf Rotator: 4" pop-up with factory installed check valve, pressure regulated to 40 psi, MP Rotator nozzle. M-Matronic 48 arc 90 to 210, L-Right Blue 210 to 270 arc, O-Drive 360 arc.	3
Ⓜ	Hunter K2-101-25 Dry Cycle Control: 1" CV Globe Valve with 1" NPT flow stem. Pressure Regulation: 25psi. Flow Range: 2 GPM to 20 GPM. 150 mesh stainless steel.	2
Ⓜ	Wastafix TCV-026-12 Variable Pressure Compensating Landscape Drip with Check Valve. 0.26 GPH emitters at 12" O.C. Dripline laterals spaced at 12" apart, with emitters that are triangular pattern. 150 mesh stainless steel.	1,420 LF
Ⓜ	Hunter ECV-2 1" 1/2" 2" and 3" Plastic Electric Remote Control Valves, Globe Configuration, with NPT Threaded Inlet/Outlet, for Commercial/Municipal Use.	4
Ⓜ	Hunter ECV-3 1" 1/2" 2" and 3" Plastic Electric Master Valve, Globe Configuration, with NPT Threaded Inlet/Outlet, for Commercial/Municipal Use.	1
Ⓜ	Falco 802 Sleeve Check Backflow prevention, 1/2" to 2"	3
Ⓜ	Hunter PCC-500 Light Commercial & Residential Controller, 6-Station fixed controller, 150 VAC, Chimeless model.	1
Ⓜ	Hunter RFC Rain and freeze sensor, with condensation, mount as noted. Normally closed switch.	1
Ⓜ	Flow Sensor	1
Ⓜ	Water Meter 1"	1
---	Irrigation Lateral Line: PVC Class 200 SDR 21	1,576 LF
---	Irrigation Mainline: PVC Class 200 SDR 21	371.8 LF
---	Pipe Sleeve: PVC Schedule 40 Typical pipe sleeve for irrigation pipe. Pipe sleeve size shall allow for installation (joint and their related couplings to easily slide through sleeve) material. Extend minimum 10 inches beyond edge of joint or construction.	805.6 LF

must be signed and sealed by a licensed irrigator

KIMLEY-HORN SIGNED AND SEALED THE PLANS WITH A LICENSED IRRIGATOR

THIS IRRIGATION PLAN IS DESIGNED TO THE FOLLOWING STANDARDS: 68 PSF AND 37.5 GPM. IF WATER PRESSURE DOES NOT MEET DESIGN SPECIFICATIONS A BOOSTER PUMP WILL BE REQUIRED AT COST OF CONTRACTOR. CONTACT LANDSCAPE ARCHITECT PRIOR TO INSTALLATION IF SYSTEM HAS < 5 PSI THAN DESIGN PRESSURE.

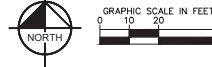
ABOVE QUANTITIES PROVIDED FOR CONVENIENCE ONLY. CONTRACTOR TO CONFIRM ALL QUANTITIES PRIOR TO BIDDING.

REFERENCE MAXIMUM LATERAL DRIPLINE CHART TO DETERMINE MINIMUM NUMBER OF POINTS OF CONNECTION PER DRIP LINE ZONE.

WHERE LAYOUT FLEXIBILITY EXISTS CENTER FEED LAYOUTS MUST BE USED. THIS ALLOWING FOR EVEN FLOW OF WATER THROUGH THE ZONE.

HUNTER B.O.C. INDICATOR TO BE PLACED IN ALL CRIP AREAS AT THE FURTHEST POINT OF EACH DRIP RUN.

- IRRIGATION CONTRACTOR SHALL TEST EXISTING STATIC PRESSURE ON SITE PRIOR TO CONSTRUCTION. SHOULD EXISTING SITE PRESSURE BE BELOW 68 PSF, CONTRACTOR SHALL CONTACT THE IRRIGATION DESIGNER PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- COORDINATE IRRIGATION INSTALLATION WITH PLANTING PLAN AND SITE CONDITIONS TO PROVIDE COMPLETE 100% COVERAGE WITH MINIMUM OVERSPRAY. THE IRRIGATION CONTRACTOR SHALL MAKE MINOR ADJUSTMENTS TO ENSURE PROPER COVERAGE AT NO ADDITIONAL COST TO THE OWNER.
- ALL CONSTRUCTION SHALL CONFORM TO CITY, COUNTY, STATE AND FEDERAL REQUIREMENTS. IT SHALL BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO ENSURE THAT ALL IRRIGATION EQUIPMENT MEETS GOVERNMENT REGULATIONS. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR OBTAINING ANY NECESSARY PERMITS OR APPROVALS PRIOR TO COMMENCEMENT OF CONSTRUCTION. COPIES OF THE PERMITS SHALL BE SENT TO THE OWNER/GENERAL CONTRACTOR.
- LATERAL PIPE SHALL BE INSTALLED AT A MINIMUM DEPTH OF 12 INCHES. MAINLINE PIPE AND WIRES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 18 INCHES.
- ELECTRICAL POWER SHALL BE PROVIDED WITHIN 5 FEET OF CONNECTION BY GENERAL CONTRACTOR. LICENSED IRRIGATOR LOCATION BY CONTRACTOR TO PROVIDE FINAL HARD WIRE TO CONTROLLER.
- 24 VOLT WIRE SHALL BE A MINIMUM OF 14 GAUGE, UL APPROVED FOR DIRECT BURIAL. SINGLE CONDUCTOR "IRRIGATION WIRE". CONTRACTOR TO CONFIRM WIRE SIZE PRIOR TO INSTALLATION. WIRE SPACES SHALL BE ENGAGED IN A WATERPROOF WIRE CONNECTOR (UL APPROVED AND FILLED WITH SILICONE).
- IRRIGATION VALVES AND VALVE BOXES SHALL BE LOCATED IN LANDSCAPE BEDS OR GROUND COVER AREAS WHENEVER POSSIBLE. ALL REMOTE VALVE BOXES SHALL BE SET FLUSH WITH FINISHED GRADE AND CONTAIN ONE CHECK STOP OF CLEAN GRAVEL BENEATH VALVE. LABEL REMOTE VALVE BOXES WITH ONE-ONE-ONE ALPHA NUMERIC NOTATION CORRESPONDING TO THE APPLICABLE ALPHA CONTROLLER AND NUMBER STATION. USE 1/2" ROUND VALVE BOXES FOR ELECTRIC VALVES AND QUICK COUPLING VALVES. USE 1" X 3" RECTANGULAR BOX FOR DRIP VALVES UNLESS NOTED OTHERWISE. DOUBLE CHECK ASSEMBLY SHALL BE BOXED ACCORDING TO LOCAL CODES.
- USE PVC SWING JOINT ASSEMBLIES TO CONNECT ALL SPRAY AND ROTOR HEADS.
- CONTRACTOR IS TO CONTACT APPROPRIATE AUTHORITIES AND LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, EQUIPMENT QUANTITIES, AND UTILITY LOCATIONS PRIOR TO BEGINNING WORK.
- SLEEVES SHALL BE INSTALLED BY GENERAL CONTRACTOR UNLESS OTHERWISE NOTED. SLEEVE MATERIAL SHALL BE PVC, SCH. 40. CONTRACTOR SHALL EXTEND SLEEVES 18 INCHES BEYOND EDGE OF ALL PAVEMENT. ELECTRICAL WIRES FOR IRRIGATION VALVES AND IRRIGATION LINES ARE TO BE PLACED IN SEPARATE SLEEVES. SEE SLEEVING DETAIL. ALL PRESSURE MAINLINES UNDER ASPHALT PAVEMENT SHALL BE PLACED WITHIN SLEEVES AS NOTED.
- DRIP LINE SHALL BE PLACED A MINIMUM OF 2" UNDER MICH.
- LICENSED IRRIGATION CONTRACTOR SHALL ADJUST SPRAY NOZZLES FOR "HEAD-TO-HEAD" COVERAGE AND ADJUST FOR MINIMUM OVERSPRAY ONTO PAVEMENT. NO OVERSPRAY IS PERMITTED ONTO STREETS OR SIDEWALKS.
- IRRIGATION CONTRACTOR SHALL SUPPLY AND CONSTRUCT IRRIGATION SYSTEM WITH ALL MATERIALS AND PER MANUFACTURER SPECIFICATIONS SHOWN ON THIS PLAN. IF CONTRACTOR PREFERRED MATERIALS THAT DIFFER FROM THIS PLAN, THEY SHALL BE APPROVED BY THE IRRIGATION DESIGNER PRIOR TO CONSTRUCTION.
- VERIFY CONTROLLER AND RAIN SENSOR LOCATION AND MAINLINE POINT OF CONNECTION AT PROJECT SITE WITH OWNER.
- EXISTING TREES TO REMAIN ARE TO BE PROTECTED FROM DAMAGE. DO NOT TRENCH OR EXCAVATE WITHIN THE CRITICAL ROOT ZONE OF ANY TREE.
- IRRIGATION LATERAL LINES (MAIN LINES AND EQUIPMENT) MAY BE SHOWN OUTSIDE PROPERTY LINES ON THIS PLAN. ALL IRRIGATION LINES AND EQUIPMENT ARE TO BE WITHIN AND INSTALLED WITHIN THE LIMITS OF THE PROPERTY LINE.
- SUPPLY LINE AND METER TO BE PROVIDED BY GENERAL CONTRACTOR. BACKFLOW PREVENTER TO BE PROVIDED BY IRRIGATION CONTRACTOR. IRRIGATION CONTRACTORS POINT OF CONNECTION TO BEGIN AFTER THE IRRIGATION WATER METER.
- IRRIGATION CONTRACTOR SHALL REVIEW WATERLOGGING PROCEDURES FOR IRRIGATION SYSTEM WITH OWNERS REPRESENTATIVE.
- ALL PLANT MATERIAL IN THESE HOODING AREAS SHALL BE MANUALLY WATERED/DROPPED TO KEEP MOIST UNTIL PLANTED.
- MAINLINE VALVES AND WIRING ARE SHOWN ON DRAWINGS FOR CLARITY. SHOULD BE LOCATED IN ACCESSIBLE GREEN SPACE. CONTRACTOR TO COORDINATE WITH ALL DISCIPLINES TO AVOID CONFLICTS WITH UTILITIES/ STRUCTURES, ETC.
- INSTALLATION OF WORK SHALL BE COORDINATED WITH OTHER CONTRACTORS IN SUCH A MANNER AS TO ALLOW FOR A SPEEDY AND ORDERLY COMPLETION OF ALL WORK ON THE SITE.
- SET SPRAY HEADS 4" FROM BACK OF CURB OR 34" IF PAVEMENT HAS NO CURB.
- CONTRACTOR SHALL PROVIDE "AS-BUILT" DRAWINGS OF THE FINAL INSTALLATION TO OWNER AT SUBSTANTIAL COMPLETION BEFORE RECEIVING FINAL PAYMENT. "AS-BUILT" DRAWINGS TO BE COLOR CODED BY ZONE ON 8 1/2" X 11" LAMINATED, AND PLACED IN CONTROLLER.
- ALL DRIP ZONES SHALL BE INSTALLED WITH A SELF-FLUSHING DISC FILTER, OR APPROVED EQUAL.
- INSTALL ALL IRRIGATION COMPONENTS AS PER MANUFACTURERS REQUIREMENTS.
- IRRIGATION HEADS AND COMPONENTS SHALL BE LOCATED A MINIMUM OF 34" FROM ALL BUILDINGS TO AVOID ADVERSE PERFORMANCE OF FOUNDATIONS AND SLABS.
- NO LATERALS LESS THAN 3/4" DIAMETER.



Kimley-Horn
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TEXAS REGISTERED ENGINEERING FIRM # 928

DUTCH BROS CMG
TOWN OF CROSS ROADS,
TEXAS

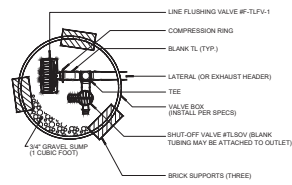
IRRIGATION PLAN

KHA PROJECT: _____
DATE: 02/27/2022
SCALE: AS SHOWN
DESIGNED BY: AWB
DRAWN BY: RWB
CHECKED BY: LUC

SHEET NUMBER: 5

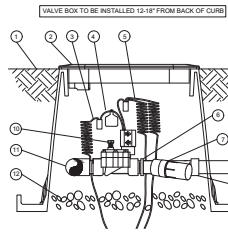
NO. _____
REV. _____
DATE _____
BY _____

This document, together with the concepts and designs presented herein, is intended only for the specific purpose and shall not be construed as an instrument of service, or a statement of work, or a contract for work. It was prepared without written authorization and adoption by Kimley-Horn and Associates, Inc. No reliance should be placed on this document without written authorization and adoption by Kimley-Horn and Associates, Inc.



Line Flushing Valve (W/ Shut-off Valve)

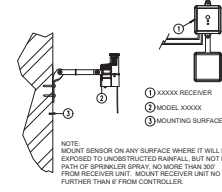
Scale: N.T.S.



- 1 FINISH GRADE
- 2 STANDARD VALVE BOX WITH COVER
- 3 WATERPROOF CONNECTION
- 4 VALVE ID TAG
- 5 3/8-INCH LINEAR LENGTH OF WIRE COILED
- 6 1" X 3/4" REDUCING COUPLING
- 7 PRESSURE REGULATING FILTER
- 8 LATERAL PIPE
- 9 PVC SCH 40 FEMALE ADAPTOR OR REDUCER
- 10 REMOTE CONTROL VALVE
- 11 PVC SCH 40 TEE OR ELL TO MAINFLD
- 12 3-INCH MINIMUM DEPTH OF 3/8-INCH WASHED GRAVEL

Drip Control Zone Kit

Scale: N.T.S.

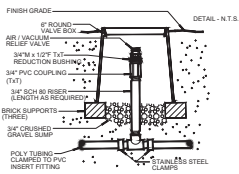


- 1 XXXXX RECEIVER
- 2 MODEL XXXXX
- 3 MOUNTING SURFACE

NOTE: MOUNT SENSOR ON ANY SURFACE WHERE IT WILL BE EXPOSED TO UNOBSTRUCTED RAINFALL, BUT NOT IN PATH OF SPRINKLER SPRAY. NO MORE THAN 50' FROM RECEIVER UNIT. MOUNT RECEIVER UNIT NO FURTHER THAN 8' FROM CONTROLLER.

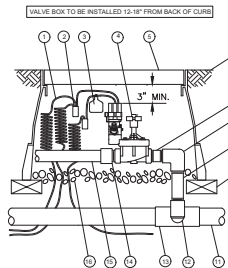
Wireless Rain/Freeze Sensor

Scale: N.T.S.



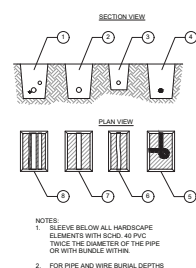
Air/Vacuum Relief (Plumbed to Poly)

Scale: N.T.S.



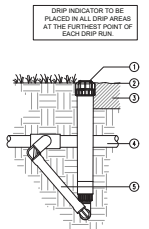
Electric Remote Control Valve

Scale: N.T.S.



Pipe and Wire Trenching

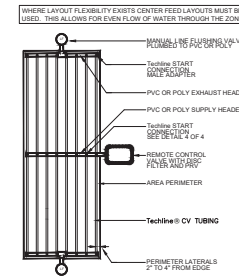
Scale: N.T.S.



- 1 ECO INDICATOR
- 2 FINISHED GRADE
- 3 ADJACENT MALCH
- 4 PVC LATERAL PIPE
- 5 SWING JOINT

ECO INDICATOR - SWING JOINT

Scale: N.T.S.

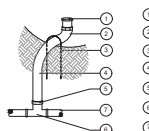


ALL BARBED FITTINGS TO UTILIZE EITHER STAINLESS STEEL HOSE CLAMPS, STEEL CLAMP, OR COMPRESSION RING.

TECHLINE DRIPPER SPACING	12"			18"			24"			
	0.28	0.4	0.6	0.3	0.28	0.4	0.6	0.3	0.6	
INLET PRESSURE (PSI)	331	242	190	144	483	344	270	204	342	260
20'	411	302	238	181	563	422	333	257	430	328
35'	515	386	299	227	737	560	438	333	542	412
45'	594	438	343	260	845	620	489	371	622	472
55'	655	480	375	287	932	694	531	410	686	522
60'	681	505	393	298	969	713	551	426	718	544

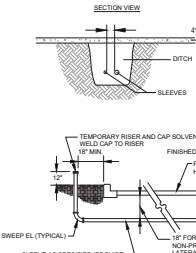
Techline CV Center Feed Layout

Scale: N.T.S.



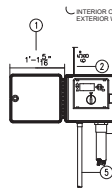
Bubbler Assembly

Scale: N.T.S.



Sleeve Detail

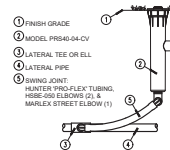
Scale: N.T.S.



- 1 MINIMUM CLEARANCE FOR DOOR OPENING CONTRACTOR TO VERIFY PER MODEL
- 2 MINIMUM VERTICAL CLEARANCE NEEDED FOR WIRE PIN RESOVAL
- 3 MODEL XXXXXXXX
- 4 CONTROL WIRE IN ELECTRICAL CONDUIT. SIZE AND TYPE PER LOCAL CODE
- 5 3/4\"/>

Controller

Scale: N.T.S.



MP Rotator Sprinkler

Scale: N.T.S.

PVC PIPE SIZE	SOCKETED SCH 40 FITTINGS	BELL AND GASKET FITTINGS	SOCKETED PIPE
1/2"	2"	-	2"
3/4"	2"	-	2"
1"	2 1/2"	-	2 1/2"
1 1/4"	3"	-	3"
1 1/2"	3"	3"	3"
2"	4"	4"	4"
2 1/2"	6"	6"	6"
3"	6"	6"	6"
4"	6"	6"	6"

Sleeve Schedule

Scale: N.T.S.

No.	REVISIONS	DATE	BY

Kimley-Horn
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 TEXAS REGISTERED ENGINEERING FIRM F-928

KHA PROJECT	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY	LIC.
	0/27/2022	AS SHOWN	KWB	KWB	KWB	

IRRIGATION DETAILS

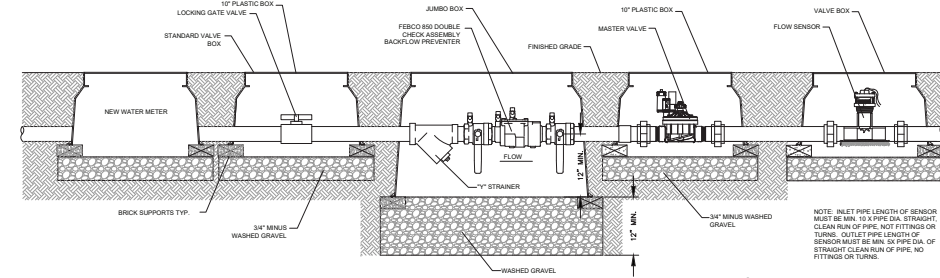
DUTCH BROS CMG
 TOWN OF CROSS ROADS,
 TEXAS

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GENERAL IRRIGATION SPECIFICATIONS AND NOTES

- A. EXTENT:**
INCLUDES FURNISHING ALL LABOR, MATERIALS AND EQUIPMENT FOR THE PROPER INSTALLATION OF THE IRRIGATION SYSTEM IN ACCORDANCE WITH THE DRAWINGS AND THE FOLLOWING: (1) TRENCHING, BACKFILL, (2) AUTOMATICALLY CONTROLLED LOW VOLUME IRRIGATION SYSTEM, (3) TEST ALL SYSTEMS AND MAKE OPERATIVE, (4) SUBMIT DRAWINGS.
- B. GENERAL:**
1. OWNER AGREES TO OBTAIN ALL PERMITS AND PAY REQUIRED FEES TO ANY GOVERNMENTAL AGENCY HAVING JURISDICTION OVER THE WORK. INSPECTIONS REQUIRED BY LOCAL ORDINANCES DURING THE COURSE OF NON-RESIDENTIAL INSTALLATION AS REQUIRED ON COMPLETION OF THE WORK. SATISFACTORY EVIDENCE SHALL BE FURNISHED TO THE OWNER'S CONSTRUCTION REPRESENTATIVE TO SHOW THAT ALL WORK HAS BEEN INSTALLED IN ACCORDANCE WITH THE STATE AND LOCAL BUILDING, PLUMBING CODES AND ALL OTHER CODE REQUIREMENTS.
2. APPROVAL: WHENEVER THE TERMS "APPROVE" OR "APPROVED" ARE USED IN THE SPECIFICATIONS, THEY SHALL MEAN THE APPROVAL OF THE OWNER'S CONSTRUCTION REPRESENTATIVE IN WRITING.
3. BEFORE ANY WORK IS STARTED, A CONFERENCE SHALL BE HELD BETWEEN THE CONTRACTOR AND THE OWNER'S CONSTRUCTION REPRESENTATIVE CONCERNING THE WORK UNDER THIS CONTRACT.
4. COORDINATION: COORDINATE AND COOPERATE WITH OTHER CONTRACTORS TO ENABLE THE WORK TO PROCEED AS RAPIDLY AND EFFICIENTLY AS POSSIBLE.
5. **INSPECTION OF SITE:**
A. CONTRACTOR SHALL ACQUAINT THEMSELVES WITH ALL SITE CONDITIONS. SUBMISSION OF THEIR PROPOSAL SHALL BE CONSIDERED ACCEPTANCE OF THE EXAMINATION AND BEEN CONDUCTED. UNACCEPTABLE UTILITIES NOT SHOWN ON THE PLANS BE FOUNDING LOCATIONS. CONTRACTOR SHALL PROMPTLY NOTIFY THE OWNER ON THE DATE OF DISCOVERY OF ANY UTILITIES OR AS TO FURTHER ACTION. FAILURE TO DO SO SHALL MAKE CONTRACTOR LIABLE FOR ANY AND ALL DAMAGE THERE TO ARISING FROM HIS OPERATIONS SUBSEQUENT TO DISCOVERY OF SUCH UTILITIES NOT SHOWN IN PLANS.
B. CONTRACTOR SHALL MAKE NECESSARY ADJUSTMENTS IN THE LAYOUT AS MAY BE REQUIRED TO CONNECT TO EXISTING UTILITIES. SPECIAL STUDIES SHALL BE LOCATED EXACTLY AS SHOWN, AND MAY BE REQUIRED TO WORK AROUND EXISTING WORK AT NO INCREASE IN COST TO THE OWNER'S CONSTRUCTION REPRESENTATIVE.
C. PROTECTION OF EXISTING PLANTS AND SITE CONDITIONS: THE CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PROTECT SITE CONDITIONS TO REMAIN. SPECIAL DAMAGE INCURRED BY THE CONTRACTOR SHALL REPAIR THE DAMAGE TO ITS ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
D. THE OWNER RESERVES THE RIGHT TO SUBSTITUTE, ADD, OR DELETE ANY MATERIAL, OR WORKS AS THE WORK PROGRESSES. ADJUSTMENTS TO THE CONTRACT PRICE SHALL BE NEGOTIATED IF DEEMED NECESSARY BY THE OWNER ON A PER DEM BASIS.
E. THE OWNER RESERVES THE RIGHT TO REJECT MATERIAL OR WORK WHICH DOES NOT CONFORM TO THE CONTRACT DOCUMENTS. REJECTED WORK SHALL BE REMOVED OR CORRECTED AT THE EARLIEST TIME POSSIBLE.
F. WORK SCHEDULE: WITHIN 10 DAYS AFTER AWARD OF THE CONTRACT, THE CONTRACTOR SHALL SUBMIT TO THE OWNER A WORK SCHEDULE.
G. "AS-BUILT" IRRIGATION DRAWINGS: PREPARE AN "AS-BUILT" DRAWING ON A FULL-SIZE PLAN SET WHICH SHALL SHOW DEVIATIONS FROM THE BID DOCUMENTS. MAKE CORRECTING CORRECTIONS TO THE MAIN LINE PIPE, CONTROL VALVE LOCATIONS, REMOTE CONTROL VALVES AND QUICK COUPLING VALVES. THE DRAWINGS SHALL ALSO REFLECT THE WORK AS PER MANUFACTURER'S LABELS, MATERIALS AND MANUFACTURERS NAME AND CATALOG NAME AND CATALOG NUMBER. THE DRAWINGS SHALL BE DELIVERED TO THE TENANT'S CONSTRUCTION REPRESENTATIVE BEFORE FINAL ACCEPTANCE.
H. FINAL ACCEPTANCE: FINAL ACCEPTANCE OF THE WORK MAY BE OBTAINED FROM THE OWNER'S CONSTRUCTION REPRESENTATIVE UPON THE SATISFACTORY COMPLETION OF ALL WORK.
I. GUARANTEE: ALL WORK SHALL BE GUARANTEED FOR ONE YEAR FROM DATE OF ACCEPTANCE AGAINST ALL DEFECTS IN MATERIAL, EQUIPMENT AND WORKMANSHIP. GUARANTEE SHALL ALSO COVER REPAIR OF DAMAGE TO ANY PART OF THE PREMISES RESULTING FROM LEAKS OR OTHER DEFECTS IN MATERIAL, EQUIPMENT AND WORKMANSHIP TO THE SATISFACTION OF THE TENANT'S CONSTRUCTION REPRESENTATIVE. REPAIRS, IF REQUIRED, SHALL BE DONE PROMPTLY AT NO COST TO THE OWNER.
J. A LAMINATED PLAN (8 1/2 X 11) SHOWING THE DIFFERENT IRRIGATION ZONES IN COLOR, PREPARED BY THE IRRIGATION CONTRACTOR, SHALL BE POSTED IN THE MECHANICAL ROOM OR WITHIN CONTROLLER CABINET.
C. MATERIALS:
1. GENERAL: ALL MATERIALS THROUGHOUT THE SYSTEM SHALL BE NEW AND IN PERFECT CONDITION.
2. PLASTIC PIPING: ALL MAIN LINES AND LATERAL LINES SHALL BE CLASS 200 POLYVINYL CHLORIDE (PVC) PIPE AND SHALL COMPLY WITH ONE OF THE FOLLOWING STANDARDS: ASTM D 1785, ASTM D 2466, AWWA C 200, OR AWWA C 300. SOUP PIPES SHALL HAVE A MINIMUM WALL THICKNESS AS REQUIRED BY AWWA C 200. PVC GATED FITTINGS SHALL CONFORM TO AWWA C 300. GATED FITTINGS SHALL CONFORM TO AWWA C 300. SOLVENT WELDED PVC FITTINGS SHALL MEET THE REQUIREMENTS OF SCHEDULE 40 AS SET FORTH IN ASTM D 2466. CONFORMING TO ASTM D 1784 AND D 2466.
3. PLASTIC FITTINGS: ALL SOLVENT WELDED PVC FITTINGS SHALL MEET THE REQUIREMENTS OF SCHEDULE 40 AS SET FORTH IN ASTM D 2466. SCHEDULE 40 SOLVENT WELDED POLYVINYL CHLORIDE (PVC) STANDARD WEIGHT AS MANUFACTURED BY SCANNE (ASCO) OR APPROVED EQUAL.
4. SOLVENT CEMENT: PVC CEMENT SHALL MEET ASTM D 2564 AND PVC CLEANER-TYPE SHALL MEET ASTM F 696.
5. SPRINKLER HEAD RISERS: SCHEDULE 40 PVC FOR RISERS. PIPE SHALL BE CUT WITH A STANDARD PIPE CUTTING TOOL, WITH SHARP CUTTERS. REAR ONLY TO FULL DIAMETER OF PIPE AND CLEAN ALL ROUGH EDGES OR BURRS. CUT ALL THREADS ACCURATELY WITH SHARP SIES. NOT MORE THAN THREE (3) FULL THREADS SHALL SHOW BEYOND FITTINGS WHEN PIPE IS MADE UP. ASSEMBLIES SHALL BE AS SET FORTH.
6. AUTOMATIC CONTROLLER: SEE LEGEND.
7. REMOTE CONTROL VALVES: SEE LEGEND.
8. CONTROL WIRING: CONVENTIONAL SYSTEMS TO USE 24 VOLTS SOLID L. APPROVED FOR DIRECT BURIAL IN GROUND. MINIMUM WIRE SIZE: 14 GAUGE. ALL SPLICES SHALL BE MADE WITH VALVE BOX TWO-WIRE SYSTEMS TO UTILIZE CONTROL WIRING PER MANUFACTURER'S STANDARDS.
9. SLEEVES FOR CONTROL WIRING UNDER ALL WALKS AND PAVED AREAS AND WHERE INDICATED ON DRAWINGS. MINIMUM PVC SCHEDULE 40 PLASTIC PIPE.
10. SPRINKLER HEADS DRIP LINE: SEE LEGEND.
11. QUICK COUPLING VALVES: SHALL BE NOTED ON DRAWINGS.
D. WORKMANSHIP:
1. LAY OUT WORK AS ACCURATELY AS POSSIBLE TO THE DRAWINGS. THE DRAWINGS, THOUGH CAREFULLY DRAWN, ARE GENERALLY ORGAMINATED TO THE EXTENT THAT SPRING JOINTS, OFFSETS AND ALL FITTINGS ARE NOT SHOWN.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FULL AND COMPLETE COVERAGE OF ALL IRRIGATED AREAS AND SHALL MAKE ANY NECESSARY MINOR ADJUSTMENTS AT NO ADDITIONAL COST TO THE OWNER'S CONSTRUCTION REPRESENTATIVE.
3. ANY MAJOR REVISIONS TO THE IRRIGATION SYSTEM MUST BE SUBMITTED AND ANSWERED IN WRITTEN FORM, ALONG WITH ANY CHANGE IN CONTRACT PRICE.
E. INSTALLATION:
1. EXCAVATION AND TRENCHING:
A. BACKFILL AND EXCAVATIONS AS REQUIRED FOR THE INSTALLATION OF THE WORK. INCLUDING UNDER THIS SECTION INCLUDING SHOWING OF EARTH BANKS TO PREVENT CAVE-INS. RESTORE ALL SURFACES, EXISTING UNDERGROUNDS AND INSTALLATIONS, ETC. DAMAGED OR CUT AS A RESULT OF THE EXCAVATIONS TO AS IN A MANNER APPROVED BY THE OWNER.
B. TRENCHES SHALL BE MADE WIDE ENOUGH TO ALLOW A MINIMUM OF 8 INCHES BETWEEN PARALLEL PIPE LINES. TRENCH SIDES SHALL BE MADE OF SUFFICIENT SLOPE TO PROVIDE THE MINIMUM COVER FROM FINISH GRADE AS FOLLOWS:
1) 24" MINIMUM BELOW BOTTOM PAWMENT PER BLEEDING INSTALLATION (EXCEPT FOR MAIN LINE) 18" MINIMUM FOR NON-PRESSURIZED LATERALS.
2) MINIMUM COVER OVER IRRIGATION LINES TO HEADS: DRIPLINE EXCEPT VEHICLE TRENCHES: 12" COVER OVER LATERALS. 12" COVER OVER LATERALS.
C. MAINTAIN ALL EXISTING SLOPE, SHOWING, APPROXIMATE, FLARES AND RED LINTERS AS REQUIRED BY THE SAFETY ORDERS OF THE DIVISION OF INDUSTRIAL SAFETY AND LOCAL ORDINANCES.
2. PIPE LINE ASSEMBLY:
A. INSTALL REMOTE CONTROL VALVES WHERE SHOWN AND GROUP TOGETHER WHERE PRACTICAL. PLACE NO CLOSER THAN 12-18 INCHES TO WALLS, EDGES, WALLS, AND OTHER PAVEMENTS. PLACE A MINIMUM OF 24" FROM BUILDINGS.
B. PLASTIC PIPE AND FITTINGS SHALL BE SOLVENT WELDED USING SOLVENTS AND METHODS RECOMMENDED BY MANUFACTURER OF THE PIPE. EXCEPT WHERE SOLENNOID CONNECTIONS ARE REQUIRED. PIPE AND FITTINGS SHALL BE THOROUGHLY CLEANED OF DIRT, DUST AND MOISTURE BEFORE APPLYING SOLVENT WITH A NON-IGNITIBLE BRISTLE BRUSH.
C. PIPE MAY BE ASSEMBLED AND WELDED ON THE SURFACE. SNAKE PIPE FROM SIDE TO SIDE OF TRENCH BOTTOM TO ALLOW FOR EXPANSION AND CONTRACTION.
D. MAKE ALL CONNECTIONS BETWEEN PLASTIC PIPE AND METAL VALVES OR STEEL PIPE WITH THREADED FITTINGS USING PLASTIC WALL ADAPTERS.
E. JOINTS:
1. PIPE SIZES 2 TO 24 INCH OR SMALLER SHALL HAVE HELL AND SOCKET JOINTS.
2. PIPE SIZES LARGER THAN 24 INCH SHALL HAVE SHAW CONNECTIONS WITH RUBBER GASKET JOINTS.
THROUST BLOODENG SHALL BE REQUIRED WHEN PIPE IS 16" OR GREATER.
F. SPRINKLER HEADS DRIP LINE:
1. INSTALL ALL SPRINKLER DRIP LINE AS DETAILED ON DRAWINGS.
2. DO NOT SCALE PLANS FOR EXACT HEAD LOCATION.
3. CLOSING OF PIPE AND FUSING LINES:
A. CAP OR PLUG ALL OPENINGS AS SOON AS LINES HAVE BEEN INSTALLED TO PREVENT THE ENTRANCE OF MATERIALS THAT WOULD OBSTRUCT THE PIPE. LEAVE IN PLACE UNTIL REMOVAL IS NECESSARY FOR COMPLETION OF INSTALLATION.
B. THROUSTS FLUSH OUT ALL WATER LINES BEFORE INSTALLING HEADS, DRIP LINE, VALVES AND OTHER HYDRAINTS.
C. TEST IN ACCORDANCE WITH PARAGRAPHS ON HYDROSTATIC TESTS.
D. UPON COMPLETE OF THE TESTING, THE CONTRACTOR SHALL COMPLETE ASSEMBLY AND ADJUST SPRINKLER HEADS FOR PROPER DISTRIBUTION.
5. INSPECTIONS:
A. SPRINKLER DRIPLINE LAYOUT AND SPACING INSPECTION. VERIFICATION THAT THE IRRIGATION DESIGN IS ACCURATELY INSTALLED IN THE FIELD. IT SHALL ALSO PROVIDE FOR RE TENTION OR REWORK OF THE SYSTEM TO MEET FIELD CONDITIONS. SPACING SHOULD BE WITHIN 2% OF THE DESIGN SPACING.
B. PIPE INSTALLATION DRAIN INSPECTION. ALL PIPES IN THE SYSTEM SHALL BE INSTALLED TO DEPTH AS PREVIOUSLY DESCRIBED IN SECTION "E" OF THESE SPECIFICATIONS.
C. OPEN TRENCH INSPECTION. THE TRENCH AND ALL JOINTS AND EVERY TRANSITION IN PIPE SIZE, WILL BE OPEN WHERE OPEN TRENCH INSPECTION IS REQUIRED.
D. INSPECTIONS WILL BE PERFORMED THROUGHOUT THE DURATION OF THE INSTALLATION. INSPECTION MAY BE MADE BY THE GOVERNING AGENCY OWNER TO ENSURE COMPLIANCE WITH DESIGN INTENT, SPECIFICATIONS, AND THE IRRIGATION CODES.
6. HYDROSTATIC TESTS:
A. REQUEST THE PRESENCE OF THE OWNER AND/OR OWNERS REPRESENTATIVE IN WRITING AT LEAST 48 HOURS IN ADVANCE OF TESTING.
B. TESTING TO BE ACCOMPLISHED AT THE EXPENSE OF THE CONTRACTOR AND IN THE PRESENCE OF THE OWNER.
C. CENTER LEAD PIPING WITH SMALL AMOUNT OF BACKFILL TO PREVENT ANCHOR OR SLIPPING UNDER PRESSURE.
D. APPLYING A CONTINUOUS AND STATIC WATER PRESSURE OF 125 PSI WHEN WELDED PLASTIC JOINTS HAVE CURED AT LEAST 3 HOURS AND WITH THE RISERS CAPPED AS FOLLOWS:
1) MAIN LINE AND SUBMANS TO BE TESTED FOR 2 HOURS.
2) PRESSURE LOSS IS ALLOWED FOR SOLVENT WELD MANHOLES PIPE.
E. FOR PVC AND DRING GASKET PIPE THE ALLOWABLE LEAKAGE SHALL NOT EXCEED THE NUMBER OF GALLONS PER HOUR AS DETERMINED BY THE FOLLOWING FORMULA:
$$L = 400 \sqrt{1.850}$$

IN WHICH:
L = ALLOWABLE LEAKAGE IN GALLONS PER HOUR
N = NUMBER OF JOINTS
D = PIPE DIAMETER IN INCHES
P = AVERAGE TEST PRESSURE IN PSI GAUGE
F. REPAIR LEAKS RESULTING FROM TESTS.
7. AUTOMATIC CONTROLLERS:
A. GONNEE REMOTE CONTROL VALVES TO CONTROLLER IN A CLOCKWISE SEQUENCE TO CORRESPOND WITH STATION SETTING BEGINNING WITH STATIONS 1, 2, 3, ETC.
8. AUTOMATIC CONTROL WIRING:
A. INSTALL CONTROL WIRING, SPRINKLER MAINS AND LATERALS IN COMMON TRENCHES WHEREVER POSSIBLE.
B. INSTALL CONTROL WIRES AT LEAST 18" BELOW FINISHED GRADE AND SNAKE WIRE SIDE TO SIDE IN TRENCH BELOW MAIN LINE EXPANSION CURLS SHALL BE PROVIDED WITHIN THREE (3) FEET OF EACH WIRE CONNECTION TO SOLENOID AND AT LEAST EVERY THREE HUNDRED (300) FEET IN LENGTH. EXPANSION CURLS ARE FORMED BY WRAPPING AT LEAST FIVE (5) TURNS OF WIRE AROUND A ROD OR PIPE 1" OR MORE IN DIAMETER, THEN WITHDRAWING THE ROD.
C. CONTROL WIRE SPLICES WILL BE ALLOWED ONLY RUNS OVER 1000 FT. CONNECTIONS SHALL BE IN VALVE BOX AND LOCATION TO BE SHOWN ON AS-BUILT PLANS.
D. ALL WIRING PASSING UNDER EXISTING OR FUTURE PAVING, CONSTRUCTION, ETC. SHALL BE ENCASED IN PLASTIC OR GALVANIZED STEEL CONDUIT EXTENDING AT LEAST 24" BEYOND EDGES OF PAVING OR CONSTRUCTION.
E. CONTRACTOR SHALL RUN TWO (2) SPIRE WIRES IN EACH DIRECTION FROM CONTROLLER TO FARTHEST VALVE TO SERVE AS BACKUP WIRES.
9. BACKFILL AND COMPACTING:
A. AFTER SYSTEM OPERATING AND REQUIRED TESTS AND INSPECTIONS HAVE BEEN MADE, BACKFILL EXCAVATIONS AND TRENCHES WITH CLEAN SOIL. FREE OF RUBBISH. INITIAL BACKFILL MATERIAL TO 6 INCHES ABOVE THE TOP OF PIPE SHALL BE FREE OF ROCKS OR STONES LARGER THAN ONE (1) INCH DIAMETER. FINAL BACKFILL MATERIAL SHALL BE FREE OF ROCKS OR STONES LARGER THAN 3 INCHES IN DIAMETER.
B. BACKFILL FOR ALL TRENCHES, REGARDLESS OF THE TYPE OF PIPE COVERED, SHALL BE COMPACTED TO MINIMUM SOLIDITY.
C. COMPACT TRENCHES IN AREAS TO BE PLANTED BY THOROUGHLY FLOODING THE BACKFILL. JETTING PROCESS MAY BE USED IN THESE AREAS.
D. DRESS OFF ALL AREAS TO FINISH GRADES.
10. PROTECTIVE RADIUS OF EXISTING TREES:
A. AN AUGER IS TO BE USED TO DETERMINE EXISTING TREES IF CONTRACTOR IS INSTALLED WITHIN THE PROTECTIVE RADIUS OF EXISTING TREES AND ONLY TO DO SO OTHER OPTION OR TO DO SO CREATES AN UNSPECIFIABLE HAZARD.
F. CLEAN-UP:
1. REMOVE FROM THE SITE ALL DEBRIS RESULTING FROM WORK OF THIS SECTION.



Double Check Assembly Backflow Preventer with Flow Sensor
Scale: N.T.S.

NO.	REVISIONS	DATE
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Kimley-Horn
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PHONE: 972.342.8888
WWW.KIMLEY-HORN.COM
TEXAS REGISTERED ENGINEERING FIRM # 928

KHA PROJECT
DATE
0/27/2022
SCALE
AS SHOWN
DESIGNED BY
KWB
DRAWN BY
KWB
CHECKED BY
LWC

IRRIGATION DETAILS

DUTCH BROS CMG TOWN OF CROSS ROADS, TEXAS

SHEET NUMBER
7



COUNCIL AGENDA BRIEFING SHEET

Meeting Date:

July 25, 2022

Agenda Item:

Discuss and consider action on a request by Daniel Manks on behalf of property owner Brittney Samford for an exception from the Town's noise restrictions to allow for a fireworks display at 11:45 p.m. on December 31, 2023 at The Hillside Estate located at 901 Moseley Road.

Prepared by:

Kristi Gilbert, Town Administrator

Description:

Section 8.02.002 (2) of the Cross Roads Code of Ordinances declares certain activities generating noise a nuisance, particularly during the hours from 10:00 p.m. to 7:00 a.m., except in instances of activities approved by the Town Council.

Applicant Daniel Manks, on behalf of property owner Brittney Samford, has submitted a request for an exception from the noise restrictions to allow for a fireworks display at 11:45 p.m. on December 31, 2023 for a wedding.

As a point of reference, staff has identified no residences within 300 feet of the property.

Recommended Action:

Staff is seeking input from Council on this item.

Attachments:

Application



Universal Variance Application

Date of Application: 6/7/22 Property Address: 901 Moseley Rd, Cross Roads, TX 76227

Duration of Request: TEMPORARY (Dates: 12/31/23) PERMANENT

Land Owner: The Hillside Estate Phone No: 214-623-5733
Text

Email: hello@thehillsideestatedfw.com Mailing Address: 901 Moseley Rd, Cross Roads, TX 76227

If you are not the Land Owner, Status of Applicant (Owner/Agent): _____

Applicant's Name: Daniel Manks Phone No: 281-467-1166

Applicant's Email: manksda1@gmail.com Applicant's Address: 10501 Roy Butler Dr. Austin, Texas 78717

Description and reason for request: Interested in doing a 3 minute firework show around 11:45pm after my wedding on 12/31/2023.

Signature of Owner: *Brittany Sanford* Date: 6/7/22

Signature of Applicant: *DM* Date: 6/7/22

The following must be submitted before processing and scheduling for Board of Adjustment.

1. Application and fee with any drawings, maps, etc. to support the request
2. Site plan or graphic depiction of what the variance is for

For Office Use Only		
Section of Code _____		
Description of Variance Sought _____		

Completed Application (Date) _____	Check # _____	Receipt # _____
Approval Date _____	Signature _____	

3201 US HWY 380, STE 105, Cross Roads, TX 76227
 TEL 940/365-9693 FAX 469/375-5905
 CrossRoadsTX.gov

Hillside Estate
901 Moseley Road
Cross Roads, TX 76227

There are no occupied churches, dorms or classrooms within 600'.

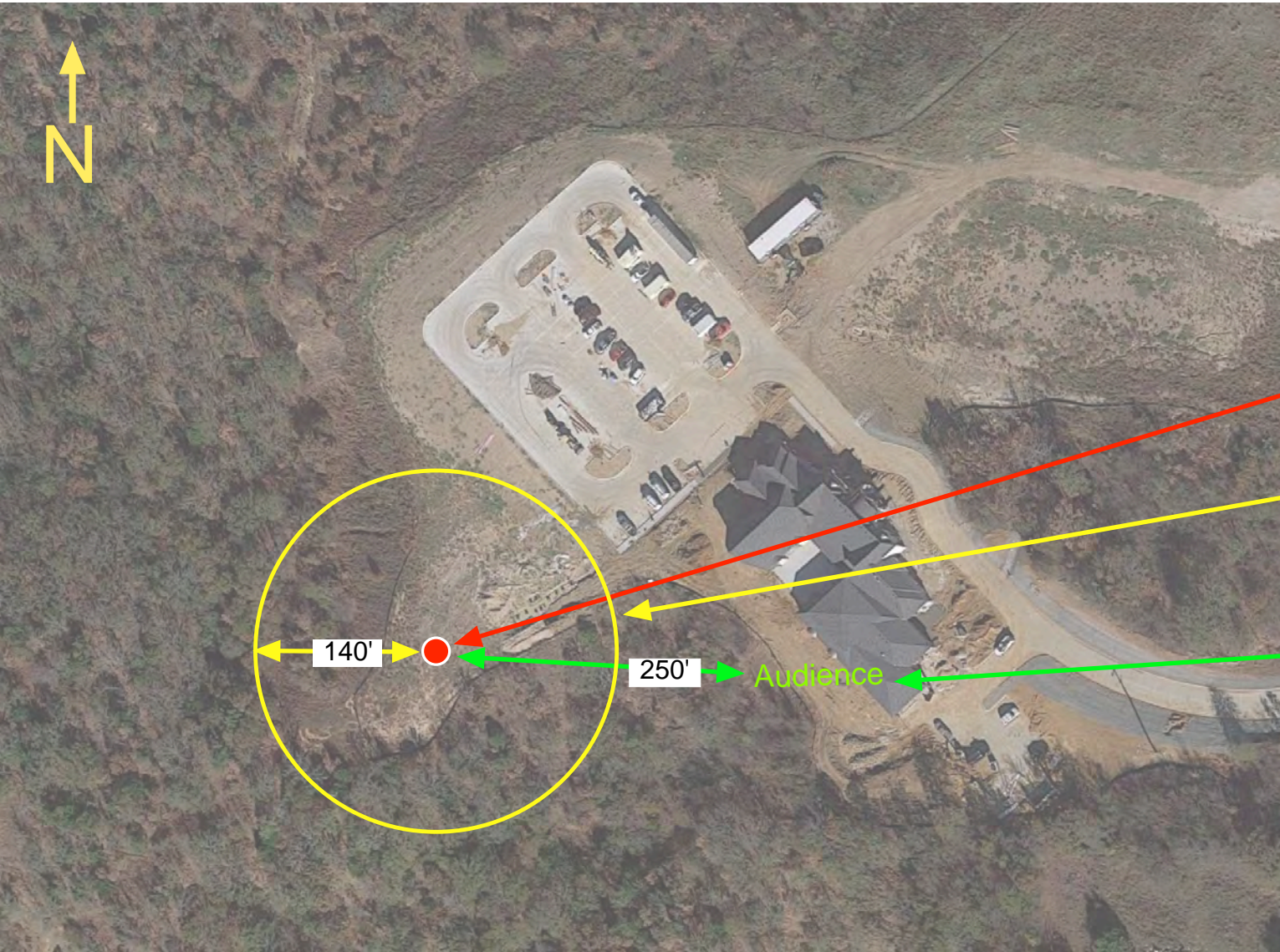
There is no hazardous material stored within 800'

Firing Site is located south of parking lot

The safety perimeter is a circle with a radius of 140 feet, centered on the firing site. The safety perimeter encompasses the fallout area.

The audience is located in the venue which is more than 250' away.

Max shell size is 1.75" requiring a 125' safety area.





COUNCIL AGENDA BRIEFING SHEET

Meeting Date:
July 25, 2022

Agenda Item:
Discuss and consider items related to the Fiscal Year 2022-2023 budget.

Prepared by:
Kristi Gilbert, Town Administrator

Description:
Enclosed for Council reference is a draft version of the Proposed FY 2023 Budget which incorporates items from previous discussions including market increases for Staff and the implementation of a Step Plan for the Police Department.

Staff will provide additional decision packages for the Council's discussion and consideration at the meeting.

Attachments:
Draft Proposed Budget – All Funds

100 - GENERAL FUND

Category	FY 22 Adopted	FY 22 Amendment	FY 23
REVENUES - GENERAL FUND - 100			
Sales Tax	\$ 2,771,507.00	\$ 2,993,375.00	\$ 3,419,000.00
Franchise Taxes	\$ 149,695.00	\$ 164,000.00	\$ 166,750.00
Licenses & Permits	\$ 463,750.00	\$ 324,600.00	\$ 335,000.00
Court Revenue	\$ 190,000.00	\$ 175,000.00	\$ 190,000.00
Fines & Fees	\$ 3,000.00	\$ 17,500.00	\$ 20,000.00
Contributions	\$ 24,363.00	\$ 24,363.00	\$ 26,250.00
Investment Income	\$ 7,000.00	\$ 7,000.00	\$ 5,000.00
Miscellaneous	\$ -	\$ 4,800.00	\$ -
Intergovernmental	\$ -	\$ 517,952.90	\$ -
Transfers	\$ -	\$ (6,400.00)	\$ -
TOTAL REVENUES - GENERAL FUND	\$ 3,609,315.00	\$ 4,222,190.90	\$ 4,162,000.00

EXPENSES - GENERAL FUND - 100

ADMINISTRATION - 110			
Personnel and Benefits	\$ 552,050.00	\$ 548,045.00	\$ 610,902.10
Supplies	\$ 5,000.00	\$ 10,900.00	\$ 10,950.00
Contractual Services	\$ 780,505.00	\$ 820,350.00	\$ 889,004.00
Maintenance	\$ 6,300.00	\$ 7,800.00	\$ 8,500.00
Capital Outlay	\$ 15,000.00	\$ 27,000.00	\$ 6,500.00
Subtotal	\$ 1,358,855.00	\$ 1,414,095.00	\$ 1,525,856.10

MUNICIPAL COURT - 210			
Personnel and Benefits	\$ -	\$ 8,085.00	\$ 10,255.25
Supplies	\$ 6,000.00	\$ 6,750.00	\$ 7,850.00
Contractual Services	\$ 19,000.00	\$ 23,300.00	\$ 24,750.00
Capital Outlay	\$ -	\$ 1,250.00	\$ -
Subtotal	\$ 25,000.00	\$ 39,385.00	\$ 42,855.25

POLICE -310			
Personnel and Benefits	\$ 1,150,152.98	\$ 1,117,900.00	\$ 1,279,973.00
Supplies	\$ 44,750.00	\$ 76,750.00	\$ 63,300.00
Contractual Services	\$ 161,150.00	\$ 164,450.00	\$ 152,800.00
Maintenance	\$ 35,000.00	\$ 41,000.00	\$ 29,000.00
Subtotal	\$ 1,391,052.98	\$ 1,400,100.00	\$ 1,525,073.00

PARKS & RECREATION - 410			
Contractual Services	\$ 16,000.00	\$ 16,000.00	\$ 41,000.00
Maintenance	\$ 11,500.00	\$ 11,500.00	\$ 24,141.00
Subtotal	\$ 27,500.00	\$ 27,500.00	\$ 65,141.00

COMMUNITY DEVELOPMENT - 510			
Contractual Services	\$ 2,000.00	\$ 2,000.00	\$ 2,000.00
Subtotal	\$ 2,000.00	\$ 2,000.00	\$ 2,000.00

INSPECTIONS - 520

100 - GENERAL FUND

Category	FY 22 Adopted	FY 22 Amendment	FY 23
Contractual Services	\$ 71,000.00	\$ 29,000.00	\$ 23,500.00
Subtotal	\$ 71,000.00	\$ 29,000.00	\$ 23,500.00
PUBLIC WORKS - 610			
Contractual Services	\$ 441,422.56	\$ 99,000.00	\$ 99,100.00
Subtotal	\$ 441,422.56	\$ 99,000.00	\$ 99,100.00
TRANSFERS OUT - 710			
Subtotal	\$ -	\$ -	\$ -
DECISION PACKAGE - OPERATING EXPENSE			
Placeholder	\$ -	\$ -	\$ -
TOTAL OPERATING EXP - GEN. FUND	\$ 3,316,830.54	\$ 3,011,080.00	\$ 3,283,525.35
Net Operating Income	\$ 292,484.46	\$ 1,211,110.90	\$ 878,474.65
TRANSFERS OUT - 710 - FUND BALANCE - CAPITAL			
	\$ 705,000.00	\$ 2,821,308.28	\$ 660,860.00
Income	\$ (412,515.54)	\$ (1,610,197.38)	\$ 217,614.65
	\$ -	\$ -	\$ -
Beginning Balance	\$ 2,948,035.00	\$ 2,948,035.00	\$ 1,337,837.62
	\$ -	\$ -	\$ -
Ending Balance	\$ 2,535,519.46	\$ 1,337,837.62	\$ 1,555,452.27
% Reserve	76.4%	44.4%	47.4%
Days of Reserve	279.02	162.17	172.91

100 - GENERAL FUND

Account #	Account Description	Category	FY 22 Adopted Amendment	FY 23	Notes
REVENUES - GENERAL FUND - 100					
100-40100	Sales Tax Revenue	Sales Tax	\$ 2,975,000.00	\$ 3,400,000.00	
100-40110	Mixed Beverage Tax Revenue	Sales Tax	\$ 18,375.00	\$ 19,000.00	
	Subtotal	Sales Tax	\$ 2,993,375.00	\$ 3,419,000.00	
100-40120	Franchise Tax Telecom	Franchise Taxes	\$ 4,750.00	\$ 3,500.00	
100-40121	Franchise Tax Waste	Franchise Taxes	\$ 24,750.00	\$ 24,750.00	
100-40122	Franchise Tax Electric	Franchise Taxes	\$ 96,000.00	\$ 99,500.00	
100-40123	Franchise Tax Gas	Franchise Taxes	\$ 19,500.00	\$ 20,000.00	
100-40124	Franchise Tax Mustang SUD	Franchise Taxes	\$ 19,000.00	\$ 19,000.00	
	Subtotal	Franchise Taxes	\$ 164,000.00	\$ 166,750.00	
100-40200	Development/Platting/Permit Fees	Licenses & Permits	\$ 35,000.00	\$ 47,500.00	est 30 dev apps
100-40201	Infrastructure Inspection Fees	Licenses & Permits	\$ 45,000.00	\$ 68,000.00	
100-40202	Residential Bldg Permits and Inspections	Licenses & Permits	\$ 115,000.00	\$ 90,000.00	est 10 SFR
100-40203	Commercial Bldg Permits and Inspections	Licenses & Permits	\$ 100,000.00	\$ 100,000.00	
100-40204	Septic Permits and Fees	Licenses & Permits	\$ 8,000.00	\$ 8,500.00	
100-40206	Health Inspection and Fees	Licenses & Permits	\$ 16,000.00	\$ 17,000.00	
100-40207	Alcohol Permit/License	Licenses & Permits	\$ 1,350.00	\$ 1,200.00	
100-40208	Signs Permit and Fees	Licenses & Permits	\$ 4,250.00	\$ 2,800.00	
	Subtotal	Licenses & Permits	\$ 324,600.00	\$ 335,000.00	
100-40210	Municipal Court Fines	Court Revenue	\$ 175,000.00	\$ 190,000.00	
	Subtotal	Court Revenue	\$ 175,000.00	\$ 190,000.00	
100-40300	Administrative Fees	Fines & Fees	\$ 15,000.00	\$ 17,500.00	
100-40301	Administrative Fees-Unpermitted Tree Kill	Fines & Fees	\$ -	\$ -	
100-40314	Credit Card Processing Fee	Fines & Fees	\$ 2,500.00	\$ 2,500.00	
	Subtotal	Fines & Fees	\$ 17,500.00	\$ 20,000.00	
100-40304	MDD Contribution	Contributions	\$ 24,363.00	\$ 26,250.00	
100-40500	Developer Contributions	Contributions	\$ -	\$ -	
	Subtotal	Contributions	\$ 24,363.00	\$ 26,250.00	
100-40306	Interest Revenue	Investment Income	\$ 7,000.00	\$ 5,000.00	
	Subtotal	Investment Income	\$ 7,000.00	\$ 5,000.00	
100-40315	Miscellaneous Income	Miscellaneous	\$ 4,800.00	\$ -	workers comp reimb
100-40320	Pass Through Income	Miscellaneous	\$ -	\$ -	
	Subtotal	Miscellaneous	\$ 4,800.00	\$ -	
100-40410	Intergovernmental Revenue	Intergovernmental	\$ -	\$ -	
100-40412	NEMC Disbursement	Intergovernmental	\$ 201,102.41	\$ -	
100-40413	NEPD Disbursement	Intergovernmental	\$ 316,850.49	\$ -	
100-40419	NEMC Personnel Reimbursement	Intergovernmental	\$ -	\$ -	
100-40450	Grant Revenue	Intergovernmental	\$ -	\$ -	
	Subtotal	Intergovernmental	\$ 517,952.90	\$ -	
100-40910	Transfers In	Transfers	\$ (6,400.00)	\$ -	
	Subtotal	Transfers	\$ (6,400.00)	\$ -	
TOTAL REVENUES - GENERAL FUND			\$ 4,222,190.90	\$ 4,162,000.00	

EXPENSES - GENERAL FUND - 100

ADMINISTRATION - 110

100-110-51101	Payroll Expenses: Wages	Personnel and Benefits	\$ 424,600.00	\$ 469,950.00
100-110-51102	Overtime	Personnel and Benefits	\$ 500.00	\$ 500.00

100 - GENERAL FUND

Account #	Account Description	Category	FY 22 Adopted		Notes
			Amendment	FY 23	
100-110-51105	Longevity Pay	Personnel and Benefits	\$ 795.00	\$ 5,950.00	
100-110-51109	Auto Allowance	Personnel and Benefits	\$ 1,800.00	\$ 1,800.00	
100-110-51210	Payroll Expenses: Company Contributions:	Personnel and Benefits	\$ 32,150.00	\$ 37,596.00	
100-110-51215	Payroll Expenses: Taxes	Personnel and Benefits	\$ 37,050.00	\$ 36,656.10	
100-110-51216	Employee Health Benefits	Personnel and Benefits	\$ 44,000.00	\$ 48,450.00	
100-110-51220	Workers Compensation	Personnel and Benefits	\$ 6,450.00	\$ 7,750.00	
100-110-51230	Unemployment	Personnel and Benefits	\$ 500.00	\$ 2,000.00	
100-110-51250	Mileage Reimbursements-Non Tax	Personnel and Benefits	\$ 100.00	\$ 150.00	
100-110-51255	Miscellaneous Reimbursements	Personnel and Benefits	\$ 100.00	\$ 100.00	
	Subtotal	Personnel and Benefits	\$ 548,045.00	\$ 610,902.10	
100-110-52014	Office Supplies	Supplies	\$ 7,500.00	\$ 7,500.00	
100-110-52030	Postage	Supplies	\$ 1,500.00	\$ 1,250.00	
100-110-52100	Minor Tools and Equipment	Supplies	\$ 1,900.00	\$ 2,200.00	copier & postage machine
	Subtotal		\$ 10,900.00	\$ 10,950.00	
100-110-53001	Accounting and Auditing Fees	Contractual Services	\$ 7,500.00	\$ 15,000.00	new auditor
100-110-53002	Advertising and Promotion	Contractual Services	\$ 12,000.00	\$ 12,000.00	
100-110-53004	Software	Contractual Services	\$ 27,000.00	\$ 28,000.00	
100-110-53006	Codification Services	Contractual Services	\$ 2,000.00	\$ 3,250.00	sub/zoning
100-110-53007	Administrative Expenses	Contractual Services	\$ -	\$ -	
100-110-53010	Property and Liability Insurance	Contractual Services	\$ 8,500.00	\$ 8,600.00	
100-110-53012	Legal Fees	Contractual Services	\$ 60,000.00	\$ 75,000.00	assuming litigation
100-110-53015	Dues and Subscriptions	Contractual Services	\$ 900.00	\$ 1,000.00	
100-110-53016	Public Notices/Dues	Contractual Services	\$ 1,200.00	\$ 1,000.00	
100-110-53022	Training and Travel	Contractual Services	\$ 12,000.00	\$ 14,000.00	Council & Staff
100-110-53028	Lovetts 380 Agreement	Contractual Services	\$ -	\$ -	
100-110-53030	PayPal Charge	Contractual Services	\$ 2,500.00	\$ 2,500.00	
100-110-53045	Lease and CAM Pmts - Town Hall	Contractual Services	\$ 68,900.00	\$ 68,900.00	
100-110-53050	Careflite Services	Contractual Services	\$ 2,000.00	\$ 2,400.00	
100-110-53055	City of Aubrey Library Fund	Contractual Services	\$ 21,500.00	\$ 21,500.00	
100-110-53080	Engineering Services	Contractual Services	\$ 60,000.00	\$ 65,000.00	inspection increasing strategic plan & zoning/subd, retreat
100-110-53083	Professional Services	Contractual Services	\$ 50,000.00	\$ 85,000.00	
100-110-53110	Utilities	Contractual Services	\$ 6,600.00	\$ 6,750.00	
100-110-53225	Interlocal Fire	Contractual Services	\$ 452,830.00	\$ 452,300.00	
100-110-53610	Election Expense	Contractual Services	\$ 8,000.00	\$ 6,500.00	
100-110-53800	Sales Tax Overpmt 12/21 to 5/25 Payback	Contractual Services	\$ 16,920.00	\$ 20,304.00	
	Subtotal	Contractual Services	\$ 820,350.00	\$ 889,004.00	
100-110-54010	Building Maintenance/Cleaning	Maintenance	\$ 5,500.00	\$ 6,000.00	
100-110-54020	Vehicles Maintenance	Maintenance	\$ 2,300.00	\$ 2,500.00	
	Subtotal	Maintenance	\$ 7,800.00	\$ 8,500.00	
100-110-58007	Capital Improvements	Capital Outlay	\$ 27,000.00	\$ 6,500.00	
	Subtotal	Capital Outlay	\$ 27,000.00	\$ 6,500.00	
ADMINISTRATION - 110		TOTAL	\$ 1,414,095.00	\$ 1,525,856.10	
MUNICIPAL COURT - 210					
100-210-51101	Payroll Expenses: Wages	Personnel and Benefits	\$ 7,500.00	\$ 9,500.00	
100-210-51215	Payroll Expenses: Taxes	Personnel and Benefits	\$ 575.00	\$ 741.00	
100-210-51230	Unemployment	Personnel and Benefits	\$ 10.00	\$ 14.25	
	Subtotal	Personnel and Benefits	\$ 8,085.00	\$ 10,255.25	
100-210-52014	Office Supplies	Supplies	\$ 3,500.00	\$ 3,000.00	
100-210-52020	Court Supplies	Supplies	\$ 1,250.00	\$ 1,250.00	
100-210-52030	Postage	Supplies	\$ 1,000.00	\$ 2,250.00	
100-210-52100	Minor Tools and Equipment	Supplies	\$ 1,000.00	\$ 1,350.00	

100 - GENERAL FUND

Account #	Account Description	Category	FY 22 Adopted		Notes
			Amendment	FY 23	
	Subtotal	Supplies	\$ 6,750.00	\$ 7,850.00	
100-210-53001	Accounting and Auditing	Contractual Services	\$ 1,400.00	\$ -	
100-210-53004	Software	Contractual Services	\$ 650.00	\$ -	
100-210-53015	Dues and Subscriptions	Contractual Services	\$ 250.00	\$ 250.00	
100-210-53022	Training and Travel	Contractual Services	\$ 500.00	\$ 500.00	
100-210-53075	Prosecutor	Contractual Services	\$ 18,000.00	\$ 21,500.00	
100-210-53076	Jury	Contractual Services	\$ 500.00	\$ 500.00	
100-210-53077	Interpreter	Contractual Services	\$ 750.00	\$ 750.00	
100-210-53078	Arrest/Jail Fees	Contractual Services	\$ 1,250.00	\$ 1,250.00	
	Subtotal	Contractual Services	\$ 23,300.00	\$ 24,750.00	
100-210-58010	Capital Equipment	Capital Outlay	\$ 1,250.00	\$ -	
	Subtotal	Capital Outlay	\$ 1,250.00	\$ -	
MUNICIPAL COURT - 210		TOTAL	\$ 39,385.00	\$ 42,855.25	
POLICE -310					
100-310-51101	Payroll Expenses: Wages	Personnel and Benefits	\$ 815,000.00	\$ 943,500.00	
100-310-51102	Overtime	Personnel and Benefits	\$ 35,000.00	\$ 36,000.00	
100-310-51105	Longevity Pay	Personnel and Benefits	\$ 400.00	\$ 1,750.00	
100-310-51108	Incentive Pay	Personnel and Benefits	\$ 6,000.00	\$ 7,000.00	
100-310-51210	Payroll Expenses: Company Contributions:	Personnel and Benefits	\$ 61,700.00	\$ 75,480.00	
100-310-51215	Payroll Expenses: Taxes	Personnel and Benefits	\$ 65,000.00	\$ 73,593.00	
100-310-51216	Employee Health Benefits	Personnel and Benefits	\$ 93,000.00	\$ 104,500.00	
100-310-51220	Workers Compensation	Personnel and Benefits	\$ 38,300.00	\$ 34,000.00	
100-310-51230	Unemployment	Personnel and Benefits	\$ 3,500.00	\$ 4,150.00	
	Subtotal	Personnel and Benefits	\$ 1,117,900.00	\$ 1,279,973.00	
100-310-52005	Uniforms	Supplies	\$ 20,000.00	\$ 10,000.00	
100-310-52010	Law Enforcement Supplies	Supplies	\$ 5,000.00	\$ 5,000.00	
100-310-52014	Office Supplies	Supplies	\$ 5,000.00	\$ 5,000.00	
100-310-52015	Evidence Supplies	Supplies	\$ 2,000.00	\$ 2,000.00	
100-310-52030	Postage	Supplies	\$ 1,250.00	\$ 1,300.00	
100-310-52050	Fuel	Supplies	\$ 40,000.00	\$ 35,000.00	
100-310-52100	Minor Tools and Equipment	Supplies	\$ 3,500.00	\$ 5,000.00	
	Subtotal	Supplies	\$ 76,750.00	\$ 63,300.00	
100-310-53004	Software	Contractual Services	\$ 18,400.00	\$ 10,000.00	
100-310-53010	Property and Liability Insurance	Contractual Services	\$ 15,000.00	\$ 16,000.00	
100-310-53012	Legal Fees	Contractual Services	\$ 2,500.00	\$ 2,500.00	
100-310-53015	Dues and Subscriptions	Contractual Services	\$ 1,500.00	\$ 1,100.00	
100-310-53022	Training and Travel	Contractual Services	\$ 11,500.00	\$ 11,500.00	
100-310-53033	Community Events	Contractual Services	\$ 5,000.00	\$ 5,000.00	
100-310-53081	Information Technology Services	Contractual Services	\$ 16,750.00	\$ 22,000.00	
100-310-53083	Professional Services	Contractual Services	\$ 22,800.00	\$ 15,000.00	
100-310-53091	Landscaping	Contractual Services	\$ 3,500.00	\$ 5,000.00	
100-310-53110	Utilities	Contractual Services	\$ 7,500.00	\$ 8,000.00	
100-310-53130	Telephone Mobile	Contractual Services	\$ 13,000.00	\$ 10,000.00	
100-310-53210	Animal Control	Contractual Services	\$ 14,500.00	\$ 14,700.00	
100-310-53230	County Public Safety Fees	Contractual Services	\$ 32,500.00	\$ 32,000.00	*comm & dispatch \$22,557
	Subtotal	Contractual Services	\$ 164,450.00	\$ 152,800.00	
100-310-54010	Building Maintenance/Cleaning	Maintenance	\$ 20,000.00	\$ 9,000.00	
100-310-54020	Vehicles Maintenance	Maintenance	\$ 21,000.00	\$ 20,000.00	
	Subtotal	Maintenance	\$ 41,000.00	\$ 29,000.00	
POLICE - 310		TOTAL	\$ 1,400,100.00	\$ 1,525,073.00	

PARKS & RECREATION - 410

100 - GENERAL FUND

Account #	Account Description	Category	FY 22 Adopted Amendment	FY 23	Notes
XXX-XXX-XXXXX	Park Improvements (For FY 21 Only)		\$ -	\$ 9,300.00	
100-410-53002	Advertising and Promotion	Contractual Services	\$ -	\$ 6,400.00	Added at Park Board req Per parks \$11,300 for clean-up/\$13K other
100-410-53035	Park Events	Contractual Services	\$ 15,000.00	\$ 24,300.00	
100-410-53110	Utilities	Contractual Services	\$ 1,000.00	\$ 1,000.00	
	Subtotal	Contractual Services	\$ 16,000.00	\$ 41,000.00	
100-410-54030	Park Maintenance	Maintenance	\$ 11,500.00	\$ 24,141.00	Per Park Board
	Subtotal	Maintenance	\$ 11,500.00	\$ 24,141.00	
PARKS & RECREATION - 410		TOTAL	\$ 27,500.00	\$ 65,141.00	
COMMUNITY DEVELOPMENT - 510					
100-510-53084	Code Enforcement	Contractual Services	\$ 2,000.00	\$ 2,000.00	
	Subtotal	Contractual Services	\$ 2,000.00	\$ 2,000.00	
COMMUNITY DEVELOPMENT - 510		TOTAL	\$ 2,000.00	\$ 2,000.00	
INSPECTIONS - 520					
100-520-53085	Res & Com Building Review & Insp	Contractual Services	\$ 15,000.00	\$ 8,500.00	use if OHR Ph 2 starts
100-520-53090	Sanitation Services	Contractual Services	\$ 14,000.00	\$ 15,000.00	
	Subtotal	Contractual Services	\$ 29,000.00	\$ 23,500.00	
INSPECTIONS - 520		TOTAL	\$ 29,000.00	\$ 23,500.00	
PUBLIC WORKS - 610					
100-610-53060	Street Materials and Signs	Contractual Services	\$ 8,000.00	\$ 8,000.00	
100-610-53065	Mowing and ROW Cleanup	Contractual Services	\$ 38,500.00	\$ 38,500.00	
100-610-53070	Street Repairs - Maintenance *	Contractual Services	\$ 50,000.00	\$ 50,000.00	Moved Capital to Road Imp Fund, maintenance only
100-610-53110	Utilities	Contractual Services	\$ 2,500.00	\$ 2,600.00	
	Subtotal	Contractual Services	\$ 99,000.00	\$ 99,100.00	
PUBLIC WORKS - 610		TOTAL	\$ 99,000.00	\$ 99,100.00	
TRANSFERS OUT - 710					
100-710-59100	Transfers Out	Transfers	\$ -	\$ -	
TRANSFERS OUT - 710		TOTAL	\$ -	\$ -	
DECISION PACKAGE - OPERATING EXPENSE					
	Operating Expense Decision Package	n/a	\$ -	\$ -	
TOTAL OPERATING EXPENSES - GENERAL FUND		TOTAL	\$ -	\$ -	
Net Operating Income			\$ 1,211,110.90	\$ 878,474.65	
TRANSFERS OUT - 710 - FUND BALANCE - CAPITAL					
100-710-59100	Transfers Out - Vehicle/Equip Repl.	Transfers	\$ 275,000.00	\$ 75,000.00	
100-710-59100	Transfers Out - Pub. Saf. Bldg	Transfers	\$ -	\$ -	
100-710-59100	Transfers Out - Park Imp	Transfers	\$ 75,000.00	\$ -	
100-710-59100	Transfers Out - Road Imp. (.1429)*	Transfers	\$ 425,127.50	\$ 485,860.00	
100-710-59100	Transfers Out - Road Imp.	Transfers	\$ 1,100,000.00	\$ 100,000.00	
100-710-59100	Transfers Out - Cap Imp.	Transfers	\$ 625,000.00	\$ -	
100-710-59100	Transfers Out - Legal Contingency	Transfers	\$ 250,000.00	\$ -	
100-710-59100	Transfers Out - Court Tech	Transfers	\$ 20,000.00	\$ -	

100 - GENERAL FUND

Account #	Account Description	Category	FY 22 Adopted Amendment	FY 23	Notes
100-710-59100	Transfers Out - Court Security	Transfers	\$ 32,831.30	\$ -	
100-710-59100	Transfers Out - Other Rest. Court	Transfers	\$ 6,400.00	\$ -	
100-710-59100	Transfers Out - Police Donations	Transfers	\$ 11,949.48	\$ -	
TOTAL TRANSFERS OUT			\$ 2,821,308.28	\$ 660,860.00	
Income			\$ (1,610,197.38)	\$ 217,614.65	
Beginning Balance		\$ 1,571,336.00	\$ 2,948,035.00	\$ 1,337,837.62	
Ending Balance		\$ 2,948,035.00	\$ 1,337,837.62	\$ 1,555,452.27	
% Reserve			44.4%	47%	
Days of Reserve			162.17	172.91	

150 - LEGAL CONTINGENCY FUND

Account #	Account Description	Category	FY 22 Adopted Amendment	FY 23	Notes
REVENUES - LEGAL CONTINGENCY FUND - 150					
150-40306	Interest Revenue	Investment Income		\$ 1,012.30	
150-40910	Transfers In	Transfer	\$ 250,000.00	\$ -	
TOTAL REVENUES - LEGAL CONTINGENCY FUND			\$ 250,000.00	\$ 1,012.30	
EXPENSES - LEGAL CONTINGENCY FUND - 150					
150-110-53083	Professional Services	Contractual Services			
150-110-59100	Transfers Out	Capital Outlay		\$ -	
TOTAL EXPENSES - LEGAL CONTINGENCY FUND			\$ -	\$ -	
Net Income			\$ 250,000.00	\$ 1,012.30	
Beginning Balance FY 21		\$ 253,702.67	\$ 256,147.75	\$ 506,147.75	
Ending Balance FY 21		\$ 254,947.75	\$ 506,147.75	\$ 507,160.05	

210- MDD FUND

Account #	Account Description	Category	FY 22 Proposed		Notes
			Amendment	FY 23	
REVENUES - MUNICIPAL DEVELOPMENT FUND - 210					
210-40100	Sales Tax Revenue	Sales Tax	\$ 450,000.00	\$ 485,000.00	
210-40306	Interest Revenue	Investment Income	\$ 1,500.00	\$ 1,750.00	
210-40350	Rental Income	Miscellaneous	\$ 10,000.00	\$ 15,000.00	
210-40620	Debt Proceeds	Other Income	\$ 607,500.00	\$ -	
210-40910	Transfers In	Transfers	\$ -	\$ -	
TOTAL REVENUES - MUNICIPAL DEVELOPMENT FUND			\$ 1,069,000.00	\$ 501,750.00	

EXPENSES - MUNICIPAL DEVELOPMENT FUND - 210					
210-110-53002	Advertising and Promotion	Contractual Services	\$ 38,000.00	\$ 40,000.00	
210-110-53004	Software	Contractual Services	\$ 1,000.00	\$ 1,500.00	
210-110-53007	Administrative Expenses	Contractual Services	\$ 25,113.00	\$ 27,850.00	
210-110-53015	Dues and Subscriptions	Contractual Services	\$ 3,725.00	\$ 4,000.00	
210-110-53022	Training and Travel	Contractual Services	\$ 4,000.00	\$ 7,500.00	
210-110-53025	MDD Business Grant	Contractual Services	\$ 75,000.00	\$ 75,000.00	
210-110-53100	Planning/Consulting	Contractual Services	\$ 65,000.00	\$ 65,000.00	
210-110-53110	Utilities	Contractual Services	\$ 500.00	\$ 1,500.00	
210-110-53805	Property Taxes	Contractual Services	\$ -	\$ 13,600.00	
210-110-54018	Rental Property Repair	Maintenance	\$ 40,000.00	\$ 40,000.00	
210-110-56010	Debt Principal	Debt Service	\$ 24,568.51	\$ 33,591.46	
210-110-56020	Debt Interest	Debt Service	\$ 12,945.95	\$ 16,427.82	
210-110-56030	Debt Issuance Costs	Contractual Services	\$ 7,500.00	\$ -	
210-110-58007	Capital Improvements	Capital Outlay	\$ 810,000.00	\$ -	
210-710-59100	Transfers Out	Capital Outlay	\$ -	\$ -	

TOTAL EXPENSES - MUNICIPAL DEVELOPMENT FUND			\$ 1,107,352.46	\$ 325,969.28	
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Net Income			\$ (38,352.46)	\$ 175,780.72	
Beginning Balance FY 21	\$ 385,414.00		\$ 541,584.00	\$ 503,231.54	
Ending Balance FY 21	\$ 541,584.00		\$ 503,231.54	\$ 679,012.26	

230 - GRANTS FUND

Account #	Account Description	Category	FY 22 Proposed Amendment	FY 23	Notes
REVENUES - GRANTS FUND - 230					
230-40306	Interest Revenue	Investment Income		\$ -	
230-40450	Grant Revenue	Intergovernmental		\$ -	
230-40910	Transfers In	Capital Outlay		\$ -	
TOTAL REVENUES - GRANTS FUND			\$ -	\$ -	
EXPENSES -GRANTS FUND - 230					
230-110-53083	Professional Services	Contractual Services			
230-110-55050	Grant Expenses	Grants		\$ -	
230-110-58007	Capital Improvements	Capital Outlay		\$ -	
TOTAL EXPENSES - GRANTS FUND			\$ -	\$ -	
Net Income			\$ -		
Beginning Balance FY 21			\$ -	\$ -	
Ending Balance FY 21			\$ -	\$ -	

240 - Court Technology

Account #	Account Description	Category	FY 22 Adopted		Notes
			Amendment	FY 23	
REVENUES - COURT TECH - 240					
240-40215	Court Technology Revenue	Court Revenue	\$ 6,000.00	\$ 7,500.00	
240-40306	Interest Revenue	Investment Income	\$ 25.00	\$ -	
	Transfer In - NEMC Funds		\$ 20,000.00	\$ -	
			\$ -		
TOTAL REVENUES - COURT TECH FUND			\$ 26,025.00	\$ 7,500.00	
EXPENSES - COURT TECH FUND - 240					
240-210-52510	Court Technology	Municipal Court	\$ 13,000.00	\$ 9,500.00	
240-210-59100	Transfers Out	Capital Outlay		\$ -	
TOTAL EXPENSES - COURT TECH FUND			\$ 13,000.00	\$ 9,500.00	
Net Income			\$ 13,025.00	\$ (2,000.00)	
Beginning Balance FY 21			\$ -	\$ 13,025.00	
Ending Balance FY 21			\$ -	\$ 11,025.00	

241 COURT SECURITY FUND

Account #	Account Description	Category	FY 22 Adopted Amendment	FY 23	Notes
REVENUES - COURT SECURITY -241					
241-40220	Court Security Revenue	Court Revenue	\$ 4,500.00	\$ 5,625.00	
241-40306	Interest Revenue	Investment Income	\$ 25.00	\$ -	
	Transfer In		\$ 32,831.30	\$ -	

TOTAL REVENUES - COURT TECH FUND			\$ 37,356.30	\$ 5,625.00	
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EXPENSES - COURT SECURITY FUND - 241					
241-210-52520	Court Security	Municipal Court	\$ 9,050.00	\$ 4,500.00	alarms/monitoring
241-210-53022	Training and Travel	Contractual Services	\$ 500.00	\$ 500.00	
241-210-53072	Bailiff Fees	Contractual Services	\$ 3,000.00	\$ -	
241-210-59100	Transfers Out	Capital Outlay	\$ 18,000.00	\$ -	

TOTAL EXPENSES - COURT TECH FUND			\$ 30,550.00	\$ 5,000.00	
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Net Income			\$ 6,806.30	\$ 625.00	
Beginning Balance FY 21	\$ -	\$ -	\$ -	\$ 6,806.30	
Ending Balance FY 21	\$ -	\$ 6,806.30	\$ 6,806.30	\$ 7,431.30	

242 - TRUANCY FUND

Account #	Account Description	Category	FY 22 Adopted Amendment	FY 23	Notes
REVENUES - TRUANCY - 242					
242-40242	Truancy Prevention Revenue	Court Revenue	\$ 2,200.00	\$ 5,625.00	
242-40910	Transfers In	Transfers	\$ -	\$ -	
TOTAL REVENUES - TRUANCY FUND			\$ 2,200.00	\$ 5,625.00	
EXPENSES - TRUANCY -242					
				\$ -	
TOTAL EXPENSES - JURY FUND				\$ -	
Net Income			\$ 2,200.00	\$ 5,625.00	
Beginning Balance FY 21			\$ -	\$ 2,200.00	
Ending Balance FY 21			\$ -	\$ 7,825.00	

243 -JURY FUND

Account #	Account Description	Category	FY 22 Proposed Amendment	FY 23	Notes
REVENUES - JURY - 243					
243-40245	Jury Fees	Court Revenue	\$ 50.00	\$ 100.00	
243-40910	Transfers In	Transfers		\$ -	
TOTAL REVENUES - JURY FUND			\$ 50.00	\$ 100.00	
EXPENSES - JURY - 243					
				\$ -	
TOTAL EXPENSES - JURY FUND				\$ -	
Net Income			\$ 50.00	\$ 100.00	
Beginning Balance FY 21		\$ -	\$ -	\$ 50.00	
Ending Balance FY 21		\$ -	\$ 50.00	\$ 150.00	

260 - LEOSE FUND

Account #	Account Description	Category	FY 22 Proposed Amendment	FY 23	Notes
REVENUES - LEOSE - 260					
260-40306	Interest Revenue	Investment Income		\$ -	
260-40460	State LEOSE Funds	Intergovernmental		\$ 1,100.00	
TOTAL REVENUES - LEOSE FUND			\$ -	\$ 1,100.00	
EXPENSES - LEOSE - 260					
260-310-53022	Training and Travel	Contractual Services		\$ 1,100.00	
TOTAL EXPENSES - LEOSE FUND			\$ -	\$ 1,100.00	
Net Income			\$ -	\$ -	
Beginning Balance FY 21			\$ -	\$ 750.00	
Ending Balance FY 21			\$ -	\$ 750.00	

265 - POLICE DONATIONS FUND

FY 22 Adopted

Account #	Account Description	Category	Amendment	FY 23	Notes
REVENUES - POLICE DONATIONS FUND - 265					
265-40250	Child Safety Revenue	Contributions		\$ 1,700.00	
265-40420	Police Donations	Donations	\$ 11,949.48	\$ -	
265-40450	Grant Revenue	Intergovernmental		\$ -	
TOTAL REVENUES - LEOSE FUND			\$ 11,949.48	\$ 1,700.00	
EXPENSES - POLICE DONATIONS FUND - 265					
265-310-52014	Office Supplies	Supplies		\$ -	
265-310-52530	Donated Police Expenditures	Supplies	\$ 11,000.00	\$ 11,000.00	
265-310-55050	Grant Expenses	Grants			
265-310-58010	Capital Equipment	Capital Outlay		\$ -	
TOTAL EXPENSES - POLICE DONATIONS FUND			\$ 11,000.00	\$ 11,000.00	
Net Income			\$ 949.48	\$ (9,300.00)	
Beginning Balance FY 21			\$ -	\$ 949.48	
Ending Balance FY 21			\$ -	\$ (8,350.52)	

310 - CAPITAL IMPROVEMENTS

Account #	Account Description	Category	FY 22 Proposed Amendment	FY 23	Notes
REVENUES - CAPITAL IMPROVEMENT FUND - 310					
310-40306	Interest Revenue	Investment Income		\$ 5,840.00	
310-40500	Developer Contributions	Contributions		\$ -	
310-40910	Transfers In	Transfers	\$ 625,000.00	\$ -	
TOTAL REVENUES - CAPITAL IMPROVEMENT FUND			\$ 625,000.00	\$ 5,840.00	
EXPENSES - CAPITAL IMPROVEMENT FUND - 310					
310-610-53083	Professional Services	Contractual Services	\$ 30,000.00		
310-610-58007	Capital Improvements	Capital Outlay	\$ 50,000.00		No specific project
310-110-59100	Transfers Out	Capital Outlay		\$ -	
TOTAL EXPENSES - CAPITAL IMPROVEMENT FUND			\$ 80,000.00	\$ -	
Net Income			\$ 545,000.00	\$ 5,840.00	
Beginning Balance FY 21		\$ -	\$ 39,000.00	\$ 584,000.00	
Ending Balance FY 21		\$ 39,000.00	\$ 584,000.00	\$ 589,840	

320 - PARK IMPROVEMENT

Account #	Account Description	Category	FY 22 Proposed		Notes
			Amendment	FY 23	
REVENUES - PARK IMPROVEMENT FUND - 320					
	Administrative Fees-				
320-40301	Unpermitted Tree Kill Fine	Fines and Fees	\$ -	\$ -	
320-40306	Interest Revenue	Investment Income	\$ -		
320-40450	Grant Revenue	Intergovernmental	\$ -	\$ -	
320-40455	Donations	Donations	\$ -	\$ -	
320-40910	Transfers In - GF	Transfers	\$ 75,000.00	\$ -	
320-40910	Transfers In -COVID	Transfers	\$ -	\$ 194,000.00	COVID FUNDS??
TOTAL REVENUES - CAPITAL IMPROVEMENT FUND			\$ 75,000.00	\$ 194,000.00	

EXPENSES - PARK IMPROVEMENT FUND - 310					
320-410-53083	Professional Services	Contractual Services	\$ -	\$ 30,000.00	
320-410-58007	Capital Improvements	Capital Outlay	\$ 18,000.00	\$ 100,000.00	Park Board Request Below
320-410-59100	Transfers Out	Capital Outlay	\$ -	\$ -	
320-110-59100	Transfers Out	Capital Outlay	\$ -	\$ -	
TOTAL EXPENSES - PARK IMPROVEMENT FUND			\$ 18,000.00	\$ 130,000.00	

Net Income		\$ 57,000.00	\$ 64,000.00
Beginning Balance FY 21	\$ -	\$ 23,025.00	\$ 80,025.00
Ending Balance FY 21	\$ 23,025.00	\$ 80,025.00	\$ 144,025.00

FY 22 Capital Improvements:	FY23: Park Board Request
\$2,000 for Porta Potty surround	\$69,500 Playground Equipment
\$2,000 for Bulletin Board in the Park	\$14,800 Install Playground
\$3,500 for overhead fans and installation	\$9,500 Playground surfacing
\$9,500 to run water lines and install water fountain	\$6,200 Ground Prep for playground
???? Sign frame at each entrance	<i>Not requested: Grant Writer</i>

330 - VEHICLE/EQUIPMENT REPLACEMENT

FY 22

Account #	Account Description	Category	Amendment	FY 23	Notes
REVENUES - VEHICLE/EQUIPMENT REPLACEMENT FUND - 330					
330-40306	Interest Revenue	Investment Income	\$ -	\$ -	
330-40610	Insurance Proceeds	Other Income		\$ -	
330-40910	Transfers In - COVID	Transfers	\$ 185,000.00	\$ -	
330-40910	Transfers In - GF	Transfers	\$ 275,000.00	\$ 75,000.00	

TOTAL REVENUES - VEHICLE REPLACEMENT FUND **\$ 460,000.00** **\$ 75,000.00**

EXPENSES - VEHICLE/EQUIPMENT REPLACEMENT FUND - 310

330-110-58010	Capital Equipment	Capital Outlay	\$ 200,000.00	\$ 95,000.00	Carryover from Chief Priorities 1-4 not spent in FY22
330-110-58010	Capital - Vehicles	Capital Outlay	\$ -	\$ 60,000.00	
330-110-59100	Transfers Out	Capital Outlay	\$ -	\$ -	

TOTAL EXPENSES - VEHICLE/EQUIPMENT REPLACEMENT FUND **\$ 200,000.00** **\$ 155,000.00**

Net Income		\$ 260,000.00	\$ (80,000.00)
Beginning Balance FY 21	\$ -	\$ -	\$ 260,000.00
Ending Balance FY 21	\$ -	\$ 260,000.00	\$ 180,000.00

FY 21 Audited Beginning Fund Balance \$ -

FY 22	FY 22 cont.	FY23
Tasers	Heavy Vest/Plate Carrier	Carry Over from FY22
Computers	Ticket Writer Program	New Police Car
Pistols	Lockers	
Mobile Video System	Portable Radios	
Rifles	Vehicle Cover	

350 - PUBLIC SAFETY BUILDING FUND

Account #	Account Description	Category	FY 22 Proposed Amendment		FY 23	Notes	
REVENUES - PUBLIC SAFETY BUILDING FUND - 350							
350-40306	Interest Revenue	Investment Income	\$	1,500.00	\$	1,372.52	
350-40500	Developer Contributions	Contributions	\$	-	\$	-	
350-40910	Transfers In	Transfers	\$	-	\$	-	
TOTAL REVENUES - PUBLIC SAFETY BUILDING FUND			\$	1,500.00	\$	1,372.52	
EXPENSES - PUBLIC SAFETY BUILDING FUND - 350							
350-110-53083	Professional Services	Contractual Services	\$	-			
350-110-58007	Capital Improvements	Capital Outlay	\$	-			
350-110-59100	Transfers Out	Capital Outlay	\$	-	\$	-	
TOTAL EXPENSES - PUBLIC SAFETY BUILDING FUND			\$	-	\$	-	
Net Income			\$	1,500.00	\$	1,372.52	
Beginning Balance FY 21		\$	681,417.15	\$	684,761.30	\$	686,261.30
Ending Balance FY 21		\$	684,761.30	\$	686,261.30	\$	687,633.82

370 - ROAD IMPROVEMENT

Account #	Account Description	Category	FY 22 Proposed		Notes
			Amendment	FY 23	
REVENUES - ROAD IMPROVEMENT FUND - 370					
370-40306	Interest Revenue	Investment Income	\$ 1,000.00	\$ 2,688.79	
370-40410	Intergovernmental Revenue	Intergovernmental	\$ -		
370-40500	Developer Contributions	Contributions	\$ -		
370-40910	Transfers In	Transfers	\$ 1,100,000.00	\$ 100,000.00	Per Council
370-40910	Transfers In - .1429 of sales tax	Transfers	\$ 425,127.50	\$ 485,860.00	Txfr from GF for Capital Exp

TOTAL REVENUES - ROAD IMPROVEMENT FUND	\$ 1,526,127.50	\$ 588,548.79
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EXPENSES - ROAD IMPROVEMENT FUND - 370					
370-610-53083	Professional Services	Contractual Services	\$ 50,000.00	\$ 124,000.00	
370-610-58007	Capital Improvements	Capital Outlay	\$ 500,000.00	\$ 740,000.00	
370-110-59100	Transfers Out	Capital Outlay	\$ -	\$ -	

TOTAL EXPENSES - ROAD IMPROVEMENT FUND	\$ 550,000.00	\$ 864,000.00
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Net Income		\$ 976,127.50	\$ (275,451.21)
Beginning Balance	\$ 217,201.00	\$ 368,266.96	\$ 1,344,394.46
Ending Balance	\$ 368,266.96	\$ 1,344,394.46	\$ 1,068,943.25

Road Projects:

FY22 -23:		FY 22	FY 23
Tipps Road Culvert	\$ 100,000.00	\$ 100,000.00	
Phase 1 Roads	\$ 918,000.00		
<i>Spring Mountain</i>	\$ 405,000.00	\$ 50,000.00	\$ 355,000.00
<i>Mill Creek</i>	\$ 435,000.00	\$ 50,000.00	\$ 385,000.00
<i>Engineering</i>	\$ 44,000.00	\$ 38,000.00	\$ 6,000.00
<i>Inspections</i>	\$ 34,000.00	\$ 5,000.00	\$ 33,000.00
FY 23-24			
Historic Bridge	\$ 500,000.00	\$ -	\$ 40,000.00
<i>Engineering</i>			
<i>Construction</i>			
<i>Inspections</i>			

400 - PID #1 VILLAGES FUND

Account #	Account Description	Category	As of 5/31/22	FY 22 Proposed	FY 22 Proposed Amendment	FY 23	Notes
REVENUES - PID #1 VILLAGES FUND - 400							
400-40190	PID Assessment Income	Assessment Income	\$ 96,850.10	\$ -		\$ 100,405.10	
400-40191	PID Delinquent Income	Assessment Income					
400-40192	PID Penalty and Interest Income	Assessment Income				\$ -	
400-40306	Interest Revenue	Investment Income	\$ 204.58	\$ -		\$ 200.00	
TOTAL REVENUES - PID #1 VILLAGES FUND			\$ 97,054.68	\$ -	\$ -	\$ 100,605.10	
EXPENSES - PID #1 VILLAGES FUND - 400							
400-110-53007	Administrative Expenses	Contractual Services	\$ 3,725.78	\$ -		\$ 5,500.00	
400-110-53012	Legal Fees	Contractual Services	\$ 68.75	\$ -		\$ 500.00	
400-110-53915	Developer Distribution	Contractual Services	\$ 93,162.91	\$ -		\$ 94,000.00	
400-110-59100	Transfers Out	Capital Outlay	\$ (200.00)	\$ -		\$ -	
TOTAL EXPENSES - ROAD IMPROVEMENT FUND			\$ 96,757.44	\$ -	\$ -	\$ 100,000.00	
Net Income			\$ (96,757.44)	\$ -	\$ -	\$ 605.10	
Beginning Balance FY 21			\$ 3,657.96	\$ 99,516.47	\$ 99,516.47	\$ 99,516.47	
Ending Balance FY 21			\$ 99,516.47	\$ 2,759.03	\$ 99,516.47	\$ 100,122	

510 - COVID

Account #	Account Description	Category	FY 22 Proposed Amendment	FY 23	Notes
REVENUES - COVID FUND - 510					
510-40306	Interest Revenue	Investment Income	\$ 200.00	\$ 1,500.00	
510-40410	Intergovernmental Revenue	Intergovernmental	\$ -		
510-40450	Grant Revenue	Intergovernmental	\$ 188,192.95	\$ 187,821.00	
510-40910	Transfers In	Transfers	\$ -	\$ -	
TOTAL REVENUES - COVID FUND			\$ 188,392.95	\$ 189,321.00	
EXPENSES - COVID FUND - 510					
510-110-53030	PayPal Charge (Bank Charge)	Contractual Services		\$ -	
510-110-53083	Professional Services	Contractual Services			
510-110-55050	Grant Expenses	Grants			
510-110-58007	Capital Improvements	Capital Outlay			
510-110-59100	Transfers Out - To Vehicle Replacement	Capital Outlay	\$ 185,000.00	\$ -	
510-110-59100	Transfers Out - Parks	Capital Outlay	\$ -	\$ 194,000.00	
TOTAL EXPENSES - COVID FUND			\$ 185,000.00	\$ 194,000.00	
Net Income			\$ 3,392.95	\$ (4,679.00)	
Beginning Balance FY 21		\$ 9,827.43	\$ 1,322.46	\$ 4,715.41	
Ending Balance FY 21		\$ 1,322.46	\$ 4,715.41	\$ 36.41	



COUNCIL AGENDA BRIEFING SHEET

Meeting Date:
July 25, 2022

Agenda Item:
Consider approval of an ordinance limiting traffic on the bridges on Historic Lane to two axles.

Requested by:
Mayor Tompkins

Prepared by:
Kristi Gilbert, Town Administrator

Description:
Mayor Tompkins has requested that the two bridges located on Historic Lane be limited to a maximum of two axles due to their narrow size and condition. The Council had discussed this item at the June 20, 2022 meeting and determined it was appropriate to discuss further at the July meeting with the Town Engineer present.

The Town Engineer recently inspected the bridge located in the curve of Historic Lane/Potter Shop Road in response to a request by Staff. The inspection resulted in the determination that one of the two metal culverts has completely rusted out on the bottom. As a result of the inspection, it was also determined that lining the culvert is not a possibility. Staff is currently working with the Town Engineer to determine the costs associated with repairs. At this point in time, the structural integrity of the bridge has not been undermined, however, it is important to manage the weight of the traffic to allow time to plan and prepare for the repairs.

Adopting a weight limit for the bridge is problematic for two reasons. The first being that it is difficult to determine an adequate weight to utilize for the bridge. The second is that it is difficult for the Police Department to enforce due to not having appropriate weights and measures tools which is typically handled at the County or State level.

The easiest way to monitor and enforce the heavier traffic is through limiting the traffic by number of axles. Attached is an ordinance that limits the traffic to two axles.

Recommended Action:
Staff recommends the approval of the ordinance.

Attachments:
Proposed Ordinance

**TOWN OF CROSS ROADS
ORDINANCE NO. _____**

AN ORDINANCE OF THE TOWN OF CROSS ROADS, TEXAS AMENDING THE CODE OF ORDINANCES OF THE TOWN OF CROSS ROADS, **CHAPTER 12, TRAFFIC ANED VEHICLES, ARTICLE 12.07, SIZE AND WEIGHT OF VEHICLES, ADDING A NEW SECTION 12.07.006, MAXIMUM AXLES ON HISTORIC LANE BRIDGE ;** REPEALING CONFLICTING ORDINANCES; PROVIDING A SEVERABILITY CLAUSE; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the Town of Cross Roads, Texas (the “Town”), is a is a general law municipality and is authorized to enact regulations as necessary to protect the health, safety and welfare of the public and, may enact ordinances relative to its citizens’ health, safety, and welfare that are not inconsistent with the Constitution and laws of the State; and

WHEREAS, Section 311.002 of the Texas Transportation Code provides that a general-law municipality has exclusive control over and under the public highways, streets, and alleys of the municipality; and

WHEREAS, Historic Lane Bridge was not designed to safely carry the weight of heavy vehicles, such as those with more than two axles; and

WHEREAS, the Town desires to implement those rules and regulations that protect health, life, and property and that preserve good government, order, and security of the Town and its inhabitants; and

WHEREAS, the Town has determined that it is a necessity to regulate activities as provided for herein to safeguard the public; and

WHEREAS, the Town is authorized by law to adopt the provisions contained herein, and has complied with all the prerequisites necessary for the passage of this ordinance; and

WHEREAS, all statutory and constitutional requirements for the passage of this ordinance have been adhered to, including but not limited to the Open Meetings Act; and

WHEREAS, the purpose of this ordinance is to promote the public health, safety, and general welfare of the citizens of the Town of Cross Roads;

NOW, THEREFORE, BE IT ORDAINED by the Town Council of the Town of Cross Roads, Texas:

SECTION 1. That, the statements contained in the preamble to this ordinance are hereby adopted as findings of fact and as a part of the operative provisions hereof.

SECTION 2. That, the Code of Ordinances of the Town of Cross Roads, **CHAPTER 12, TRAFFIC AND VEHICLES, ARTICLE 12.07, SIZE AND WEIGHT OF VEHICLES,** is amended to add

a new **SECTION 12.07.006, MAXIMUM AXLES ON HISTORIC LANE BRIDGE** to read as follows:

Sec. 12.07.006, MAXIMUM AXLES FOR HISTORIC LANE BRIDGE

The maximum number of axles allowable for any vehicle traveling Historic Lane Bridge is two. Vehicles with more than two axles are prohibited from crossing Historic Lane Bridge. The Town shall post an appropriate sign on the right-hand side of the road at each entrance to Historic Lane Bridge.

SECTION 3. That, should any sentence, paragraph, subdivision, clause, phrase or section of this ordinance be adjudged or be held to be unconstitutional, illegal or invalid, the same shall not affect the validity of this ordinance as a whole, or any part or provision thereof other than the part thereof decided to be unconstitutional, illegal, or invalid, and the same shall not affect the validity of the Code of Ordinances of the Town of Cross Roads as a whole.

SECTION 4. That, this ordinance shall take effect immediately following its passage, approval, and publication as provided by law, and it is accordingly so ordained.

PASSED AND APPROVED by the Town Council of the Town of Cross Roads, Texas, on this the _____ day of _____, 2022.

APPROVED AS TO FORM:

APPROVED:

Matthew C.G. Boyle
Town Attorney

T. Lynn Tompkins, Jr.
Mayor

ATTEST:

Donna Butler
Town Secretary



COUNCIL AGENDA BRIEFING SHEET

Meeting Date:

July 25, 2022

Agenda Item:

Discuss and consider approval of a resolution establishing the Historic Advisory Committee and making appointments to said committee.

Prepared by:

Kristi Gilbert, Town Administrator

Description:

Mayor Tompkins previously created a Mayor's Historical Advisory Committee for the purpose of promoting and preserving the history of the Cross Roads community. During discussions held at the Council retreat at the end of June, the Council determined that it would be appropriate to establish the Historic Advisory Committee by resolution and designating Council Member Kay Neubauer as the Council liaison. The resolution creating the advisory committee specifically indicates that it is advisory in nature and not subject to the Texas Open Meetings Act or the Town's Board, Commission and Committee Policy adopted by Resolution 2020-1116-02.

The attached resolution provides for the appointment of seven members to the new committee. Included are the five individuals that were on the Mayor's advisory committee. These include Blanche Dillon, Dianne Bartek, John Murray, Kathryn Langley and Dorian Arledge. There are two available positions to fill should the Council determine there are other individuals that would like to serve.

Recommended Action:

Staff is seeking input from Council on this item.

Attachments:

Proposed Resolution

RESOLUTION NO. 2022-__

A RESOLUTION OF THE TOWN COUNCIL OF THE TOWN OF CROSS ROADS, TEXAS, CREATING AND ESTABLISHING A HISTORIC ADVISORY COMMITTEE; SPECIFYING THE COMMITTEE’S POWERS AND DUTIES; PROVIDING A SEVERABILITY CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the Town Council of the Town of Cross Roads, Texas, finds and determines that it is advisable and in the best interest of the citizens of the Town to create and establish a Historic Advisory Committee to serve in an advisory manner and does so by this Resolution.

NOW, THEREFORE, BE IT RESOLVED BY THE TOWN COUNCIL OF THE TOWN OF CROSS ROADS, TEXAS:

SECTION 1. That the Town Council does hereby create and establish the Historic Advisory Committee (the “Committee”) of the Town of Cross Roads, Texas, to serve in an advisory capacity in matters pertaining to promoting and preserving the history of the Cross Roads community.

SECTION 2. That the Committee shall consist of seven regular members each of whom shall be appointed by the Town Council. The Committee may adopt its own rules of procedure and shall be responsible for taking its’ own minutes. The Committee is advisory only and, as such, it is not subject to the Texas Open Meetings Act or the Town of Cross Roads Resolution 2020-1116-02 “Board, Commission and Committee Policy” as may be amended from time to time.

SECTION 3. The Committee does not have the authority to expend any funds or make any commitments on behalf of the Town without prior authorization by the Mayor, the Town Administrator or the Town Council.

SECTION 4. That Committee members will serve a two-year term beginning in June of each year, except that members appointed to Place 2, Place 4 and Place 6 will expire in June 2023.

SECTION 5. That the following individuals are appointed to serve on the initial Committee:

Individual	Place	Term Expires
Blanche Dillon	Place 1	June 30, 2024
Dianne Bartek	Place 2	June 20, 2023
John Murray	Place 3	June 30, 2024
Dorian Arledge	Place 4	June 30, 2023
Kathryn Langley	Place 5	June 30, 2024
_____	Place 6	June 30, 2023
_____	Place 7	June 30, 2024

SECTION 4. That should any word, sentence, paragraph, subdivision, clause, phrase or section of this Resolution be adjudged or held to be void or unconstitutional, the same shall not affect the validity of the remaining portions of said Resolution which shall remain in full force and effect.

SECTION 5. That this resolution shall take effect immediately from and after its passage, and it is accordingly so resolved.

DULY PASSED by the Town Council of the Town of Cross Roads, Texas, on the _____ day of _____, 2022.

Mayor

ATTEST:

Town Secretary



COUNCIL AGENDA BRIEFING SHEET

Meeting Date:

July 25, 2022

Agenda Item:

Discuss and consider approval of a resolution establishing the Road Maintenance Committee and making appointments to said committee.

Prepared by:

Kristi Gilbert, Town Administrator

Description:

During discussions held at the Council retreat at the end of June, the Council determined that it would be appropriate to establish a Road Maintenance Advisory Committee by resolution and designate Council Member Wendy White-Stevens as the Council liaison. The attached resolution creating the advisory committee specifically indicates that it is advisory in nature and not subject to the Texas Open Meetings Act or the Town's Board, Commission and Committee Policy adopted by Resolution 2020-1116-02.

The resolution provides for the appointment of five members to the new committee.

Recommended Action:

Staff is seeking input from Council on this item.

Attachments:

Proposed Resolution

RESOLUTION NO. 2022-__

A RESOLUTION OF THE TOWN COUNCIL OF THE TOWN OF CROSS ROADS, TEXAS, CREATING AND ESTABLISHING A ROAD MAINTENANCE ADVISORY COMMITTEE; SPECIFYING THE COMMITTEE’S POWERS AND DUTIES; PROVIDING A SEVERABILITY CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the Town Council of the Town of Cross Roads, Texas, finds and determines that it is advisable and in the best interest of the citizens of the Town to create and establish a Road Maintenance Advisory Committee to serve in an advisory manner and does so by this Resolution.

NOW, THEREFORE, BE IT RESOLVED BY THE TOWN COUNCIL OF THE TOWN OF CROSS ROADS, TEXAS:

SECTION 1. That the Town Council does hereby create and establish the Road Maintenance Advisory Committee (the “Committee”) of the Town of Cross Roads, Texas, to serve in an advisory capacity in matters pertaining to the maintenance, repair and reconstructions of public roadways in the Town of Cross Roads. Nothing in this Resolution prevents the Town Council from taking action with regard to the repair and maintenance of public rights-of-way without input from the Road Maintenance Advisory Committee.

SECTION 2. That the Committee shall consist of five regular members each of whom shall be appointed by the Town Council. The Committee may adopt its own rules of procedure and shall be responsible for taking its’ own minutes. The Committee is advisory only and, as such, it is not subject to the Texas Open Meetings Act or the Town of Cross Roads Resolution 2020-1116-02 “Board, Commission and Committee Policy” as may be amended from time to time.

SECTION 3. The Committee does not have the authority to expend any funds or make any commitments on behalf of the Town without prior authorization by the Mayor, the Town Administrator or the Town Council.

SECTION 4. That Committee members will serve a two-year term beginning in June of each year, except that members appointed to Place 2 and Place 4 will expire in June 2023.

SECTION 5. That the following individuals are appointed to serve on the initial Committee:

Individual	Place	Term Expires
_____	Place 1	June 30, 2024
_____	Place 2	June 20, 2023
_____	Place 3	June 30, 2024
_____	Place 4	June 30, 2023
_____	Place 5	June 30, 2024

SECTION 4. That should any word, sentence, paragraph, subdivision, clause, phrase or section of this Resolution be adjudged or held to be void or unconstitutional, the same shall not affect the validity of the remaining portions of said Resolution which shall remain in full force and effect.

SECTION 5. That this resolution shall take effect immediately from and after its passage, and it is accordingly so resolved.

DULY PASSED by the Town Council of the Town of Cross Roads, Texas, on the _____ day of _____, 2022.

Mayor

ATTEST:

Town Secretary



COUNCIL AGENDA BRIEFING SHEET

Meeting Date:
July 25, 2022

Agenda Item:

Discuss and consider action on cleanout and repairs to the Tipps Road culvert east of Moseley including taking action on the bid for repairs or modifying the scope of work.

Prepared by:

Kristi Gilbert, Town Administrator

Description:

At the May 16, 2022 meeting, Council directed Staff to move forward with advertising for bids to repair the culvert on Tipps Road east of Moseley and clean out the drainage areas. This work was determined to be necessary after Town Engineer Leigh Hollis reviewed a handful of locations where there appeared to be drainage issues after storms in the spring. According to Ms. Hollis there is a hole in the center barrel of the existing culvert. This appears to have been caused by the installation of the guard fence. The hole can be patched with grout to eliminate the potential for loss of soil from the surface at this location. There is also significant siltation occurring both upstream and downstream of the culvert with stagnated water at the downstream end of the culvert.

The inspection also identified evidence of scouring occurring along the guardrail that will eventually threaten the roadway. The first joint of pipe on all three barrels of the culvert on the upstream side have deflected. For now, the structural integrity of the culvert remains intact. Eventually, the upstream headwall with the first two joints of pipe will need to be removed and replaced. More pressing, the upstream channel and the debris in the western barrel needs to be cleaned out and the downstream channel needs to be reshaped. Scour protection (16-inch grouted riprap with toes) needs to be installed between the headwall and the street edge. Downstream erosion protection should be installed to keep the channel shape and prevent future erosion.

Staff advertised the bid and conducted the bid opening on July 11th. One bid was received by the deadline and one contractor attempted to submit a bid after the deadline. The sole bidder was GRod Construction LLC with a bid of \$141,550. Half Associates, Inc. has performed a reference check on GRod Construction LLC and determined they meet the qualifications of the lowest responsible bidder.

Financial Impact:

Staff anticipated the cost of the project to not exceed \$100,000. The Town is allowed to reduce the amount of work required under the bid by no more than 25%. Another option is to reduce the scope and rebid the project.

Recommended Action:

Staff recommends the Council direct the Town Engineer to modify the scope of the work and rebid the project.



COUNCIL AGENDA BRIEFING SHEET

Attachments:

Engineer Review Letter

Bid Summary

Pictures



July 14, 2022
AVO 43608

Ms. Kristi Gilbert
Town Administrator
Town of Cross Roads
3201 US Hwy 380, Suite 105
Cross Roads, Texas 76227

Re: Tipps Road Culvert Improvements –
Contract ID Number: 20220601_TIPPS ROAD CULVERT IMPROVEMENTS

Ms Gilbert,

Bids were opened on the above-referenced project on Monday, July 11, 2022, at the Town of Cross Roads. One (1) bid was received from GRod Construction LLC at a total of \$141,550.00. To verify GRod Construction's qualifications, we contacted the City of Little Elm, Clariden School District, and Denton County who all have awarded and worked with GRod Construction in the past.

We spoke with Mr. Wesley Brandon, the Assistant Director of Development Services with the City of Little Elm, concerning GRod Construction's performance on their Beach Renovations Project. This project consisted of installing a new retaining wall with an 18" sidewalk expansion. Mr. Brandon informed us that the project was completed on time with a high-quality product. He also stated that there were no issues with GRod Construction when it came to items such as change orders or RFIs and that they never had to perform any re-work. Mr. Brandon mentioned that they self-performed 100% of the project and emphasized that the overall experience with them was positive. Mr. Brandon told us that they have used GRod Construction in the past and will continue to use them in the future.

We also spoke with Mr. Alan Garrison, the Director of Technology, and a Project Manager with the Clariden School District, regarding GRod Construction's performance on their Site Grading and Drainage Improvements Project. Mr. Garrison informed us that the project went well and that when issues arose, GRod was always quick to get them resolved. Mr. Garrison continued by stating that change orders were processed efficiently and priced fairly. He also mentioned that RFIs were well documented. Mr. Garrison told us that GRod Construction has a large crew and self-performed about 85-90% of the work. Mr. Garrison finished by informing us that GRod's leadership team is very knowledgeable/professional and that they would use GRod again on future projects.

Lastly, we reached out to Mr. James Gossie, an engineer for Denton County, concerning GRod's performance on their Rector Road Project. This project consisted of installing double 8'x6' Box Culverts. Mr. Gossie informed us that GRod does quality work and they did not have any unresolved issues with the project schedule. He continued to say that GRod self-



3803 Parkwood Blvd, Suite 800
Frisco, TX 75034
(214) 937-3933

performed 80% of the work and had very responsive communication. Mr. Gossie stated that there was no additional work added to the contract and that GRod did not have to perform any re-work due to deficient work. Mr. Gossie finished by saying that the overall experience with GRod was positive and they would award future projects to them.

Section 252.043 in the Local Government Code states if competitive sealed bids are received, the contract must be awarded to the lowest responsible bidder or to the bidder who provides goods or services at the best value for the municipality. After considering the purchase price, reputation of the bidders, and the quality of the bidders' services, Halff Associates has determined that GRod Construction LLC is the lowest responsible bidder.

Please call me at (214) 937-3933 if you have any questions or comments.

Sincerely,

HALFF ASSOCIATES, INC.

A handwritten signature in blue ink, appearing to read "Brent Billington", is written over a faint, light blue rectangular background.

Brent Billington, P.E.

The Town of Cross Roads - Tipps Road Culvert Improvements
CONTRACT ID NUMBER: 20220601

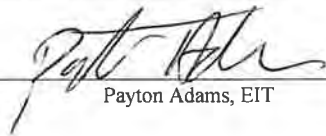
Bid Opening: July 11, 2022

Town of Cross Roads. Town Administrator: Kristi Gilbert
Half Associates, Inc. Project Manager: Brent Billington, PE

BID SUMMARY

	Recommended: Grod Construction LLC	
TOTAL BID	\$141,550.00	
Addenda	N/A	
Bid Bond	Yes	

Bids Certified by:



Payton Adams, EIT

CONTRACT ID NUMBER: 20220601

7/14/2022

TIPPS ROAD CULVERT IMPROVEMENTS BID OPENING: 2:15 P.M. MONDAY, JULY 11, 2022				COMPANY	
				GRod Construction LLC	
Item No.	Quantity	Unit	Description	UNIT \$	TOTAL \$
1	1	LS	Barricades, Warning and Detour Signs, and Traffic Handling	\$ 4,500.00	\$ 4,500.00
2	1	LS	SWPPP, Erosion and Sedimentation Control	\$ 2,500.00	\$ 2,500.00
3	1	LS	Mobilization and General Site Preperation (not to exceed 5% of the project amount)	\$ 7,500.00	\$ 7,500.00
4	1	LS	Miscellaneous Construction Contingency	\$ 5,000.00	\$ 5,000.00
5	1	LS	Unclassified Channel Excavation	\$ 89,000.00	\$ 89,000.00
6	315	SF	4-Inch Concrete Mowstrip	\$ 30.00	\$ 9,450.00
7	118	SY	24-Inch Grouted Rock Riprap with Toewalls	\$ 200.00	\$ 23,600.00

TOTAL BID ITEMS

\$ 141,550.00



