



**NOTICE OF TOWN COUNCIL MEETING  
FOR THE TOWN OF CROSS ROADS  
WEDNESDAY, MAY 17, 2023 at 6:00 P.M.**

**LOCATION:**

**IN PERSON at 1401 FM 424, CROSS ROADS, TEXAS 76227**

**Or**

**View via Zoom Meeting <https://us02web.zoom.us/j/85189598590>**

**Meeting ID: 851 8959 8590**

**One tap mobile +13462487799,,85189598590# US (Houston)**

**\*Note: All applicants should attend in person.**

1. Call to Order.
2. Roll Call.
3. Invocation – Joshua Manning, Grace Chapel
4. Pledge of Allegiance – Dave Meek, Mayor Pro Tem
5. Citizens Input (Items on the agenda and not on the agenda).  
*If commenting via Zoom, please use the Raise Your Hand feature. Please state your full name before speaking. Please limit your comments to three minutes in duration. You are restricted from passing your time or any portion of unused minutes to another citizen for comment.*
6. Council Members' announcements and updates, Dave Meek and Wendy White-Stevens
7. Mayor's announcements and updates.
8. Presentation to Outgoing Council Members
9. Discuss and consider an ordinance canvassing the results of the May 6, 2023, General Municipal Election.
10. Administer Oath of Office and Issue Certificate of Election to Newly Elected Officials.
11. New Council Members seated at the dias.
12. Discuss and consider appointing an individual to fill the unexpired term of Council Member Greg Gaalema.
13. Administer Oath of Office and Issue Certificate to Appointed Council Member.
14. Appointed Council Member seated at the dias.
15. Discuss and consider a resolution appointing the Mayor Pro Tem.
16. Proclamation for Law Enforcement Memorial Week

17. Presentation to the members of Little Elm Fire Station 3/C-Shift with a Life Saving Award for outstanding performance of their duties, which resulted in the saving of the life of a resident of the Town of Cross Roads.
18. Council Members' announcements and updates – Kay Neubauer, Ron King, Chris Paus and Steve Zuczek
19. Mayor's announcements and updates.
20. Updates; Discussion of Same.
  - a. Town Administrator Announcements and Updates – Kristi Gilbert
  - b. Financial Reports – Kristi Gilbert
  - c. Building Permits and Development – Rodney Patterson & Kristi Gilbert
  - d. Law Enforcement – Shaun Short
  - e. Fire Department – Paul Rust
  - f. Committee Reports – MDD, Parks, Connectivity Committee, Historical Committee, Roads Committee

#### **CONSENT AGENDA**

21. Consider approval of the April 17, 2023 Council Meeting Minutes.
22. Consider approval of the April 2023 Financials.

#### **REGULAR SESSION**

23. Discuss and consider a replat application for the Greenway Cross Roads Addition, Block A, Lots 6R, 9, 10, 11 and 12 generally described as property located at the southwest corner of US 380 and 720, within the Town of Cross Roads ETJ. (2023-0306-04FPLAT)
24. Discuss and consider items related to the Cross Roads Retail Addition, Block A, Lots 7R1-R2 and 7R8 generally described as property located north of US Hwy 380 and east of Walmart Dr. in the Villages of Cross Roads Commercial development within the Town of Cross Roads:
  - a. Replat application (2023-0306-01FPLAT)
  - b. Technical Site Plan Application (2023-0306-02TSP)
25. Discuss and consider appointments to the Planning and Zoning Commission.
26. Discuss and consider filling a vacancy on the Municipal Development District.

#### **EXECUTIVE SESSION**

27. The Town Council may convene into Executive Session pursuant to Texas Government Code, annotated, Chapter 551, Subchapter D for the following:
  - a. Section 551.074 Personnel – Council Member Vacancy; Planning and Zoning Commissioners, Municipal Development District Board Members.
28. Take action as may be necessary or appropriate on matters discussed in Executive Session.

## **ADJOURN**

Future Meetings and Events:

All citizens are invited to participate; schedule may change.

- *Town Council Meeting – Monday, June 5, 2023 at 6:00 p.m.*
- *Planning and Zoning Commission Meeting – Tuesday, June 6, 2023 at 7:00 p.m.*
- *Parks and Recreation Board Meeting – Wednesday, June 7, 2023 at 6:00 p.m.*
- *Municipal Development District Meeting – Thursday, June 8, 2023 at 6:00 p.m.*
- *Town Council Meeting – Monday, June 19, 2023 at 6:00 p.m.*

## **CERTIFICATION**

I, the undersigned authority, do hereby certify that this Public Meeting Notice was posted on the official bulletin board at the Town Hall of the Town of Cross Roads, Texas on or before Friday, May 12<sup>th</sup>, 2023 by 5:00 p.m., in accordance with Chapter 551, Texas Government Code.

As authorized by Section 551.071 of the Texas Government Code, this meeting may be convened into closed executive session for seeking confidential legal advice from the Town Attorney on any agenda item listed herein. This facility is wheelchair accessible and accessible parking spaces are available. For requests, please contact Town Hall at 940-365-9693. Reasonable accommodations will be made to assist your needs.

---

Donna Butler, Town Secretary

I certify that the attached notice and agenda of items to be considered by the Town Council of the Town of Cross Roads was removed by me from the front window of the Town of Cross Roads Town Hall, 1401 FM 424, Cross Roads, Texas, on the \_\_day of \_\_\_\_\_, 2023.  
\_\_\_\_\_, Title: \_\_\_\_\_



## COUNCIL AGENDA BRIEFING SHEET

---

Meeting Date:

May 17, 2023

Agenda Item:

Discuss and consider an ordinance canvassing the results of the May 6, 2023 General Municipal Election.

Prepared by:

Kristi Gilbert, Town Administrator

Description:

In accordance with Chapter 67 of the Election Code, the governing body must conduct the canvass of the election returns no later than the 11<sup>th</sup> day after election day. The Denton County Elections Administrator has indicated that the official canvassing documents will not be available until Monday, May 15, 2023 due to the statutory time required in processing some ballots (certain overseas and provisional ballots).

Recommended Action:

Adoption of an ordinance canvassing the results of the May 6, 2023 General Municipal Election.

Attachments:

Draft Ordinance

Unofficial Election Results



**TOWN OF CROSS ROADS  
ORDINANCE 2023-\_\_\_\_\_**

**AN ORDINANCE CANVASSING RETURNS AND DECLARING RESULTS  
OF THE GENERAL ELECTION HELD ON MAY 6, 2023, FOR THE  
PURPOSE OF ELECTING THREE COUNCIL MEMBERS, FOR TWO-  
YEAR TERMS EACH.**

**WHEREAS**, the Town Council of the Town of Cross Roads, Texas (“Town”) caused to be published in accordance with the laws of the State of Texas, notice of the general election held May 6, 2023, to elect a Mayor and two Council Members.

**WHEREAS**, notice of elections was properly given by the Town as required by law; and

**WHEREAS**, the Town Council has considered the returns of said elections held May 6, 2023; and

**WHEREAS**, said elections were duly and legally conducted on May 6, 2023, by the Denton County Elections Administrator as authorized by and in conformity with the election laws of the State of Texas; and

**WHEREAS**, the results of said elections have been certified and returned by the Denton County Elections Administrator, Frank Phillips; and

**WHEREAS**, the election returns, duly and legally made, showed that there were cast in said elections a total of 1,291 valid and legal votes, of which 7 were cast absentee, 998 were cast early, and 286 were cast on election day; and that each of the candidates in said elections received the following votes:

**COUNCIL MEMBER**

| <b>Candidate</b> | <b>Absentee</b> | <b>Early Voting</b> | <b>Election Day</b> | <b>Total</b> | <b>Percentage</b> |
|------------------|-----------------|---------------------|---------------------|--------------|-------------------|
| Steven Zuczek    | 1               | 238                 | 65                  | 304          | 23.55%            |
| Ron King         | 0               | 235                 | 64                  | 299          | 23.16%            |
| Jordan Grissette | 2               | 33                  | 16                  | 51           | 3.95%             |
| Colette Olivieri | 2               | 133                 | 38                  | 173          | 13.40%            |
| Chris Paus       | 0               | 221                 | 64                  | 285          | 22.08%            |
| Tammy Sweeney    | 2               | 138                 | 39                  | 179          | 13.87%            |

**WHEREAS**, pursuant to Chapter 22, Section 22.004 of the Texas Local Government Code, to be elected to an office of the municipality, a person must receive more votes than any other person for the office.

**NOW, THEREFORE, BE IT ORDAINED BY THE TOWN COUNCIL OF THE  
TOWN OF CROSS ROADS, TEXAS:**

**SECTION 1**

That it is found and determined that the results of the general election as canvassed and tabulated in the preamble reflect the expressed desires of the residents, qualified electors of the Town, and that the canvass of the votes cast in said elections and returns thereof, which is attached hereto as ***Exhibit A***, were made in accordance with the law.

**SECTION 2**

That the duly elected members of the Town Council of the Town of Cross Roads, Texas, elected May 6, 2023, for three Council Members subject to the taking of the oaths as provided by the laws of the State of Texas, are as follows:

|                       |                      |
|-----------------------|----------------------|
| <b>Council Member</b> | <b>Steven Zuczek</b> |
| <b>Council Member</b> | <b>Ron King</b>      |
| <b>Council Member</b> | <b>Chris Paus</b>    |

**SECTION 3**

The Mayor is hereby authorized and directed to execute and deliver this order canvassing the General Election, in accordance with the Texas Election Code and all other necessary action in connection herewith.

**PASSED AND APPROVED on this the 17<sup>th</sup> day of May 2023.**

APPROVED:

\_\_\_\_\_  
Mayor

ATTEST:

\_\_\_\_\_  
Donna Butler, Town Secretary



## COUNCIL AGENDA BRIEFING SHEET

---

Meeting Date:  
May 17, 2023

Agenda Item:  
Discuss and consider appointing an individual to fill the unexpired term of Council Member Greg Gaalema.

Prepared by:  
Kristi Gilbert, Town Administrator

Description:  
A vacancy was created on the Town Council with the unexpected passing of Council Member Greg Gaalema in March 2023. In accordance with Section 22.010 of the Local Government Code, if a single vacancy exists, the Council may fill the vacancy by appointment until the next regular election (May 2024), alternately, the Council may order a special election to fill the vacancy. The next uniform election date is November 7, 2023.

Recommended Action:  
Staff recommends appointing an individual to fill the position previously held by Greg Gaalema with a term expiring May 2024.

Attachments:  
Resolution

**RESOLUTION 2023-\_\_\_\_\_**

**A RESOLUTION OF THE TOWN COUNCIL OF THE TOWN OF CROSS ROADS,  
TEXAS APPOINTING AN INDIVIDUAL TO FILL THE VACANCY CREATED  
BY GREG GAALEMA FOR AN UNEXPIRED TERM ENDING MAY 2024.**

**WHEREAS**, a vacancy was created on the Town Council with the death of Council Member Greg Gaalema in March 2023; and

**WHEREAS**, Section 22.010 of the Texas Local Government Code grants the Town Council the authority to appoint an individual to fill a vacancy until the next regular election; and,

**WHEREAS**, the Town Council of the Town of Cross Roads has determined it is in the best interest of Town and its residents to fill the position by appointment.

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE TOWN OF CROSS ROADS, TEXAS:**

**SECTION 1.** The above and foregoing premises are true and correct legislative findings and they are incorporated herein and made a part hereof for all purposes.

**SECTION 2.** That the Town Council hereby appoints \_\_\_\_\_ to fill the unexpired term of Council Member Greg Gaalema.

**SECTION 3.** This Resolution shall take effect upon its passage and approval.

**DULY RESOLVED AND ADOPTED** by the Town Council of the Town of Cross Roads, Texas, on this the 17<sup>th</sup> day of May, 2023.

**TOWN OF CROSS ROADS, TEXAS**

\_\_\_\_\_  
T. Lynn Tompkins, Jr., Mayor

**ATTEST:**

\_\_\_\_\_  
Donna Butler, Town Secretary

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Town Attorney



## COUNCIL AGENDA BRIEFING SHEET

---

Meeting Date:

May 17, 2023

Agenda Item:

Discuss and consider a resolution appointing the Mayor Pro Tem.

Prepared by:

Kristi Gilbert, Town Administrator

Description:

Section 22.037(b) of the Texas Local Government Code states "at each new governing body's first meeting or as soon as practicable, the governing body shall elect one alderman to serve as president pro tempore for a term of one year."

Recommended Action:

Adoption of the attached resolution memorializes the appointment of the Mayor Pro Tem.

Attachments:

Proposed Resolution

**TOWN OF CROSS ROADS  
RESOLUTION 2023- \_\_\_\_\_**

**A RESOLUTION OF THE TOWN COUNCIL OF THE TOWN OF CROSS  
ROADS, DENTON COUNTY, TEXAS APPOINTING A MEMBER OF THE  
TOWN COUNCIL TO SERVE AS MAYOR PRO TEM.**

**WHEREAS**, the Town Council of the Town of Cross Roads called and held an election on May 6, 2023 establishing a new governing body; and

**WHEREAS**, the Texas Local Government Code requires that the governing body of a general law municipality to elect a member to of the Town Council to serve as Mayor Pro Tem for a term of one year or until another is appointed; and

**WHEREAS**, if the Mayor fails, is unable, or refuses to act, the Mayor Pro Tem shall perform the Mayor's duties.

**NOW, THEREFORE BE IT RESOLVED BY THE TOWN COUNCIL OF THE  
TOWN OF CROSS ROADS, DENTON COUNTY, TEXAS, AS FOLLOWS:**

**SECTION 1.** The Town Council of the Town of Cross Roads, Texas hereby appoints \_\_\_\_\_ to serve as Mayor Pro Tem for a term of one year or until another is appointed.

**SECTION 2.** In the event that the Mayor fails, is unable, or refuses to act, the Mayor Pro Tem shall perform the Mayor's duties.

**DULY RESOLVED** by the Town Council of the Town of Cross Roads, Texas on this the 17<sup>th</sup> day of May, 2023.

**APPROVED:**

\_\_\_\_\_  
Mayor

**ATTEST:**

\_\_\_\_\_  
Donna Butler, Town Secretary

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Town Attorney

# CROSS ROADS POLICE DEPARTMENT



## Police Department Council Report

Chief Shaun Short

May 17, 2023

May 17, 2023 Town Council Agenda Packet 11 of 106

# Police Operations

## ➤ April Police Reports

- **10 Crash Investigations**
  - 9 - US380
  - 1 - Other
- **2 Persons Crimes**
  - 1 Unknown Actor
  - 0 Family Violence
  - 1 Employee
- **8 Property Crime**
  - 1 Criminal Mis.
  - 7 Retail Theft
- **17 - Society**
  - 7 - Intoxicated Driving
  - 10 – Drugs/Paraphernalia / MIP / PI

## ➤ April Incident Type Summary

- **35 Agency Assist**
- **21 Alarm**
- **5 Animal Complaint**
- **8 Disturbance**
- **13 Motorist Assist**
- **0 Open Door**
- **14 Road Blockage**
- **18 Suspicious Person**
- **330 Traffic Stop**
- **11 Welfare Concern**
- **221 Unclassified**

**676 Total Events**



# Police Operations Monthly Comparison

## MONTHLY COMPARISON



# Police – Administrative

- **Projects Update**
  - **Awning May 19 current schedule**
  - **Completed Data Migration Validation**
- **Training**
  - **Officer Dewberry Investigator Training**
  - **Officer Martinez Patrol Tactics training**
  - **Officer Holbert moving to last phase of field training**
  - **Sgts attended Professional Standards training at ILEA**
  - **Continued train the trainer for new CAD/RMS System**
- **Community**
  - **Telecommunicator week**
  - **Extravaganza**
  - **DEA Drug Take Back**



INTEGRITY

CUSTOMER  
SERVICE

EFFICIENCY

INNOVATION

# Town of Cross Roads Monthly Report

April 2023



# CROSS ROADS MONTHLY REPORT

Last Updated: 5/9/2023 08:36

Date

Multiple selections



Total Calls

31



Avg Daily Calls

2



Avg Monthly Calls

31



Avg Response Time

418



Busiest Hour

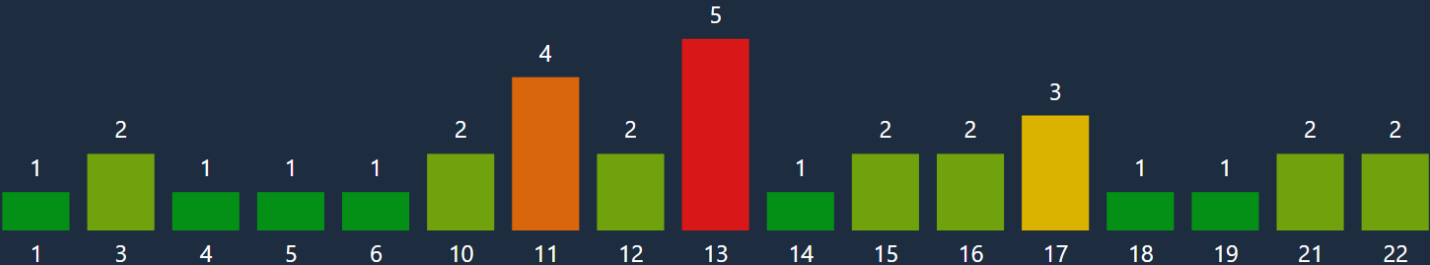
13



Busiest Day

Sun

## Total Calls by Hour



## Total Calls

31

Apr  
2023

## Emergency Calls



● Emergency ● Non-emergency

Incident Total Calls

|                     |    |
|---------------------|----|
| EMS/Rescue          | 19 |
| False Alarm         | 4  |
| Good Intent         | 5  |
| Hazardous Condition | 1  |
| Service Call        | 2  |

Year MonthName Incident Address 1 Total Calls Avg Resp Time NFIRS Shift

2023





# CROSS ROADS ANNUAL REPORT

Last Updated: 5/9/2023 08:36

Date

All

Date

Last

1

Years



Total Calls  
**449**



Avg Daily Calls  
**2**



Avg Monthly Calls  
**35**



Avg Response Time  
**420**

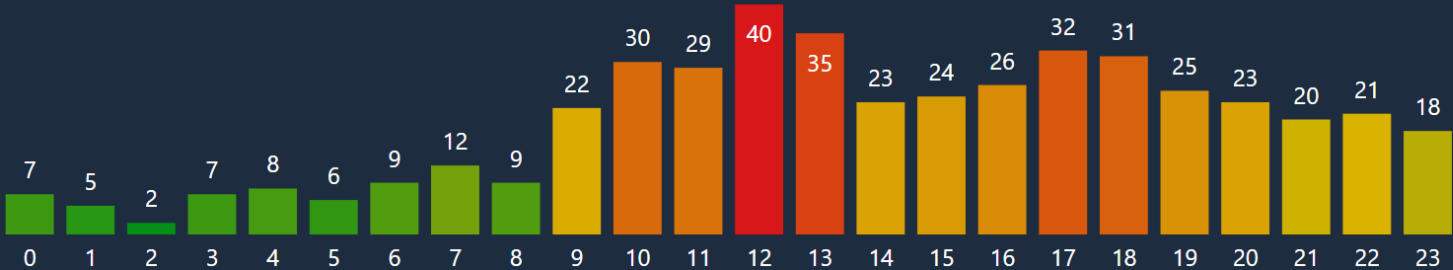


Busiest Hour  
**12**



Busiest Day  
**Fri**

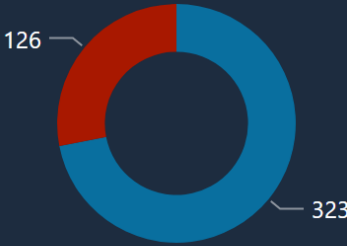
## Total Calls by Hour



## Total Calls



## Emergency Calls

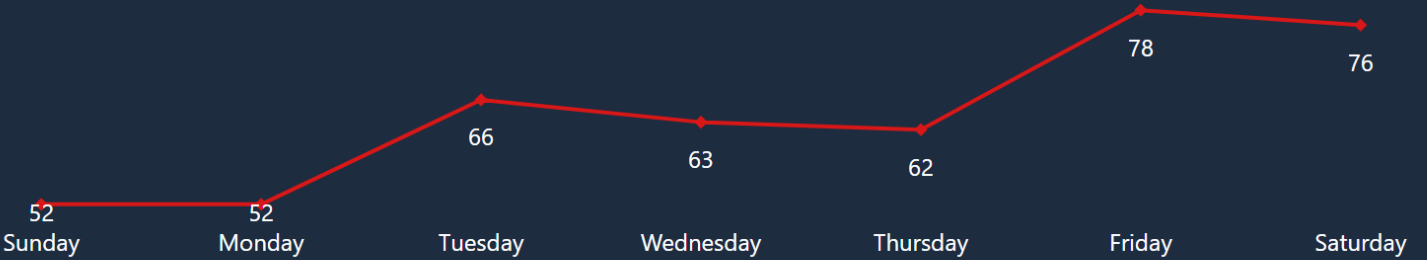


● Emergency ● Non-emergency

## Incident

| Incident            | Total Calls |
|---------------------|-------------|
| EMS/Rescue          | 295         |
| False Alarm         | 37          |
| Fire                | 16          |
| Good Intent         | 59          |
| Hazardous Condition | 12          |
| Service Call        | 29          |
| Severe Weather      | 1           |

## Calls By Day





## MINUTES OF TOWN COUNCIL MEETING

FOR THE TOWN OF CROSS ROADS

MONDAY, APRIL 17, 2023 at 6:00 P.M.

LOCATION:

IN PERSON at 1401 FM 424, CROSS ROADS, TEXAS 76227

Or

View via Zoom Meeting

1. Call to Order – **6:01 P.M.**
2. Roll Call: **Mayor Tompkins; Council Members Neubauer, Meek, King, and White-Stevens**
3. Invocation – **Mike Spencer, Denton Bible Church**
4. Pledge of Allegiance – **Kristi Gilbert**
5. Citizens Input (Items on the agenda and not on the agenda).
  - **Sylvia Phillips - commercial business in Cross Roads**
  - **Andy Garcia - park plans**
  - **Chris Paus - Denton ISD**
  - **Kelly Berry - voting**
  - **Bill Snyder - zoning**
  - **Shiryl Tompkins – support of 2023 Strategic Plan**
6. Council Members' announcements and updates.  
**None.**
7. Mayor's Announcements and updates.  
**Extravaganza, Spring Clean Up, National Day of Prayer, Spring Market, sales tax revenue, road repairs, monthly meeting with TxDot, local Mayor's meeting, House bills**
8. Updates; Discussion of Same.
  - a. Town Administrator Announcements and Updates, including financial, development and permit reports – **Kristi Gilbert – ongoing and new development, Planning and Zoning Commission meeting May 9<sup>th</sup>, Council meeting May 17<sup>th</sup>, financial update**
  - b. Law Enforcement – **Shaun Short – March Police activity**
  - c. Fire Department – **Paul Rust – March Fire and EMS activity**
  - d. Committee Reports – MDD, Parks, Connectivity, Historical, Road
    - **MDD President John Knox – late Council Member Greg Gaalema and MDD update**
    - **Parks Chair Paula Paus – Extravaganza and park maintenance**
    - **Connectivity Chair Sharon Baca – tower update**
    - **Roads Chair Sharon Baca – meeting update**

## **CONSENT AGENDA**

9. Consider approval of March 20, 2023 meeting minutes.
10. Consider approval of the March Financials.
11. Consider approval of a resolution adopting a policy authorizing the Town of Cross Roads to accept applications for primary depository bank services from financial institutions not doing business within the Town.
12. Consider approval of awarding a proposal for Wrecker and Towing Services to All American Towing and Recovery, Inc, in Aubrey, Texas.
13. Consider approval of a resolution adopting the Denton County Hazard Mitigation Plan as required by the Federal Disaster Mitigation Act of 2000 and the Federal Emergency Management Agency (FEMA).
14. Consider approval of an Interlocal Cooperative Agreement with Denton County for Share Governance Communications and Dispatch Services and authorize the Mayor to execute the same.

**Motion to approve Consent Agenda made by White-Stevens;  
Second by Meek;  
Passed unanimously.**

## **REGULAR SESSION**

15. Receive a presentation and discuss drainage requirements associated with development applications in the Town.  
**Town Engineer Leigh Hollis gave drainage presentation, and Town Council asked questions and held discussions.**
16. Discuss and consider approval of a resolution adopting the 2035 Strategic Plan for the Town of Cross Roads.  
**Motion to approve resolution adopting Strategic Plan made by Meek;  
Second by Neubauer;  
Passed unanimously.**

## **ADJOURN – 7:29 P.M.**

---

T. Lynn Tompkins, Jr., Mayor

---

Donna Butler, Town Secretary



## COUNCIL AGENDA BRIEFING SHEET

---

Meeting Date:  
May 17, 2023

Agenda Item:  
Consider action on the Town's monthly financial reports – April 2023.

Prepared by:  
Kristi Gilbert, Town Administrator

**Budget versus Actuals Report:**

The attached financials are the unaudited financials as of April 30, 2023. The report is reflective of seven months (58.3%) of the fiscal year. Most revenues should be tracking at 41.7% or lower, indicative of revenues at or exceeding budget projections. Most expenses should be tracking at 41.7% or higher, indicative of expenses at or lower than budget projections. Overall, general fund revenues are tracking at 41.63% and expenses are tracking at 45.78% with expenses exceeding revenues by \$689.68 for the month of April and revenues exceeding expenses by \$671,253.37 for the fiscal year to date.

The following are exceptions of note:

- Residential and commercial permits are lagging, however, franchise fees have come in well over budget.
- Interest revenue continues to increase as a result transferring money into TexPool accounts in mid-March.
- The Town received a refund from a vendor for a Fiscal Year 2022 project that has been credited to engineering services.

Recommended Action:  
Staff recommends approval.

Attachments:  
FY 23 Revenues and Expenditures as of April 30, 2023  
Transaction Detail



Town of Cross Roads  
Revenue And Expense Report  
As of April 30, 2023

5/8/2023 5:38 PM

| <b>100 - General</b>              | Current Month<br>Expense/Rev | Year To Date<br>Expense/Rev | Current Year<br>Budget | Budget<br>Balance<br>Remaining | % Balance<br>Remaining | Prior Year<br>YTD Balance | Prior Year<br>FY End Bal. |
|-----------------------------------|------------------------------|-----------------------------|------------------------|--------------------------------|------------------------|---------------------------|---------------------------|
| <b>Revenue Summary</b>            |                              |                             |                        |                                |                        |                           |                           |
| -                                 | 265,393.02                   | 2,426,944.39                | 4,158,000.00           | 1,731,055.61                   | 41.63%                 | 2,269,428.64              | 4,203,448.35              |
| Revenue Totals                    | 265,393.02                   | 2,426,944.39                | 4,158,000.00           | 1,731,055.61                   | 41.63%                 | 2,269,428.64              | 4,203,448.35              |
| <b>Expense Summary</b>            |                              |                             |                        |                                |                        |                           |                           |
| 110-Administration                | 159,759.32                   | 868,195.48                  | 1,511,434.00           | 643,238.52                     | 42.56%                 | 853,099.67                | 1,355,045.69              |
| 210-Municipal Court               | 1,330.48                     | 17,418.71                   | 41,605.25              | 24,186.54                      | 58.13%                 | 12,617.25                 | 30,952.17                 |
| 310-Police                        | 96,419.57                    | 773,603.68                  | 1,530,568.00           | 756,964.32                     | 49.46%                 | 729,870.86                | 1,284,896.43              |
| 410-Parks & Recreation            | 2,640.21                     | 7,745.49                    | 31,990.00              | 24,244.51                      | 75.79%                 | 4,414.41                  | 16,764.74                 |
| 510-Community Development         | 150.00                       | 350.00                      | 2,000.00               | 1,650.00                       | 82.50%                 | 50.00                     | 600.00                    |
| 520-Inspection                    | 1,503.09                     | 14,880.95                   | 21,500.00              | 6,619.05                       | 30.79%                 | 8,460.00                  | 34,709.29                 |
| 610-Public Works                  | 4,280.03                     | 73,496.71                   | 99,100.00              | 25,603.29                      | 25.84%                 | 17,666.39                 | 90,853.75                 |
| Expense Totals                    | 266,082.70                   | 1,755,691.02                | 3,238,197.25           | 1,482,506.23                   | 45.78%                 | 1,613,486.61              | 4,556,801.60              |
| Revenues Over(Under) Expenditures | (689.68)                     | 671,253.37                  | 919,802.75             | 0.00                           | 0.00%                  | 655,942.03                | (353,353.25)              |
| 710-Transfers Out                 | 25,555.99                    | 244,980.96                  | 0.00                   | (244,980.96)                   | 0.00%                  | (12,691.97)               | 1,742,979.53              |

Town of Cross Roads  
Revenue and Expense Report  
As of April 30, 2023

5/11/2023 9:26 AM

| 100 - General                                   | Department Rever | Current Month<br>Expense/Rev | Year To Date<br>Expense/Rev | Current Year<br>Budget | Budget<br>Balance<br>Remaining | % Balance<br>Remaining | Prior Year YTD<br>Balance | Prior Year FY<br>End Bal. |
|---|------------------|------------------------------|-----------------------------|------------------------|--------------------------------|------------------------|---------------------------|---------------------------|
| <b>Sales Taxes</b>                              |                  |                              |                             |                        |                                |                        |                           |                           |
| -40100 Sales Tax Revenue                        |                  | 220,477.86                   | 1,889,524.29                | 3,400,000.00           | 1,510,475.71                   | 44.43%                 | 1,845,014.79              | 3,343,369.48              |
| -40110 Mixed Beverage Tax Revenue               |                  | 1,787.34                     | 13,416.32                   | 19,000.00              | 5,583.68                       | 29.39%                 | 11,451.72                 | 24,075.62                 |
| Total Sales Taxes                               |                  | 222,265.20                   | 1,902,940.61                | 3,419,000.00           | 1,516,059.39                   | 44.34%                 | 1,856,466.51              | 3,367,445.10              |
| <b>Franchise Taxes</b>                          |                  |                              |                             |                        |                                |                        |                           |                           |
| -40120 Franchise Tax Telecom                    |                  | 24.01                        | 1,866.68                    | 3,500.00               | 1,633.32                       | 46.67%                 | 1,933.31                  | 4,543.39                  |
| -40121 Franchise Tax Waste                      |                  | 3,416.78                     | 17,036.40                   | 24,750.00              | 7,713.60                       | 31.17%                 | 11,613.95                 | 29,158.63                 |
| -40122 Franchise Tax Electric                   |                  | 705.88                       | 141,389.17                  | 99,500.00              | (41,889.17)                    | (42.10%)               | 96,378.93                 | 99,623.08                 |
| -40123 Franchise Tax Gas                        |                  | 0.00                         | 28,533.85                   | 20,000.00              | (8,533.85)                     | (42.67%)               | 19,466.82                 | 19,620.64                 |
| -40124 Franchise Tax Mustang SUD                |                  | 0.00                         | 15,793.31                   | 19,000.00              | 3,206.69                       | 16.88%                 | 14,163.41                 | 26,837.37                 |
| Total Franchise Taxes                           |                  | 4,146.67                     | 204,619.41                  | 166,750.00             | (37,869.41)                    | (22.71%)               | 143,556.42                | 179,783.11                |
| <b>Licenses &amp; Permits</b>                   |                  |                              |                             |                        |                                |                        |                           |                           |
| -40200 Development/Platting/Permit Fees         |                  | 1,420.00                     | 10,776.26                   | 47,500.00              | 36,723.74                      | 77.31%                 | 27,130.00                 | 32,878.32                 |
| -40201 Infrastructure Inspection Fees           |                  | 0.00                         | 65,050.40                   | 68,000.00              | 2,949.60                       | 4.34%                  | 12,260.36                 | 27,690.44                 |
| -40202 Residential Bldg Permits and Inspections |                  | 2,173.46                     | 32,706.76                   | 90,000.00              | 57,293.24                      | 63.66%                 | 88,101.36                 | 120,209.72                |
| -40203 Commercial Bldg Permits and Inspections  |                  | 337.50                       | 23,071.42                   | 100,000.00             | 76,928.58                      | 76.93%                 | 27,901.96                 | 54,204.30                 |
| -40204 Septic Permits and Fees                  |                  | 650.00                       | 1,300.00                    | 8,500.00               | 7,200.00                       | 84.71%                 | 5,790.00                  | 7,090.00                  |
| -40206 Health Inspection and Fees               |                  | 200.00                       | 20,671.00                   | 17,000.00              | (3,671.00)                     | (21.59%)               | 15,450.00                 | 16,058.00                 |
| -40207 Alcohol Permit/License                   |                  | 0.00                         | 5,095.00                    | 1,200.00               | (3,895.00)                     | (324.58%)              | 1,320.00                  | 1,455.00                  |
| -40208 Signs Permit and Fees                    |                  | 0.00                         | 4,450.00                    | 2,800.00               | (1,650.00)                     | (58.93%)               | 2,550.00                  | 4,250.00                  |
| Total Licenses & Permits                        |                  | 4,780.96                     | 163,120.84                  | 335,000.00             | 171,879.16                     | 51.31%                 | 180,503.68                | 263,835.78                |
| <b>Court Revenue</b>                            |                  |                              |                             |                        |                                |                        |                           |                           |
| -40210 Municipal Court Fines                    |                  | 16,660.29                    | 101,562.43                  | 190,000.00             | 88,437.57                      | 46.55%                 | 93,695.21                 | 190,009.27                |
| Total Court Revenue                             |                  | 16,660.29                    | 101,562.43                  | 190,000.00             | 88,437.57                      | 46.55%                 | 93,695.21                 | 190,009.27                |

Fines and Fees

|                                   |          |           |           |          |        |           |           |
|-----------------------------------|----------|-----------|-----------|----------|--------|-----------|-----------|
| -40300 Administrative Fees        | 1,837.07 | 11,686.82 | 17,500.00 | 5,813.18 | 33.22% | 8,306.04  | 22,269.00 |
| -40314 Credit Card Processing Fee | 98.94    | 1,742.32  | 2,500.00  | 757.68   | 30.31% | 1,831.00  | 3,136.16  |
| Total Fines and Fees              | 1,936.01 | 13,429.14 | 20,000.00 | 6,570.86 | 32.85% | 10,137.04 | 25,405.16 |

Contributions

|                         |           |           |           |      |       |           |           |
|-------------------------|-----------|-----------|-----------|------|-------|-----------|-----------|
| -40304 MDD Contribution | 11,125.00 | 22,250.00 | 22,250.00 | 0.00 | 0.00% | 12,181.50 | 18,272.25 |
| Total Contributions     | 11,125.00 | 22,250.00 | 22,250.00 | 0.00 | 0.00% | 12,181.50 | 18,272.25 |

Investment Income

|                         |          |           |          |            |           |          |          |
|-------------------------|----------|-----------|----------|------------|-----------|----------|----------|
| -40306 Interest Revenue | 6,974.43 | 13,328.75 | 5,000.00 | (8,328.75) | (166.58%) | 4,497.49 | 7,334.30 |
| Total Investment Income | 6,974.43 | 13,328.75 | 5,000.00 | (8,328.75) | (166.58%) | 4,497.49 | 7,334.30 |

Miscellaneous

|                             |          |          |      |            |       |          |          |
|-----------------------------|----------|----------|------|------------|-------|----------|----------|
| -40315 Miscellaneous Income | 1,156.96 | 1,156.96 | 0.00 | (1,156.96) | 0.00% | 1,581.04 | 7,465.68 |
| Total Miscellaneous         | 1,156.96 | 1,156.96 | 0.00 | (1,156.96) | 0.00% | 1,581.04 | 7,465.68 |

Donations

|                  |      |          |      |            |       |      |      |
|------------------|------|----------|------|------------|-------|------|------|
| -40455 Donations | 0.00 | 7,500.00 | 0.00 | (7,500.00) | 0.00% | 0.00 | 0.00 |
| Total Donations  | 0.00 | 7,500.00 | 0.00 | (7,500.00) | 0.00% | 0.00 | 0.00 |

Other Income

|                           |          |           |      |             |       |      |      |
|---------------------------|----------|-----------|------|-------------|-------|------|------|
| -40610 Insurance Proceeds | 1,910.00 | 13,842.51 | 0.00 | (13,842.51) | 0.00% | 0.00 | 0.00 |
| Total Other Income        | 1,910.00 | 13,842.51 | 0.00 | (13,842.51) | 0.00% | 0.00 | 0.00 |

Transfers

|                     |            |             |      |           |       |             |            |
|---------------------|------------|-------------|------|-----------|-------|-------------|------------|
| -40910 Transfers In | (5,562.50) | (16,806.26) | 0.00 | 16,806.26 | 0.00% | (33,190.25) | 143,897.70 |
| Total Transfers     | (5,562.50) | (16,806.26) | 0.00 | 16,806.26 | 0.00% | (33,190.25) | 143,897.70 |

|       |            |              |              |              |        |              |              |
|-------|------------|--------------|--------------|--------------|--------|--------------|--------------|
| Total | 265,393.02 | 2,426,944.39 | 4,158,000.00 | 1,731,055.61 | 41.63% | 2,269,428.64 | 4,203,448.35 |
|-------|------------|--------------|--------------|--------------|--------|--------------|--------------|

|               |            |              |              |              |        |              |              |
|---------------|------------|--------------|--------------|--------------|--------|--------------|--------------|
| Total Revenue | 265,393.02 | 2,426,944.39 | 4,158,000.00 | 1,731,055.61 | 41.63% | 2,269,428.64 | 4,203,448.35 |
|---------------|------------|--------------|--------------|--------------|--------|--------------|--------------|

| 100 - General  | Department Expen | Current Month<br>Expense/Rev | Year To Date<br>Expense/Rev | Current Year<br>Budget | Budget<br>Balance<br>Remaining | % Balance<br>Remaining | Prior Year YTD<br>Balance | Prior Year FY<br>End Bal. |
|--|------------------|------------------------------|-----------------------------|------------------------|--------------------------------|------------------------|---------------------------|---------------------------|
| <b><u>110-Administration</u></b> - - - - -                       |                  |                              |                             |                        |                                |                        |                           |                           |
| <b><u>Personnel and Benefits</u></b>                             |                  |                              |                             |                        |                                |                        |                           |                           |
| 110-51101 Payroll Expenses: Wages                                |                  | 35,463.45                    | 279,300.03                  | 481,000.00             | 201,699.97                     | 41.93%                 | 247,585.02                | 408,986.22                |
| 110-51102 Overtime   |                  | 0.00                         | 360.18                      | 500.00                 | 139.82                         | 27.96%                 | 0.00                      | 0.00                      |
| 110-51105 Longevity Pay  |                  | 0.00                         | 908.00                      | 5,950.00               | 5,042.00                       | 84.74%                 | 795.00                    | 795.00                    |
| 110-51109 Auto Allowance   |                  | 150.00                       | 1,050.00                    | 1,800.00               | 750.00                         | 41.67%                 | 1,050.00                  | 1,842.70                  |
| 110-51210 Payroll Expenses: Company<br>Contributions: Retirement |                  | 2,874.08                     | 21,991.38                   | 38,480.00              | 16,488.62                      | 42.85%                 | 18,673.76                 | 30,888.62                 |
| 110-51215 Payroll Expenses: Taxes                                |                  | 2,724.44                     | 21,605.15                   | 37,750.00              | 16,144.85                      | 42.77%                 | 19,081.33                 | 32,004.82                 |
| 110-51216 Employee Health Benefits                               |                  | 4,130.02                     | 28,945.59                   | 48,450.00              | 19,504.41                      | 40.26%                 | 24,985.04                 | 39,869.20                 |
| 110-51220 Workers Compensation                                   |                  | 0.00                         | 2,986.83                    | 2,000.00               | (986.83)                       | (49.34%)               | 4,460.96                  | 4,460.96                  |
| 110-51230 Unemployment   |                  | 0.86                         | 68.68                       | 1,600.00               | 1,531.32                       | 95.71%                 | 344.61                    | 351.78                    |
| 110-51250 Mileage Reimbursements-<br>Non Tax                     |                  | 0.00                         | 0.00                        | 150.00                 | 150.00                         | 100.00%                | 0.00                      | 0.00                      |
| 110-51255 Miscellaneous<br>Reimbursements                        |                  | 0.00                         | 0.00                        | 100.00                 | 100.00                         | 100.00%                | 0.00                      | 0.00                      |
| Total Personnel and Benefits                                     |                  | <u>45,342.85</u>             | <u>357,215.84</u>           | <u>617,780.00</u>      | <u>260,564.16</u>              | <u>42.18%</u>          | <u>316,975.72</u>         | <u>519,199.30</u>         |
| <b><u>Supplies</u></b>   |                  |                              |                             |                        |                                |                        |                           |                           |
| 110-52014 Office Supplies  |                  | 277.80                       | 1,902.93                    | 7,500.00               | 5,597.07                       | 74.63%                 | 4,214.90                  | 7,722.83                  |
| 110-52030 Postage  |                  | 0.00                         | 414.99                      | 1,250.00               | 835.01                         | 66.80%                 | 493.73                    | 624.74                    |
| 110-52100 Minor Tools and Equipment                              |                  | 382.99                       | 2,910.79                    | 2,200.00               | (710.79)                       | (32.31%)               | 1,022.12                  | 3,156.30                  |
| Total Supplies   |                  | <u>660.79</u>                | <u>5,228.71</u>             | <u>10,950.00</u>       | <u>5,721.29</u>                | <u>52.25%</u>          | <u>5,730.75</u>           | <u>11,503.87</u>          |
| <b><u>Contractual Services</u></b>                               |                  |                              |                             |                        |                                |                        |                           |                           |
| 110-53001 Accounting and Auditing Fees                           |                  | 0.00                         | 0.00                        | 15,000.00              | 15,000.00                      | 100.00%                | 673.45                    | 3,673.45                  |
| 110-53002 Advertising and Promotion                              |                  | 0.00                         | 5,228.88                    | 12,000.00              | 6,771.12                       | 56.43%                 | 3,782.48                  | 4,848.58                  |
| 110-53004 Software   |                  | 1,250.00                     | 16,552.83                   | 28,000.00              | 11,447.17                      | 40.88%                 | 32,456.26                 | 34,175.22                 |
| 110-53006 Codification Services                                  |                  | 0.00                         | 299.87                      | 3,250.00               | 2,950.13                       | 90.77%                 | 0.00                      | 1,680.00                  |
| 110-53010 Property and Liability<br>Insurance                    |                  | 0.00                         | 3,424.64                    | 3,000.00               | (424.64)                       | (14.15%)               | 6,895.28                  | 6,919.43                  |
| 110-53012 Legal Fees   |                  | 0.00                         | 34,548.24                   | 75,000.00              | 40,451.76                      | 53.94%                 | 27,584.06                 | 84,951.31                 |
| 110-53015 Dues and Subscriptions                                 |                  | 0.00                         | 150.98                      | 1,000.00               | 849.02                         | 84.90%                 | 133.00                    | 3,596.00                  |
| 110-53016 Public Notices/Dues                                    |                  | 0.00                         | 461.36                      | 1,000.00               | 538.64                         | 53.86%                 | 578.75                    | 980.45                    |
| 110-53022 Training and Travel                                    |                  | (3.28)                       | 7,883.02                    | 14,000.00              | 6,116.98                       | 43.69%                 | 2,158.94                  | 12,161.90                 |
| 110-53030 Credit Card Charge                                     |                  | 39.59                        | 1,570.72                    | 2,500.00               | 929.28                         | 37.17%                 | 1,858.81                  | 3,122.91                  |

|   |                   |                   |                     |                   |                 |                   |                     |
|---|-------------------|-------------------|---------------------|-------------------|-----------------|-------------------|---------------------|
| 110-53045 Lease and CAM Pmts - Town Hall          | 4,479.44          | 32,030.74         | 68,900.00           | 36,869.26         | 53.51%          | 35,232.64         | 58,186.49           |
| 110-53050 Careflite Services                      | 12.00             | 1,536.00          | 2,400.00            | 864.00            | 36.00%          | 1,944.00          | 2,004.00            |
| 110-53055 City of Aubrey Library Fund             | 0.00              | 0.00              | 10,000.00           | 10,000.00         | 100.00%         | 0.00              | 10,000.00           |
| 110-53080 Engineering Services                    | (12,842.67)       | (5,706.29)        | 62,500.00           | 68,206.29         | 109.13%         | 32,693.99         | 17,476.15           |
| 110-53083 Professional Services                   | 3,746.24          | 41,306.04         | 83,500.00           | 42,193.96         | 50.53%          | 7,932.91          | 64,825.01           |
| 110-53110 Utilities                               | 440.00            | 2,849.84          | 6,750.00            | 3,900.16          | 57.78%          | 2,824.35          | 5,574.19            |
| 110-53225 Interlocal Fire                         | 113,075.00        | 339,225.00        | 452,300.00          | 113,075.00        | 25.00%          | 339,225.00        | 452,300.00          |
| 110-53610 Election Expense                        | 0.00              | 0.00              | 6,500.00            | 6,500.00          | 100.00%         | 155.75            | 4,604.13            |
| 110-53800 Sales Tax Overpmt 12/21 to 5/25 Payback | 1,692.00          | 11,844.00         | 20,304.00           | 8,460.00          | 41.67%          | 8,460.00          | 20,304.00           |
| Total Contractual Services                        | <u>111,888.32</u> | <u>493,205.87</u> | <u>867,904.00</u>   | <u>374,698.13</u> | <u>43.17%</u>   | <u>504,589.67</u> | <u>791,383.22</u>   |
| <u>Maintenance</u>                                |                   |                   |                     |                   |                 |                   |                     |
| 110-54010 Building Maintenance/Cleaning           | 1,387.82          | 12,065.52         | 6,000.00            | (6,065.52)        | (101.09%)       | 2,648.01          | 6,523.56            |
| 110-54020 Vehicles Maintenance                    | 479.54            | 479.54            | 2,300.00            | 1,820.46          | 79.15%          | 765.61            | 4,543.53            |
| Total Maintenance                                 | <u>1,867.36</u>   | <u>12,545.06</u>  | <u>8,300.00</u>     | <u>(4,245.06)</u> | <u>(51.15%)</u> | <u>3,413.62</u>   | <u>11,067.09</u>    |
| <u>Capital Outlay</u>                             |                   |                   |                     |                   |                 |                   |                     |
| 110-58007 Capital Improvements                    | 0.00              | 0.00              | 6,500.00            | 6,500.00          | 100.00%         | 22,389.91         | 21,892.21           |
| Total Capital Outlay                              | <u>0.00</u>       | <u>0.00</u>       | <u>6,500.00</u>     | <u>6,500.00</u>   | <u>100.00%</u>  | <u>22,389.91</u>  | <u>21,892.21</u>    |
| Total Administration                              | <u>159,759.32</u> | <u>868,195.48</u> | <u>1,511,434.00</u> | <u>643,238.52</u> | <u>42.56%</u>   | <u>853,099.67</u> | <u>1,355,045.69</u> |
| <b><u>210-Municipal Court</u></b>                 |                   |                   |                     |                   |                 |                   |                     |
| <u>Personnel and Benefits</u>                     |                   |                   |                     |                   |                 |                   |                     |
| 210-51101 Payroll Expenses: Wages                 | 1,000.00          | 5,300.00          | 9,500.00            | 4,200.00          | 44.21%          | 2,700.00          | 6,098.50            |
| 210-51215 Payroll Expenses: Taxes                 | 76.50             | 405.45            | 741.00              | 335.55            | 45.28%          | 198.90            | 481.95              |
| 210-51230 Unemployment                            | 1.00              | 5.30              | 14.25               | 8.95              | 62.81%          | 3.40              | 7.10                |
| Total Personnel and Benefits                      | <u>1,077.50</u>   | <u>5,710.75</u>   | <u>10,255.25</u>    | <u>4,544.50</u>   | <u>44.31%</u>   | <u>2,902.30</u>   | <u>6,587.55</u>     |
| <u>Supplies</u>                                   |                   |                   |                     |                   |                 |                   |                     |
| 210-52014 Office Supplies                         | 153.83            | 1,112.24          | 2,750.00            | 1,637.76          | 59.55%          | 1,988.32          | 1,789.40            |
| 210-52020 Court Supplies                          | 0.00              | 0.00              | 1,250.00            | 1,250.00          | 100.00%         | 220.00            | 970.00              |
| 210-52030 Postage                                 | 0.00              | 515.00            | 2,000.00            | 1,485.00          | 74.25%          | 232.00            | 1,169.14            |
| 210-52100 Minor Tools and Equipment               | 99.15             | 178.47            | 1,350.00            | 1,171.53          | 86.78%          | 761.92            | 1,052.84            |
| Total Supplies                                    | <u>252.98</u>     | <u>1,805.71</u>   | <u>7,350.00</u>     | <u>5,544.29</u>   | <u>75.43%</u>   | <u>3,202.24</u>   | <u>4,981.38</u>     |
| <u>Contractual Services</u>                       |                   |                   |                     |                   |                 |                   |                     |
| 210-53004 Software                                | 0.00              | 336.00            | 0.00                | (336.00)          | 0.00%           | 474.71            | 562.95              |
| 210-53015 Dues and Subscriptions                  | 0.00              | 0.00              | 250.00              | 250.00            | 100.00%         | 13.00             | 88.00               |

|                               |          |           |           |           |         |           |           |
|-------------------------------|----------|-----------|-----------|-----------|---------|-----------|-----------|
| 210-53022 Training and Travel | 0.00     | 0.00      | 500.00    | 500.00    | 100.00% | 0.00      | 525.00    |
| 210-53075 Prosecutor          | 0.00     | 9,566.25  | 21,500.00 | 11,933.75 | 55.51%  | 5,825.00  | 18,007.29 |
| 210-53076 Jury                | 0.00     | 0.00      | 500.00    | 500.00    | 100.00% | 0.00      | 0.00      |
| 210-53077 Interpreter         | 0.00     | 0.00      | 750.00    | 750.00    | 100.00% | 200.00    | 200.00    |
| 210-53078 Arrest/Jail Fees    | 0.00     | 0.00      | 500.00    | 500.00    | 100.00% | 0.00      | 0.00      |
| Total Contractual Services    | 0.00     | 9,902.25  | 24,000.00 | 14,097.75 | 58.74%  | 6,512.71  | 19,383.24 |
| Total Municipal Court         | 1,330.48 | 17,418.71 | 41,605.25 | 24,186.54 | 58.13%  | 12,617.25 | 30,952.17 |

### **310-Police**

#### **Personnel and Benefits**

|   |           |            |              |            |        |            |              |
|---|-----------|------------|--------------|------------|--------|------------|--------------|
| 310-51101 Payroll Expenses: Wages                             | 66,425.03 | 453,974.46 | 932,100.00   | 478,125.54 | 51.30% | 456,785.24 | 775,073.14   |
| 310-51102 Overtime  | 2,445.26  | 25,093.50  | 36,000.00    | 10,906.50  | 30.30% | 14,991.47  | 30,964.48    |
| 310-51105 Longevity Pay                                       | 0.00      | 488.00     | 1,750.00     | 1,262.00   | 72.11% | 400.00     | 400.00       |
| 310-51108 Incentive Pay                                       | 0.00      | 3,750.00   | 7,000.00     | 3,250.00   | 46.43% | 0.00       | (1,615.15)   |
| 310-51210 Payroll Expenses: Company Contributions: Retirement | 5,695.58  | 38,537.69  | 74,568.00    | 36,030.31  | 48.32% | 35,376.79  | 62,049.81    |
| 310-51215 Payroll Expenses: Taxes                             | 5,268.57  | 36,972.85  | 72,300.00    | 35,327.15  | 48.86% | 36,121.52  | 62,708.59    |
| 310-51216 Employee Health Benefits                            | 7,661.43  | 52,975.61  | 105,300.00   | 52,324.39  | 49.69% | 48,771.71  | 87,242.77    |
| 310-51220 Workers Compensation                                | 0.00      | 34,060.53  | 39,000.00    | 4,939.47   | 12.67% | 3,238.90   | 27,825.14    |
| 310-51230 Unemployment  | 6.55      | 95.70      | 4,150.00     | 4,054.30   | 97.69% | 2,157.90   | 2,174.35     |
| Total Personnel and Benefits                                  | 87,502.42 | 645,948.34 | 1,272,168.00 | 626,219.66 | 49.22% | 597,843.53 | 1,046,823.13 |

#### **Supplies**

|                                     |          |           |           |           |        |           |           |
|-------------------------------------|----------|-----------|-----------|-----------|--------|-----------|-----------|
| 310-52005 Uniforms                  | 396.30   | 1,405.63  | 10,000.00 | 8,594.37  | 85.94% | 16,126.92 | 19,555.68 |
| 310-52010 Law Enforcement Supplies  | (600.47) | 762.93    | 5,000.00  | 4,237.07  | 84.74% | 1,515.35  | 7,405.01  |
| 310-52014 Office Supplies           | 241.82   | 2,162.46  | 5,000.00  | 2,837.54  | 56.75% | 2,814.43  | 5,595.16  |
| 310-52015 Evidence Supplies         | 0.00     | 459.61    | 2,000.00  | 1,540.39  | 77.02% | 1,753.09  | 3,601.04  |
| 310-52030 Postage                   | 0.00     | 807.46    | 1,300.00  | 492.54    | 37.89% | 692.57    | 1,249.73  |
| 310-52050 Fuel                      | 2,594.07 | 13,493.21 | 35,000.00 | 21,506.79 | 61.45% | 14,455.59 | 36,118.06 |
| 310-52100 Minor Tools and Equipment | 501.50   | 3,035.05  | 5,000.00  | 1,964.95  | 39.30% | 2,805.07  | 7,873.72  |
| Total Supplies                      | 3,133.22 | 22,126.35 | 63,300.00 | 41,173.65 | 65.05% | 40,163.02 | 81,398.40 |

#### **Contractual Services**

|  |      |          |           |           |         |          |          |
|--|------|----------|-----------|-----------|---------|----------|----------|
| 310-53004 Software                         | 0.00 | 4,193.38 | 19,400.00 | 15,206.62 | 78.38%  | 1,371.92 | 1,371.92 |
| 310-53010 Property and Liability Insurance | 0.00 | 9,462.74 | 10,000.00 | 537.26    | 5.37%   | 5,634.02 | 5,829.39 |
| 310-53012 Legal Fees                       | 0.00 | 0.00     | 2,500.00  | 2,500.00  | 100.00% | 206.25   | 1,718.75 |
| 310-53015 Dues and Subscriptions           | 0.00 | 750.00   | 1,500.00  | 750.00    | 50.00%  | 285.00   | 365.00   |
| 310-53022 Training and Travel              | 0.00 | 4,073.71 | 12,200.00 | 8,126.29  | 66.61%  | 2,236.71 | 7,761.18 |

|   |                  |                   |                     |                   |               |                   |                     |
|---|------------------|-------------------|---------------------|-------------------|---------------|-------------------|---------------------|
| 310-53033 Community Events                | 0.00             | 451.68            | 5,000.00            | 4,548.32          | 90.97%        | 4,393.21          | 5,145.24            |
| 310-53081 Information Technology Services | 690.00           | 5,718.96          | 20,500.00           | 14,781.04         | 72.10%        | 18,248.99         | 14,698.00           |
| 310-53083 Professional Services           | 149.70           | 6,142.20          | 13,500.00           | 7,357.80          | 54.50%        | 10,631.00         | 18,891.80           |
| 310-53091 Landscaping                     | 136.99           | 148.98            | 5,000.00            | 4,851.02          | 97.02%        | 0.00              | 631.97              |
| 310-53110 Utilities                       | 483.59           | 4,606.64          | 8,000.00            | 3,393.36          | 42.42%        | 3,848.67          | 9,568.52            |
| 310-53130 Telephone Mobile                | 655.40           | 4,588.43          | 10,000.00           | 5,411.57          | 54.12%        | 4,768.06          | 7,622.01            |
| 310-53210 Animal Control                  | 1,295.00         | 8,920.00          | 14,700.00           | 5,780.00          | 39.32%        | 8,050.00          | 14,950.00           |
| 310-53230 County Public Safety Contracts  | 0.00             | 24,342.08         | 31,800.00           | 7,457.92          | 23.45%        | 18,471.75         | 32,053.99           |
| Total Contractual Services                | <u>3,410.68</u>  | <u>73,398.80</u>  | <u>154,100.00</u>   | <u>80,701.20</u>  | <u>52.37%</u> | <u>78,145.58</u>  | <u>120,607.77</u>   |
| <b><u>Maintenance</u></b>                 |                  |                   |                     |                   |               |                   |                     |
| 310-54010 Building Maintenance/Cleaning   | 961.91           | 14,518.07         | 21,000.00           | 6,481.93          | 30.87%        | 5,961.11          | 14,298.73           |
| 310-54020 Vehicles Maintenance            | 1,411.34         | 17,612.12         | 20,000.00           | 2,387.88          | 11.94%        | 7,757.62          | 21,768.40           |
| Total Maintenance                         | <u>2,373.25</u>  | <u>32,130.19</u>  | <u>41,000.00</u>    | <u>8,869.81</u>   | <u>21.63%</u> | <u>13,718.73</u>  | <u>36,067.13</u>    |
| Total Police                              | <u>96,419.57</u> | <u>773,603.68</u> | <u>1,530,568.00</u> | <u>756,964.32</u> | <u>49.46%</u> | <u>729,870.86</u> | <u>1,284,896.43</u> |
| <b><u>410-Parks &amp; Recreation</u></b>  |                  |                   |                     |                   |               |                   |                     |
| <b><u>Contractual Services</u></b>        |                  |                   |                     |                   |               |                   |                     |
| 410-53002 Advertising and Promotion       | 0.00             | 0.00              | 2,740.00            | 2,740.00          | 100.00%       | 0.00              | 0.00                |
| 410-53035 Park Events                     | 1,395.92         | 2,855.45          | 10,500.00           | 7,644.55          | 72.81%        | 3,326.67          | 8,892.17            |
| 410-53110 Utilities                       | 169.29           | 776.73            | 750.00              | (26.73)           | (3.56%)       | 365.24            | 847.57              |
| Total Contractual Services                | <u>1,565.21</u>  | <u>3,632.18</u>   | <u>13,990.00</u>    | <u>10,357.82</u>  | <u>74.04%</u> | <u>3,691.91</u>   | <u>9,739.74</u>     |
| <b><u>Maintenance</u></b>                 |                  |                   |                     |                   |               |                   |                     |
| 410-54030 Park Maintenance                | 1,075.00         | 4,113.31          | 18,000.00           | 13,886.69         | 77.15%        | 722.50            | 7,025.00            |
| Total Maintenance                         | <u>1,075.00</u>  | <u>4,113.31</u>   | <u>18,000.00</u>    | <u>13,886.69</u>  | <u>77.15%</u> | <u>722.50</u>     | <u>7,025.00</u>     |
| Total Parks & Recreation                  | <u>2,640.21</u>  | <u>7,745.49</u>   | <u>31,990.00</u>    | <u>24,244.51</u>  | <u>75.79%</u> | <u>4,414.41</u>   | <u>16,764.74</u>    |
| <b><u>510-Community Development</u></b>   |                  |                   |                     |                   |               |                   |                     |
| <b><u>Contractual Services</u></b>        |                  |                   |                     |                   |               |                   |                     |
| 510-53084 Code Enforcement Services       | 150.00           | 350.00            | 2,000.00            | 1,650.00          | 82.50%        | 50.00             | 600.00              |
| Total Contractual Services                | <u>150.00</u>    | <u>350.00</u>     | <u>2,000.00</u>     | <u>1,650.00</u>   | <u>82.50%</u> | <u>50.00</u>      | <u>600.00</u>       |
| Total Community Development               | <u>150.00</u>    | <u>350.00</u>     | <u>2,000.00</u>     | <u>1,650.00</u>   | <u>82.50%</u> | <u>50.00</u>      | <u>600.00</u>       |
| <b><u>520-Inspection</u></b>              |                  |                   |                     |                   |               |                   |                     |
| <b><u>Contractual Services</u></b>        |                  |                   |                     |                   |               |                   |                     |
| 520-53080 Engineering Inspection Services | 1,483.09         | 6,290.95          | 0.00                | (6,290.95)        | 0.00%         | 0.00              | 10,449.29           |
| 520-53085 Res & Com Building Review & -   | 0.00             | 490.00            | 6,500.00            | 6,010.00          | 92.46%        | 350.00            | 8,800.00            |

|   |                   |                     |                     |                     |               |                     |                     |
|---|-------------------|---------------------|---------------------|---------------------|---------------|---------------------|---------------------|
| Insp  |                   |                     |                     |                     |               |                     |                     |
| 520-53090 Sanitation Services                         | 20.00             | 4,650.00            | 15,000.00           | 10,350.00           | 69.00%        | 8,110.00            | 15,460.00           |
| 520-53095 Fire Inspection Services                    | 0.00              | 3,450.00            | 0.00                | (3,450.00)          | 0.00%         | 0.00                | 0.00                |
| Total Contractual Services                            | <u>1,503.09</u>   | <u>14,880.95</u>    | <u>21,500.00</u>    | <u>6,619.05</u>     | <u>30.79%</u> | <u>8,460.00</u>     | <u>34,709.29</u>    |
| Total Inspection                                      | <u>1,503.09</u>   | <u>14,880.95</u>    | <u>21,500.00</u>    | <u>6,619.05</u>     | <u>30.79%</u> | <u>8,460.00</u>     | <u>34,709.29</u>    |
| <del><b>.610-Public Works</b></del> <del>-----</del>  |                   |                     |                     |                     |               |                     |                     |
| <del>Contractual Services</del>                       |                   |                     |                     |                     |               |                     |                     |
| 610-53060 Street Materials and Signs                  | 0.00              | 1,292.47            | 8,000.00            | 6,707.53            | 83.84%        | 4,257.32            | 11,642.88           |
| 610-53065 Mowing and ROW Cleanup                      | 4,091.00          | 25,922.02           | 38,500.00           | 12,577.98           | 32.67%        | 12,177.78           | 29,468.80           |
| 610-53070 Street Contract/Repairs                     | 0.00              | 44,967.60           | 50,000.00           | 5,032.40            | 10.06%        | 0.00                | 47,381.66           |
| 610-53110 Utilities                                   | 189.03            | 1,314.62            | 2,600.00            | 1,285.38            | 49.44%        | 1,231.29            | 2,360.41            |
| Total Contractual Services                            | <u>4,280.03</u>   | <u>73,496.71</u>    | <u>99,100.00</u>    | <u>25,603.29</u>    | <u>25.84%</u> | <u>17,666.39</u>    | <u>90,853.75</u>    |
| Total Public Works                                    | <u>4,280.03</u>   | <u>73,496.71</u>    | <u>99,100.00</u>    | <u>25,603.29</u>    | <u>25.84%</u> | <u>17,666.39</u>    | <u>90,853.75</u>    |
| <del><b>.710-Transfers Out</b></del> <del>-----</del> |                   |                     |                     |                     |               |                     |                     |
| <del>Capital Outlay</del>                             |                   |                     |                     |                     |               |                     |                     |
| 710-59100 Transfers Out                               | <u>25,555.99</u>  | <u>244,980.96</u>   | <u>0.00</u>         | <u>(244,980.96)</u> | <u>0.00%</u>  | <u>(12,691.97)</u>  | <u>1,742,979.53</u> |
| Total Capital Outlay                                  | <u>25,555.99</u>  | <u>244,980.96</u>   | <u>0.00</u>         | <u>(244,980.96)</u> | <u>0.00%</u>  | <u>(12,691.97)</u>  | <u>1,742,979.53</u> |
| Total Transfers Out                                   | <u>25,555.99</u>  | <u>244,980.96</u>   | <u>0.00</u>         | <u>(244,980.96)</u> | <u>0.00%</u>  | <u>(12,691.97)</u>  | <u>1,742,979.53</u> |
| Total Expense   | <u>291,638.69</u> | <u>2,000,671.98</u> | <u>3,238,197.25</u> | <u>1,237,525.27</u> | <u>38.22%</u> | <u>1,613,486.61</u> | <u>4,556,801.60</u> |



Town of Cross Roads  
Balance Sheet  
As of March 31, 2023

5/9/2023 10:08 AM

| Account Type         | Account Number | Description                             | Balance      | Total        |
|----------------------|----------------|---|--------------|--------------|
| <b>100 - General</b> |                |   |              |              |
| Assets               |                |   |              |              |
|                      | 100-10000      | Operating Cash Consolidated             | 345,599.90   |              |
|                      | 100-10010      | PayPal Bank                             | 0.00         |              |
|                      | 100-10110      | TexPool General Operating               | 1,548,839.59 |              |
|                      | 100-11000      | Accounts Receivable                     | 0.00         |              |
|                      | 100-11010      | Accounts Receivable Other               | 592,222.84   |              |
|                      | 100-11020      | Sales Tax Receivable                    | 0.00         |              |
|                      | 100-11030      | Franchise Fees Receivable               | 17,040.36    |              |
|                      | 100-11900      | Allowance for Uncollectible A/R         | 0.00         |              |
|                      | 100-12000      | Due from Other Funds                    | 0.00         |              |
|                      | 100-12010      | Changes after Audit                     | 3,143.70     |              |
|                      | 100-12050      | Due From NEMC                           | 0.00         |              |
|                      | 100-12055      | Due from NEPD                           | 0.00         |              |
|                      | 100-12210      | Due From Municipal Development District | 0.00         |              |
|                      | 100-14010      | Prepaid Expenses                        | 18,142.84    |              |
|                      | 100-14090      | Undeposited Funds                       | 0.00         |              |
|                      | 100-16010      | Land                                    | 0.00         |              |
|                      | 100-16020      | Land Rights                             | 0.00         |              |
|                      | 100-16050      | Construction in Progress                | 0.00         |              |
|                      | 100-16100      | Buildings                               | 0.00         |              |
|                      | 100-16200      | Furniture & Fixtures                    | 0.00         |              |
|                      | 100-16300      | Equipment                               | 0.00         |              |
|                      | 100-16350      | Park Equipment                          | 0.00         |              |
|                      | 100-16500      | Infrastructure                          | 0.00         |              |
|                      | 100-16600      | Accumulated Depreciation                | 0.00         |              |
|                      | 100-19100      | Amount to be Provided Long Term Debt    | 0.00         |              |
|                      | Total Assets   |   | 2,524,989.23 |              |
|                      |                |   |              | 2,524,989.23 |
| Liabilities          |                |   |              |              |
|                      | 100-20100      | Accounts Payable Consolidated           | (1,452.15)   |              |
|                      | 100-21100      | Accrued Wages                           | 1,349.85     |              |
|                      | 100-21105      | Accrued Wages Fiscal Year End           | 29,271.57    |              |
|                      | 100-21110      | Accounts Payable Audit                  | 0.00         |              |
|                      | 100-21111      | Direct Deposit Payable                  | 0.00         |              |
|                      | 100-21120      | Federal Income Taxes Payable            | 0.00         |              |
|                      | 100-21125      | FICA/Medicare Taxes Payable             | (0.02)       |              |
|                      | 100-21126      | Federal 941/944 Taxes Payable           | 0.00         |              |
|                      | 100-21127      | Federal Unemployment 940 Taxes Payable  | 0.00         |              |
|                      | 100-21128      | State Unemployment Taxes Payable        | 144.76       |              |
|                      | 100-21130      | Retirement Payable - Employee           | (602.40)     |              |
|                      | 100-21135      | Retirement Payable - Employer           | 0.00         |              |

|                   |   |                   |
|-------------------|---|-------------------|
| 100-21140         | ER share & EE Dependent Dental Payable                | (383.62)          |
| 100-21145         | Employer Share & Dependent Medical Payable            | 1,177.86          |
| 100-21146         | Life/AD&D Vol Life & ER share & Depend Vision Payable | (497.95)          |
| 100-21147         | Child Support Payable                                 | 0.00              |
| 100-21148         | TMRS Payable  | 0.00              |
| 100-21150         | Child Support Payable                                 | 0.00              |
| 100-21155         | Adj for Veh Expense                                   | 0.00              |
| 100-21190         | Compensated Absences Payable                          | 0.00              |
| 100-22000         | Due to Other Funds                                    | 0.00              |
| 100-22012         | Due to MDD  | 0.00              |
| 100-22015         | Due to Krugerville                                    | 0.00              |
| 100-22016         | Due to NEPD   | 0.00              |
| 100-23013         | Late Payment CC Draft/Credit                          | 0.00              |
| 100-23014         | NEPD Credit Card Reimbursement                        | (4,752.40)        |
| 100-23015         | NE Court Credit Card Reimbursement                    | (192.27)          |
| 100-24016         | CARES Act Funds                                       | 582.81            |
| 100-24020         | Grant Payable   | 0.00              |
| 100-24022         | 380 Agreement Payable                                 | 162,132.97        |
| 100-24040         | State Court Fees                                      | 29,001.24         |
| 100-24045         | Court Collection Fees                                 | 4,697.27          |
| 100-25010         | Unearned Developer Fees                               | 0.00              |
| 100-25020         | MDD Payable   | (2,371.30)        |
| 100-27000         | Developer Deposits                                    | 19,023.51         |
| 100-27050         | Police Escrow   | 5,712.67          |
| 100-29100         | Investment in Fixed Assets                            | 0.00              |
| 100-29110         | Medical Reimbursement Bray                            | 0.00              |
| 100-29120         | PayPal Liability                                      | 0.00              |
| 100-29200         | PID Pass Through                                      | 0.00              |
| Total Liabilities |   | <u>242,842.40</u> |

Fund Balance

|                    |                        |                     |
|--------------------|------------------------|---------------------|
| 100-30050          | Fund Balance Beginning | 428,134.71          |
| 100-30100          | Fund Balance           | <u>1,298,488.94</u> |
| Total Fund Balance |                        | <u>1,726,623.65</u> |

|                                  |                            |
|----------------------------------|----------------------------|
| Total Revenue                    | 2,161,551.37               |
| Total Expenses                   | <u>1,709,033.29</u>        |
| Current Year Increase (Decrease) | 555,523.18                 |
| Fund Balance Total               | 1,726,623.65               |
| Current Year Increase (Decrease) | <u>555,523.18</u>          |
| Total Fund Balance/Equity        | <u>2,282,146.83</u>        |
| Total Liabilities & Fund Balance | <u><u>2,524,989.23</u></u> |

150 - Legal Contingency Fund

|                                  |   |            |            |
|----------------------------------|---|------------|------------|
| Assets                           |   |            |            |
| 150-10000                        | Operating Cash Consolidated                       | 0.00       |            |
| 150-10053                        | Restricted Cash-Legal Contingency Fund<br>xxx0167 | 506,722.04 |            |
| 150-10139                        | Texpool Legal Contingency                         | 0.00       |            |
| Total Assets                     |   | 506,722.04 | 506,722.04 |
|                                  |   |            |            |
| Liabilities                      |   |            |            |
| 150-20100                        | Accounts Payable Consolidated                     | 0.00       |            |
| 150-21100                        | Accrued Wages                                     | 0.00       |            |
| Total Liabilities                |   | 0.00       |            |
|                                  |   |            |            |
| Fund Balance                     |   |            |            |
| 150-30100                        | Fund Balance                                      | 505,964.70 |            |
| Total Fund Balance               |   | 505,964.70 |            |
|                                  |   |            |            |
| Total Revenue                    |   | 757.34     |            |
| Total Expenses                   |   | 0.00       |            |
| Current Year Increase (Decrease) |   | 757.34     |            |
| Fund Balance Total               |   | 505,964.70 |            |
| Current Year Increase (Decrease) |   | 757.34     |            |
| Total Fund Balance/Equity        |   | 506,722.04 |            |
| Total Liabilities & Fund Balance |   |            | 506,722.04 |

210 - Municipal Development District

|                                  |  |                                  |              |
|----------------------------------|--|----------------------------------|--------------|
| Assets                           |  |                                  |              |
| 210-10000                        | Operating Cash Consolidated            | 0.00                             |              |
| 210-10090                        | MDD Cash / Checking xxx9987            | 949,731.64                       |              |
| 210-10138                        | Texpool Municipal Development District | 0.00                             |              |
| 210-11020                        | Sales Tax Receivable                   | 85,749.70                        |              |
| Total Assets                     |  | 1,035,481.34                     |              |
|                                  |  |                                  | 1,035,481.34 |
|                                  |  |                                  |              |
| Liabilities                      |  |                                  |              |
| 210-20100                        | Accounts Payable Consolidated          | 0.00                             |              |
| 210-20105                        | Due to General Fund                    | 0.00                             |              |
| 210-21100                        | Accrued Wages                          | 0.00                             |              |
| 210-21115                        | Accounts Payable MDD                   | 0.00                             |              |
| Total Liabilities                |  | 0.00                             |              |
|                                  |  |                                  |              |
| Fund Balance                     |  |                                  |              |
| 210-30050                        | Fund Balance Beginning                 | 0.00                             |              |
| 210-30100                        | Fund Balance                           | 810,798.31                       |              |
| Total Fund Balance               |  | 810,798.31                       |              |
|                                  |  |                                  |              |
|                                  |  | Total Revenue                    | 242,199.29   |
|                                  |  | Total Expenses                   | 28,624.78    |
|                                  |  | Current Year Increase (Decrease) | 224,683.03   |
|                                  |  |                                  |              |
|                                  |  | Fund Balance Total               | 810,798.31   |
|                                  |  | Current Year Increase (Decrease) | 224,683.03   |
|                                  |  | Total Fund Balance/Equity        | 1,035,481.34 |
| Total Liabilities & Fund Balance |  |                                  | 1,035,481.34 |

**240 - Court Technology**

## Assets

|              |                             |        |        |
|--------------|-----------------------------|--------|--------|
| 240-10000    | Operating Cash Consolidated | 684.40 |        |
| Total Assets |                             | 684.40 |        |
|              |                             |        | 684.40 |

## Liabilities

|                   |                               |      |  |
|-------------------|-------------------------------|------|--|
| 240-20100         | Accounts Payable Consolidated | 0.00 |  |
| Total Liabilities |                               | 0.00 |  |

## Fund Balance

|                    |              |           |  |
|--------------------|--------------|-----------|--|
| 240-30100          | Fund Balance | 10,498.33 |  |
| Total Fund Balance |              | 10,498.33 |  |

|                                  |            |
|----------------------------------|------------|
| Total Revenue                    | 2,385.57   |
| Total Expenses                   | 12,199.50  |
| Current Year Increase (Decrease) | (9,813.93) |
| Fund Balance Total               | 10,498.33  |
| Current Year Increase (Decrease) | (9,813.93) |
| Total Fund Balance/Equity        | 684.40     |

|                                  |        |
|----------------------------------|--------|
| Total Liabilities & Fund Balance | 684.40 |
|----------------------------------|--------|

**241 - Court Security**

## Assets

|              |                             |           |           |
|--------------|-----------------------------|-----------|-----------|
| 241-10000    | Operating Cash Consolidated | 34,863.94 |           |
| Total Assets |                             | 34,863.94 |           |
|              |                             |           | 34,863.94 |

## Liabilities

|                   |                               |        |  |
|-------------------|-------------------------------|--------|--|
| 241-20100         | Accounts Payable Consolidated | 248.85 |  |
| Total Liabilities |                               | 248.85 |  |

## Fund Balance

|                    |              |           |  |
|--------------------|--------------|-----------|--|
| 241-30100          | Fund Balance | 32,086.98 |  |
| Total Fund Balance |              | 32,086.98 |  |

|                                  |           |
|----------------------------------|-----------|
| Total Revenue                    | 2,848.49  |
| Total Expenses                   | 1,226.97  |
| Current Year Increase (Decrease) | 2,528.11  |
| Fund Balance Total               | 32,086.98 |
| Current Year Increase (Decrease) | 2,528.11  |
| Total Fund Balance/Equity        | 34,615.09 |

|                                  |           |
|----------------------------------|-----------|
| Total Liabilities & Fund Balance | 34,863.94 |
|----------------------------------|-----------|

242 - Truancy Prevention

|                                  |                                  |  |           |           |
|----------------------------------|----------------------------------|--|-----------|-----------|
| Assets                           |                                  |  |           |           |
| 242-10000                        | Operating Cash Consolidated      |  | 20,874.01 |           |
| Total Assets                     |                                  |  | 20,874.01 |           |
|                                  |                                  |  |           | 20,874.01 |
| Liabilities                      |                                  |  |           |           |
| 242-20100                        | Accounts Payable Consolidated    |  | 0.00      |           |
| Total Liabilities                |                                  |  | 0.00      |           |
| Fund Balance                     |                                  |  |           |           |
| 242-30100                        | Fund Balance                     |  | 18,448.93 |           |
| Total Fund Balance               |                                  |  | 18,448.93 |           |
|                                  | Total Revenue                    |  | 2,425.08  |           |
|                                  | Total Expenses                   |  | 0.00      |           |
|                                  | Current Year Increase (Decrease) |  | 2,425.08  |           |
|                                  | Fund Balance Total               |  | 18,448.93 |           |
|                                  | Current Year Increase (Decrease) |  | 2,425.08  |           |
|                                  | Total Fund Balance/Equity        |  | 20,874.01 |           |
| Total Liabilities & Fund Balance |                                  |  |           | 20,874.01 |

243 - Jury Fund

|                                  |                                  |        |        |
|----------------------------------|----------------------------------|--------|--------|
| Assets                           |                                  |        |        |
| 243-10000                        | Operating Cash Consolidated      | 416.79 |        |
| Total Assets                     |                                  | 416.79 |        |
|                                  |                                  |        | 416.79 |
| Liabilities                      |                                  |        |        |
| 243-20100                        | Accounts Payable Consolidated    | 0.00   |        |
| Total Liabilities                |                                  | 0.00   |        |
| Fund Balance                     |                                  |        |        |
| 243-30100                        | Fund Balance                     | 368.80 |        |
| Total Fund Balance               |                                  | 368.80 |        |
|                                  | Total Revenue                    | 47.99  |        |
|                                  | Total Expenses                   | 0.00   |        |
|                                  | Current Year Increase (Decrease) | 47.99  |        |
|                                  | Fund Balance Total               | 368.80 |        |
|                                  | Current Year Increase (Decrease) | 47.99  |        |
|                                  | Total Fund Balance/Equity        | 416.79 |        |
| Total Liabilities & Fund Balance |                                  |        | 416.79 |

260 - LEOSE Fund

|                                  |                                  |          |          |
|----------------------------------|----------------------------------|----------|----------|
| Assets                           |                                  |          |          |
| 260-10000                        | Operating Cash Consolidated      | 1,577.67 |          |
| Total Assets                     |                                  | 1,577.67 |          |
|                                  |                                  |          | 1,577.67 |
| Liabilities                      |                                  |          |          |
| 260-20100                        | Accounts Payable Consolidated    | 0.00     |          |
| Total Liabilities                |                                  | 0.00     |          |
| Fund Balance                     |                                  |          |          |
| 260-30100                        | Fund Balance                     | 1,577.67 |          |
| Total Fund Balance               |                                  | 1,577.67 |          |
|                                  | Total Revenue                    | 0.00     |          |
|                                  | Total Expenses                   | 0.00     |          |
|                                  | Current Year Increase (Decrease) | 0.00     |          |
|                                  | Fund Balance Total               | 1,577.67 |          |
|                                  | Current Year Increase (Decrease) | 0.00     |          |
|                                  | Total Fund Balance/Equity        | 1,577.67 |          |
| Total Liabilities & Fund Balance |                                  |          | 1,577.67 |

**265 - Police Donations**

## Assets

|              |                             |           |
|--------------|-----------------------------|-----------|
| 265-10000    | Operating Cash Consolidated | 11,106.70 |
| Total Assets |                             | 11,106.70 |

11,106.70

## Liabilities

|                   |                               |      |
|-------------------|-------------------------------|------|
| 265-20100         | Accounts Payable Consolidated | 0.00 |
| Total Liabilities |                               | 0.00 |

## Fund Balance

|                    |              |           |
|--------------------|--------------|-----------|
| 265-30100          | Fund Balance | 13,655.70 |
| Total Fund Balance |              | 13,655.70 |

|                                  |            |
|----------------------------------|------------|
| Total Revenue                    | 25.00      |
| Total Expenses                   | 2,574.00   |
| Current Year Increase (Decrease) | (2,549.00) |

|                                  |            |
|----------------------------------|------------|
| Fund Balance Total               | 13,655.70  |
| Current Year Increase (Decrease) | (2,549.00) |
| Total Fund Balance/Equity        | 11,106.70  |

Total Liabilities &amp; Fund Balance

11,106.70

**310 - Capital Improvement Fund**

## Assets

|              |                             |            |
|--------------|-----------------------------|------------|
| 310-10000    | Operating Cash Consolidated | 100,163.00 |
| Total Assets |                             | 100,163.00 |

100,163.00

## Liabilities

|                   |                               |      |
|-------------------|-------------------------------|------|
| 310-20100         | Accounts Payable Consolidated | 0.00 |
| Total Liabilities |                               | 0.00 |

## Fund Balance

|                    |              |            |
|--------------------|--------------|------------|
| 310-30100          | Fund Balance | 114,000.00 |
| Total Fund Balance |              | 114,000.00 |

|                                  |             |
|----------------------------------|-------------|
| Total Revenue                    | 0.00        |
| Total Expenses                   | 13,837.00   |
| Current Year Increase (Decrease) | (13,837.00) |

|                                  |             |
|----------------------------------|-------------|
| Fund Balance Total               | 114,000.00  |
| Current Year Increase (Decrease) | (13,837.00) |
| Total Fund Balance/Equity        | 100,163.00  |

Total Liabilities &amp; Fund Balance

100,163.00



320 - Park Improvement Fund

|              |                                  |                                  |            |
|--------------|----------------------------------|----------------------------------|------------|
| Assets       |                                  |                                  |            |
|              | 320-10000                        | Operating Cash Consolidated      | 95,497.60  |
|              | Total Assets                     |                                  | 95,497.60  |
|              |                                  |                                  | 95,497.60  |
|              |                                  |                                  |            |
| Liabilities  |                                  |                                  |            |
|              | 320-20100                        | Accounts Payable Consolidated    | 0.00       |
|              | Total Liabilities                |                                  | 0.00       |
|              |                                  |                                  |            |
| Fund Balance |                                  |                                  |            |
|              | 320-30100                        | Fund Balance                     | 99,696.79  |
|              | Total Fund Balance               |                                  | 99,696.79  |
|              |                                  |                                  |            |
|              |                                  | Total Revenue                    | 0.00       |
|              |                                  | Total Expenses                   | 4,199.19   |
|              |                                  | Current Year Increase (Decrease) | (4,199.19) |
|              |                                  |                                  |            |
|              |                                  | Fund Balance Total               | 99,696.79  |
|              |                                  | Current Year Increase (Decrease) | (4,199.19) |
|              |                                  | Total Fund Balance/Equity        | 95,497.60  |
|              | Total Liabilities & Fund Balance |                                  | 95,497.60  |

### 330 - Vehicle/Equipment Replacement Fund

#### Assets

|              |  |                  |
|--------------|--|------------------|
| 330-10000    | Operating Cash Consolidated/ Vehicle Replacement | 92,836.92        |
| Total Assets |  | <u>92,836.92</u> |

92,836.92

#### Liabilities

|                   |                               |                 |
|-------------------|-------------------------------|-----------------|
| 330-20100         | Accounts Payable Consolidated | (500.00)        |
| Total Liabilities |                               | <u>(500.00)</u> |

#### Fund Balance

|                    |              |                  |
|--------------------|--------------|------------------|
| 330-30100          | Fund Balance | 13,281.73        |
| Total Fund Balance |              | <u>13,281.73</u> |

|                                  |                  |
|----------------------------------|------------------|
| Total Revenue                    | 129,239.75       |
| Total Expenses                   | <u>49,184.56</u> |
| Current Year Increase (Decrease) | 80,055.19        |

|                                  |                  |
|----------------------------------|------------------|
| Fund Balance Total               | 13,281.73        |
| Current Year Increase (Decrease) | <u>80,055.19</u> |
| Total Fund Balance/Equity        | <u>93,336.92</u> |

Total Liabilities & Fund Balance 92,836.92

350 - Public Safety Building fund

|                                  |  |            |            |
|----------------------------------|--|------------|------------|
| Assets                           |  |            |            |
| 350-10000                        | Operating Cash Consolidated                | 0.00       |            |
| 350-10020                        | Restricted Cash-Public Safety Fund xxx6978 | 688,007.59 |            |
| 350-10140                        | Texpool Public Safety                      | 0.00       |            |
| Total Assets                     |  | 688,007.59 | 688,007.59 |
| Liabilities                      |  |            |            |
| 350-20100                        | Accounts Payable Consolidated              | 0.00       |            |
| Total Liabilities                |  | 0.00       |            |
| Fund Balance                     |  |            |            |
| 350-30100                        | Fund Balance                               | 686,979.29 |            |
| Total Fund Balance               |  | 686,979.29 |            |
|                                  | Total Revenue                              | 1,028.30   |            |
|                                  | Total Expenses                             | 0.00       |            |
|                                  | Current Year Increase (Decrease)           | 1,028.30   |            |
|                                  | Fund Balance Total                         | 686,979.29 |            |
|                                  | Current Year Increase (Decrease)           | 1,028.30   |            |
|                                  | Total Fund Balance/Equity                  | 688,007.59 |            |
| Total Liabilities & Fund Balance |  |            | 688,007.59 |

**370 - Road Improvement fund**

## Assets

|              |  |                     |                     |
|--------------|--|---------------------|---------------------|
| 370-10000    | Operating Cash Consolidated                      | 0.00                |                     |
| 370-10054    | Restricted Cash-Road Improvement Fund<br>xxx8122 | 417,822.27          |                     |
| 370-10137    | TexPool Road Improvements                        | 1,207,898.99        |                     |
| 370-12037    | Due from General Fund                            | 0.00                |                     |
| Total Assets |  | <u>1,625,721.26</u> | <u>1,625,721.26</u> |

## Liabilities

|                   |                               |             |  |
|-------------------|-------------------------------|-------------|--|
| 370-20100         | Accounts Payable Consolidated | 0.00        |  |
| 370-20110         | Due to General Fund           | 0.00        |  |
| Total Liabilities |                               | <u>0.00</u> |  |

## Fund Balance

|                    |              |                     |  |
|--------------------|--------------|---------------------|--|
| 370-30100          | Fund Balance | <u>1,467,894.79</u> |  |
| Total Fund Balance |              | <u>1,467,894.79</u> |  |

|                                  |                                  |                     |                     |
|----------------------------------|----------------------------------|---------------------|---------------------|
|                                  | Total Revenue                    | 243,474.14          |                     |
|                                  | Total Expenses                   | <u>95,097.67</u>    |                     |
|                                  | Current Year Increase (Decrease) | 157,826.47          |                     |
|                                  | Fund Balance Total               | 1,467,894.79        |                     |
|                                  | Current Year Increase (Decrease) | <u>157,826.47</u>   |                     |
|                                  | Total Fund Balance/Equity        | <u>1,625,721.26</u> |                     |
| Total Liabilities & Fund Balance |                                  |                     | <u>1,625,721.26</u> |

400 - PID #1 - Villages of Cross Roads

|                                  |                                  |            |            |
|----------------------------------|----------------------------------|------------|------------|
| Assets                           |                                  |            |            |
| 400-10000                        | Operating Cash Consolidated      | 0.00       |            |
| 400-10040                        | Cash-PID #1 xxx1639              | 102,341.76 |            |
| Total Assets                     |                                  | 102,341.76 |            |
|                                  |                                  |            | 102,341.76 |
| Liabilities                      |                                  |            |            |
| 400-20100                        | Accounts Payable Consolidated    | 0.00       |            |
| 400-21110                        | Accounts Payable Audit           | 0.00       |            |
| Total Liabilities                |                                  | 0.00       |            |
| Fund Balance                     |                                  |            |            |
| 400-30100                        | Fund Balance                     | 7,473.89   |            |
| Total Fund Balance               |                                  | 7,473.89   |            |
|                                  | Total Revenue                    | 97,367.83  |            |
|                                  | Total Expenses                   | 2,499.96   |            |
|                                  | Current Year Increase (Decrease) | 94,867.87  |            |
|                                  | Fund Balance Total               | 7,473.89   |            |
|                                  | Current Year Increase (Decrease) | 94,867.87  |            |
|                                  | Total Fund Balance/Equity        | 102,341.76 |            |
| Total Liabilities & Fund Balance |                                  |            | 102,341.76 |

**510 - COVID Grant Fund**

## Assets

|              |                               |                   |
|--------------|-------------------------------|-------------------|
| 510-10000    | Operating Cash Consolidated   | 0.00              |
| 510-10055    | Restricted Cash/COVID xxx9664 | 249,416.46        |
| Total Assets |                               | <u>249,416.46</u> |

249,416.46

## Liabilities

|                   |                               |             |
|-------------------|-------------------------------|-------------|
| 510-20100         | Accounts Payable Consolidated | 0.00        |
| Total Liabilities |                               | <u>0.00</u> |

## Fund Balance

|                    |              |                   |
|--------------------|--------------|-------------------|
| 510-30100          | Fund Balance | 378,103.01        |
| Total Fund Balance |              | <u>378,103.01</u> |

|                                  |                   |
|----------------------------------|-------------------|
| Total Revenue                    | 553.20            |
| Total Expenses                   | <u>129,239.75</u> |
| Current Year Increase (Decrease) | (128,686.55)      |

|                                  |                     |
|----------------------------------|---------------------|
| Fund Balance Total               | 378,103.01          |
| Current Year Increase (Decrease) | <u>(128,686.55)</u> |
| Total Fund Balance/Equity        | <u>249,416.46</u>   |

Total Liabilities & Fund Balance 249,416.46

810 - General Fixed Assets

|                                  |                            |                                  |              |
|----------------------------------|----------------------------|----------------------------------|--------------|
| Assets                           |                            |                                  |              |
| 810-16010                        | Land                       | 869,292.00                       |              |
| 810-16020                        | Land Rights                | 0.00                             |              |
| 810-16050                        | Construction in Progress   | 0.00                             |              |
| 810-16100                        | Buildings                  | 565,768.33                       |              |
| 810-16200                        | Furniture & Fixtures       | 272,369.29                       |              |
| 810-16300                        | Equipment                  | 446,862.92                       |              |
| 810-16350                        | Park Equipment             | 624,026.81                       |              |
| 810-16500                        | Infrastructure             | 8,070,718.18                     |              |
| 810-16600                        | Accumulated Depreciation   | (4,422,569.06)                   |              |
| Total Assets                     |                            | 6,426,468.47                     |              |
|                                  |                            |                                  | 6,426,468.47 |
|                                  |                            |                                  |              |
| Liabilities                      |                            |                                  |              |
| 810-29100                        | Investment in Fixed Assets | 6,426,468.47                     |              |
| Total Liabilities                |                            | 6,426,468.47                     |              |
|                                  |                            |                                  |              |
|                                  |                            | Total Revenue                    | 0.00         |
|                                  |                            | Total Expenses                   | 0.00         |
|                                  |                            | Current Year Increase (Decrease) | 0.00         |
|                                  |                            |                                  |              |
|                                  |                            | Fund Balance Total               | 0.00         |
|                                  |                            | Current Year Increase (Decrease) | 0.00         |
|                                  |                            | Total Fund Balance/Equity        | 0.00         |
| Total Liabilities & Fund Balance |                            |                                  | 6,426,468.47 |

**820 - General Long Term Debt**

## Assets

|              |  |                   |                   |
|--------------|--|-------------------|-------------------|
| 820-17110    | Pension Change in Assumptions                | 193.00            |                   |
| 820-17120    | Pension Contributions After Measurement Date | 68,967.00         |                   |
| 820-17210    | OPEB Change in Assumptions                   | 2,119.00          |                   |
| 820-17220    | OPEB Contributions After Measurement Date    | 645.00            |                   |
| 820-19100    | Amount to be Provided Long Term Debt         | 653,289.11        |                   |
| Total Assets |  | <u>725,213.11</u> | <u>725,213.11</u> |

## Liabilities

|                   |  |                   |
|-------------------|--|-------------------|
| 820-21180         | Sales Tax Overpayment Payable          | 50,781.03         |
| 820-21190         | Compensated Absences Payable           | 51,423.59         |
| 820-27100         | Net Pension Liability                  | (84,013.00)       |
| 820-27115         | Pension Difference in Experience       | 73,048.00         |
| 820-27125         | Pension Excess Investment Returns      | 36,471.00         |
| 820-27200         | Net OPEB Liability                     | 11,420.00         |
| 820-27210         | OPEB Difference in Economic Experience | 3,151.00          |
| 820-28100         | Long Term Debt Payable Current         | 33,591.46         |
| 820-28110         | Long Term Debt Payable Non-Current     | 549,340.03        |
| Total Liabilities |  | <u>725,213.11</u> |

|                                  |                                  |             |                   |
|----------------------------------|----------------------------------|-------------|-------------------|
|                                  | Total Revenue                    | 0.00        |                   |
|                                  | Total Expenses                   | <u>0.00</u> |                   |
|                                  | Current Year Increase (Decrease) | 0.00        |                   |
|                                  | Fund Balance Total               | 0.00        |                   |
|                                  | Current Year Increase (Decrease) | <u>0.00</u> |                   |
|                                  | Total Fund Balance/Equity        | <u>0.00</u> |                   |
| Total Liabilities & Fund Balance |                                  |             | <u>725,213.11</u> |



Town of Cross Roads  
Transaction Detail Report  
4/1/2023 - 4/30/2023

5/11/2023 9:42 AM

**100 - General**

**Account 100-110-51216**

| Post Date | Tran Date | Line Description                      | Vendor  | Invoice #                   | Check # | Debit  | Credit | Balance |
|-----------|-----------|---------------------------------------|---------|-----------------------------|---------|--------|--------|---------|
| 4/18/2023 | 4/18/2023 | LTD - pay Metlife May charges - Admin | Metlife | LTD - pay Metlife May 11496 |         | 157.05 | 0.00   | 157.05  |
| Total     |           |                                       |         |                             |         | 157.05 | 0.00   |         |

**100 - General**

**Account 100-110-52014**

| Post Date | Tran Date | Line Description   | Vendor                  | Invoice #              | Check # | Debit  | Credit | Balance |
|-----------|-----------|--|-------------------------|------------------------|---------|--------|--------|---------|
| 4/3/2023  | 4/3/2023  | chg's dated March 2023 - AMZ order - folders, tape, mouse pad, cable, copy paper | Amazon Capital Services | charges March 20211464 |         | 187.61 | 0.00   | 187.61  |
| 4/3/2023  | 4/3/2023  | chg's dated March 2023 - AMZ order - docking station (Chamber)                   | Amazon Capital Services | charges March 20211464 |         | 63.99  | 0.00   | 251.60  |
| Total     |           |  |                         |                        |         | 251.60 | 0.00   |         |

**100 - General**

**Account 100-110-52100**

| Post Date | Tran Date | Line Description   | Vendor                                     | Invoice #       | Check # | Debit  | Credit | Balance |
|-----------|-----------|--|--|-----------------|---------|--------|--------|---------|
| 4/5/2023  | 4/5/2023  | Lease payment for postage machine - Feb March April 2023 by dept - Admin | Pitney Bowes Global Financial Services LLC | 3317300240      | 11476   | 75.35  | 0.00   | 75.35   |
| 4/11/2023 | 4/11/2023 | CRPD and Admin copier service to 3/21/2023 - Admin inv 18551318          | Xerox Corporation                          | 18551313 CRPD / | 11492   | 307.64 | 0.00   | 382.99  |
| Total     |           |  |  |                 |         | 382.99 | 0.00   |         |

**100 - General**

**Account 100-110-53004**

| Post Date | Tran Date | Line Description  | Vendor        | Invoice # | Check # | Debit    | Credit | Balance  |
|-----------|-----------|---|---------------|-----------|---------|----------|--------|----------|
| 4/4/2023  | 4/4/2023  | Covers period: May 2023-Oct 2023 - 6 mos. Software fee - Community Devel / Data Pkg | iWorq Systems | 200183    | 11466   | 1,250.00 | 0.00   | 1,250.00 |
| Total     |           |   |               |           |         | 1,250.00 | 0.00   |          |

**100 - General**

**Account 100-110-53022**

| Post Date | Tran Date | Line Description  | Vendor | Invoice # | Check # | Debit  | Credit | Balance  |
|-----------|-----------|---|--------|-----------|---------|--------|--------|----------|
| 4/4/2023  | 4/4/2023  | Town of Shady Shores deposit - reimbmt for hotel Town of CR paid \$239.05           |        |           |         | 0.00   | 239.05 | (239.05) |
| 4/4/2023  | 5/11/2023 | Crctn #2 to A-P Inv 3682 coding - s/be Exp to acct 100-110-53022- Mileage Austin TX |        |           |         | 314.73 | 0.00   | 75.68    |

|           |           |   |              |                           |  |        |        |          |
|-----------|-----------|---|--------------|---------------------------|--|--------|--------|----------|
| 4/4/2023  | 5/11/2023 | Crctn #2 to A-P Inv 3682 coding - s/be Exp to acct 100-110-53022- Mileage Austin TX |              |                           |  | 18.02  | 0.00   | 93.70    |
| 4/10/2023 | 4/10/2023 | Reimbs Town for CC chg paying Spouse air flight - Kristi spouse                     |              |                           |  | 0.00   | 387.80 | (294.10) |
| 4/26/2023 | 4/26/2023 | Training at College Station - Mlg reimbmt .655 X 444 miles                          | Donna Butler | mlg college station 11518 |  | 290.82 | 0.00   | (3.28)   |
| Total     |           |   |              |                           |  | 623.57 | 626.85 |          |

**100 - General Account 100-110-53030**

| Post Date | Tran Date | Line Description  | Vendor | Invoice # | Check # | Debit | Credit | Balance |
|-----------|-----------|---|--------|-----------|---------|-------|--------|---------|
| 4/3/2023  | 4/3/2023  | Paypal to 04-03-2023 Total sales \$629.20 Fees \$22.32 net from Paypal \$606.88 |        |           |         | 22.32 | 0.00   | 22.32   |
| 4/3/2023  | 5/1/2023  | Evolv CC co fee for April 2023 \$10.27  |        |           |         | 10.27 | 0.00   | 32.59   |
| 4/11/2023 | 5/4/2023  | wire fee  |        |           |         | 7.00  | 0.00   | 39.59   |
| Total     |           |   |        |           |         | 39.59 | 0.00   |         |

**100 - General Account 100-110-53045**

| Post Date | Tran Date | Line Description   | Vendor              | Invoice # | Check # | Debit    | Credit | Balance  |
|-----------|-----------|--|---------------------|-----------|---------|----------|--------|----------|
| 4/18/2023 | 4/18/2023 | May 2023 rent - Inv 2125 - invoice credit for cleaning fee | West Crossroads LTD | 2125      | 11502   | 0.00     | 800.00 | (800.00) |
| 4/18/2023 | 4/18/2023 | May 2023 rent - Inv 2125 - lease and cam operating expense | West Crossroads LTD | 2125      | 11502   | 1,831.94 | 0.00   | 1,031.94 |
| 4/18/2023 | 4/18/2023 | May 2023 rent - Inv 2125 - lease and cam town hall rent    | West Crossroads LTD | 2125      | 11502   | 3,447.50 | 0.00   | 4,479.44 |
| Total     |           |  |                     |           |         | 5,279.44 | 800.00 |          |

**100 - General Account 100-110-53050**

| Post Date | Tran Date | Line Description   | Vendor    | Invoice #   | Check # | Debit | Credit | Balance |
|-----------|-----------|--|-----------|-------------|---------|-------|--------|---------|
| 4/26/2023 | 4/26/2023 | Careflite add 1 resident thru 12-31-2023 (Stephen Smith) | CareFlite | M230412-700 | 11517   | 12.00 | 0.00   | 12.00   |
| Total     |           |  |           |             |         | 12.00 | 0.00   |         |

**100 - General Account 100-110-53080**

| Post Date | Tran Date | Line Description   | Vendor                 | Invoice # | Check # | Debit    | Credit    | Balance     |
|-----------|-----------|--|------------------------|-----------|---------|----------|-----------|-------------|
| 4/17/2023 | 4/17/2023 | vendor KJE refund of some yr 2022 chgs-invoice dollars in error caused overpmt |                        |           |         | 0.00     | 15,657.50 | (15,657.50) |
| 4/18/2023 | 4/18/2023 | Halff inv 10093732- Engineering to 3/30/2023                                   | Halff Associates, Inc. | 10093732  | 11497   | 2,814.83 | 0.00      | (12,842.67) |
| Total     |           |  |                        |           |         | 2,814.83 | 15,657.50 |             |

**100 - General****Account 100-110-53083**

| Post Date | Tran Date | Line Description  | Vendor                    | Invoice #        | Check # | Debit    | Credit | Balance  |
|-----------|-----------|---|---------------------------|------------------|---------|----------|--------|----------|
| 4/4/2023  | 4/4/2023  | Round trip Mileage and tolls - Austin TX Denton Days event - tolls  | T. Lynn Tompkins          | Reimbursement: / | 11468   | 18.02    | 0.00   | 18.02    |
| 4/4/2023  | 4/4/2023  | Round trip Mileage and tolls - Austin TX Denton Days event - mileage at .655 480.5 miles                                | T. Lynn Tompkins          | Reimbursement: / | 11468   | 314.73   | 0.00   | 332.75   |
| 4/4/2023  | 5/11/2023 | Crctn #2 to A-P Inv 3682 coding - s/be Exp to acct 100-110-53022- Mileage Austin TX                                     |                           |                  |         | 0.00     | 314.73 | 18.02    |
| 4/4/2023  | 5/11/2023 | Crctn #2 to A-P Inv 3682 coding - s/be Exp to acct 100-110-53022- Mileage Austin TX                                     |                           |                  |         | 0.00     | 18.02  | 0.00     |
| 4/5/2023  | 4/5/2023  | Final payment of total 5 invoices- Comprehensive Land Use Plan - total all invoices \$23,200, had already paid \$22,950 | Mundo and Associates Inc. | 4-04-2023        | 11475   | 250.00   | 0.00   | 250.00   |
| 4/26/2023 | 4/26/2023 | Service for month of April 2023 - CRPD / Cloud Backup / IT service - - IT services                                      | Local Circuit             | 4137             | 11511   | 300.99   | 0.00   | 550.99   |
| 4/26/2023 | 4/26/2023 | Service for month of April 2023 - CRPD / Cloud Backup / IT service - - Admin cloud backup                               | Local Circuit             | 4137             | 11511   | 164.00   | 0.00   | 714.99   |
| 4/26/2023 | 4/26/2023 | FY 2022 - General Ledger adjustments - April 2023 services  | Eddie Peacock PLLC        | EPPLLC-1827      | 11515   | 3,031.25 | 0.00   | 3,746.24 |
| Total     |           |   |                           |                  |         | 4,411.74 | 665.50 |          |

**100 - General****Account 100-110-53110**

| Post Date | Tran Date | Line Description  | Vendor          | Invoice #        | Check # | Debit  | Credit | Balance |
|-----------|-----------|---|-----------------|------------------|---------|--------|--------|---------|
| 4/5/2023  | 4/5/2023  | Town and CRPD phones - March 2023 - Town 60%                      | Intermedia Inc. | 2304287057       | 11474   | 253.03 | 0.00   | 253.03  |
| 4/18/2023 | 4/18/2023 | Town Hall internet service to 05/05/2023 acct 314371029           | AT&T            | 314371029 intern | 11501   | 145.16 | 0.00   | 398.19  |
| 4/19/2023 | 4/19/2023 | Phone and Hot Spots service to 04/07/2023: CRPD and Admin - Admin | AT&T Mobility   | 287310473254X04  | 11503   | 41.81  | 0.00   | 440.00  |
| Total     |           |   |                 |                  |         | 440.00 | 0.00   |         |

**100 - General****Account 100-110-53225**

| Post Date | Tran Date | Line Description   | Vendor             | Invoice #          | Check # | Debit      | Credit | Balance    |
|-----------|-----------|--|--------------------|--------------------|---------|------------|--------|------------|
| 4/4/2023  | 4/4/2023  | 3rd Qtr Fire/EMS - 2023 - April May June 2023 Pmt 3 of 4 | Town of Little Elm | Qtr3 Fire/EMS - 20 | 11465   | 113,075.00 | 0.00   | 113,075.00 |
| Total     |           |  |                    |                    |         | 113,075.00 | 0.00   |            |

**100 - General****Account 100-110-53800**

| Post Date | Tran Date | Line Description  | Vendor | Invoice # | Check # | Debit    | Credit | Balance  |
|-----------|-----------|---|--------|-----------|---------|----------|--------|----------|
| 4/19/2023 | 4/19/2023 | Record 100-40100 Rev with Sales<br>Tax Overpmt Payback - 04/2023<br>Rev and Payback |        |           |         | 1,692.00 | 0.00   | 1,692.00 |
| Total     |           |   |        |           |         | 1,692.00 | 0.00   |          |

**100 - General****Account 100-110-54010**

| Post Date | Tran Date | Line Description   | Vendor                     | Invoice #           | Check # | Debit    | Credit | Balance  |
|-----------|-----------|--|----------------------------|---------------------|---------|----------|--------|----------|
| 4/3/2023  | 4/3/2023  | chg's dated March 2023 - AMZ<br>order - Storage racks and shelf  | Amazon Capital<br>Services | charges March 202   | 11464   | 585.82   | 0.00   | 585.82   |
| 4/4/2023  | 4/4/2023  | Cleaning: CRPD / Court / Town Hall<br>thru wk ending 4-06-2023 - Town<br>Hall                          | Maid Up Cleaners LLC       | 04-06-2023          | 11467   | 175.50   | 0.00   | 761.32   |
| 4/4/2023  | 4/4/2023  | Cleaning: CRPD / Court / Town Hall<br>thru wk ending 4-06-2023 - Court<br>Chambers                     | Maid Up Cleaners LLC       | 04-06-2023          | 11467   | 50.00    | 0.00   | 811.32   |
| 4/11/2023 | 4/11/2023 | CRPD \$150 each - cleaning<br>04/11/23 Admin \$175.50 each -<br>cleaning 04/12/2023 - Admin            | Maid Up Cleaners LLC       | service thru 04/13, | 11491   | 175.50   | 0.00   | 986.82   |
| 4/19/2023 | 4/19/2023 | Cleaning thru Wk ending<br>04/20/2023: CRPD \$150, Town Hall<br>\$175.50 - Town Hall                   | Maid Up Cleaners LLC       | Cleaning thru Wk €  | 11505   | 175.50   | 0.00   | 1,162.32 |
| 4/26/2023 | 4/26/2023 | Cleanings to Wk ending 4/27/2023:<br>CRPD \$150 Court chamber \$50<br>Town Hall \$175.50 - - Town Hall | Maid Up Cleaners LLC       | cleanings thru 4/2  | 11512   | 175.50   | 0.00   | 1,337.82 |
| 4/26/2023 | 4/26/2023 | Cleanings to Wk ending 4/27/2023:<br>CRPD \$150 Court chamber \$50<br>Town Hall \$175.50 - - Court     | Maid Up Cleaners LLC       | cleanings thru 4/2  | 11512   | 50.00    | 0.00   | 1,387.82 |
| Total     |           |  |                            |                     |         | 1,387.82 | 0.00   |          |

**100 - General****Account 100-110-54020**

| Post Date | Tran Date | Line Description  | Vendor                       | Invoice # | Check # | Debit  | Credit | Balance |
|-----------|-----------|---|------------------------------|-----------|---------|--------|--------|---------|
| 4/6/2023  | 4/6/2023  | 2015 Ford Super Duty Truck -<br>repaired window regulator | Providence Automotive<br>LLC | 6496      | 11480   | 479.54 | 0.00   | 479.54  |
| Total     |           |   |                              |           |         | 479.54 | 0.00   |         |

**100 - General****Account 100-210-52014**

| Post Date | Tran Date | Line Description  | Vendor                     | Invoice #         | Check # | Debit  | Credit | Balance |
|-----------|-----------|---|----------------------------|-------------------|---------|--------|--------|---------|
| 4/3/2023  | 4/3/2023  | chg's dated March 2023 - AMZ<br>order - envelopes, notepad, belt for<br>printer | Amazon Capital<br>Services | charges March 202 | 11464   | 153.83 | 0.00   | 153.83  |
| Total     |           |   |                            |                   |         | 153.83 | 0.00   |         |

**100 - General****Account 100-210-52100**

| Post Date | Tran Date | Line Description   | Vendor                                     | Invoice #  | Check # | Debit | Credit | Balance |
|-----------|-----------|--|--|------------|---------|-------|--------|---------|
| 4/5/2023  | 4/5/2023  | Lease payment for postage machine - Feb March April 2023 by dept - Court | Pitney Bowes Global Financial Services LLC | 3317300240 | 11476   | 99.15 | 0.00   | 99.15   |
| Total     |           |  |  |            |         | 99.15 | 0.00   |         |

**100 - General****Account 100-310-51216**

| Post Date | Tran Date | Line Description                     | Vendor  | Invoice #             | Check # | Debit  | Credit | Balance |
|-----------|-----------|--------------------------------------|---------|-----------------------|---------|--------|--------|---------|
| 4/18/2023 | 4/18/2023 | LTD - pay Metlife May charges - CRPD | Metlife | LTD - pay Metlife May | 11496   | 261.75 | 0.00   | 261.75  |
| Total     |           |                                      |         |                       |         | 261.75 | 0.00   |         |

**100 - General****Account 100-310-52005**

| Post Date | Tran Date | Line Description   | Vendor    | Invoice #             | Check # | Debit  | Credit | Balance |
|-----------|-----------|--|-----------|-----------------------|---------|--------|--------|---------|
| 4/11/2023 | 4/11/2023 | Inv 24059002-Nametag Qty 2 / Inv 24074195-Supershirt Qty 1 - Supershirt inv 24074195 | Galls LLC | 24059002 and 24074195 | 11489   | 83.60  | 0.00   | 83.60   |
| 4/11/2023 | 4/11/2023 | Inv 24059002-Nametag Qty 2 / Inv 24074195-Supershirt Qty 1 - Nametag inv 24059002    | Galls LLC | 24059002 and 24074195 | 11489   | 32.80  | 0.00   | 116.40  |
| 4/19/2023 | 4/19/2023 | Armorskin - Qty 1  | Galls LLC | 24155830              | 11504   | 143.90 | 0.00   | 260.30  |
| 4/26/2023 | 4/26/2023 | Flexr 5 pocket pant - Qty 2  | Galls LLC | 24247761              | 11516   | 136.00 | 0.00   | 396.30  |
| Total     |           |  |           |                       |         | 396.30 | 0.00   |         |

**100 - General****Account 100-310-52010**

| Post Date | Tran Date | Line Description   | Vendor                  | Invoice #          | Check # | Debit | Credit | Balance  |
|-----------|-----------|--|-------------------------|--------------------|---------|-------|--------|----------|
| 4/3/2023  | 4/3/2023  | chg's dated March 2023 - AMZ order - Ammo crate, shooting target | Amazon Capital Services | charges March 2023 | 11464   | 99.98 | 0.00   | 99.98    |
| 4/6/2023  | 4/6/2023  | *VOID* Customer 69450-Inv 30590586 Qty 5 - Lumen Weapon Light    | Defense Solutions Group | 30590586           | 11456   | 0.00  | 700.45 | (600.47) |
| Total     |           |  |                         |                    |         | 99.98 | 700.45 |          |

**100 - General****Account 100-310-52014**

| Post Date | Tran Date | Line Description  | Vendor                  | Invoice #          | Check # | Debit  | Credit | Balance |
|-----------|-----------|---|-------------------------|--------------------|---------|--------|--------|---------|
| 4/3/2023  | 4/3/2023  | chg's dated March 2023 - AMZ order - paper goods, batteries, flag | Amazon Capital Services | charges March 2023 | 11464   | 241.82 | 0.00   | 241.82  |
| Total     |           |   |                         |                    |         | 241.82 | 0.00   |         |

**100 - General****Account 100-310-52050**

| Post Date | Tran Date | Line Description                      | Vendor   | Invoice #          | Check # | Debit    | Credit | Balance  |
|-----------|-----------|---------------------------------------|----------|--------------------|---------|----------|--------|----------|
| 4/11/2023 | 4/11/2023 | CRPD Fuel charges month of March 2023 | WEX Bank | charges thru 3/31/ | 11486   | 2,594.07 | 0.00   | 2,594.07 |
| Total     |           |                                       |          |                    |         | 2,594.07 | 0.00   |          |

**100 - General****Account 100-310-52100**

| Post Date | Tran Date | Line Description  | Vendor                                     | Invoice #       | Check # | Debit  | Credit | Balance |
|-----------|-----------|---|--|-----------------|---------|--------|--------|---------|
| 4/5/2023  | 4/5/2023  | Lease payment for postage machine - Feb March April 2023 by dept - CRPD | Pitney Bowes Global Financial Services LLC | 3317300240      | 11476   | 23.80  | 0.00   | 23.80   |
| 4/11/2023 | 4/11/2023 | Battery - Inv 3141, Speaker - Inv 3142 - Inv 3142                       | Stolz Telecom Inc.                         | 3141 and 3142   | 11484   | 144.30 | 0.00   | 168.10  |
| 4/11/2023 | 4/11/2023 | Battery - Inv 3141, Speaker - Inv 3142 - Inv 3141                       | Stolz Telecom Inc.                         | 3141 and 3142   | 11484   | 102.86 | 0.00   | 270.96  |
| 4/11/2023 | 4/11/2023 | CRPD and Admin copier service to 3/21/2023 - CRPD inv 18551313          | Xerox Corporation                          | 18551313 CRPD / | 11492   | 230.54 | 0.00   | 501.50  |
| Total     |           |   |  |                 |         | 501.50 | 0.00   |         |

**100 - General****Account 100-310-53081**

| Post Date | Tran Date | Line Description  | Vendor        | Invoice # | Check # | Debit  | Credit | Balance |
|-----------|-----------|---|---------------|-----------|---------|--------|--------|---------|
| 4/26/2023 | 4/26/2023 | Service for month of April 2023 - CRPD / Cloud Backup / IT service - - CRPD | Local Circuit | 4137      | 11511   | 690.00 | 0.00   | 690.00  |
| Total     |           |   |               |           |         | 690.00 | 0.00   |         |

**100 - General****Account 100-310-53083**

| Post Date | Tran Date | Line Description                              | Vendor   | Invoice #       | Check # | Debit  | Credit | Balance |
|-----------|-----------|---|--|-----------------|---------|--------|--------|---------|
| 4/4/2023  | 4/4/2023  | Change name & email address on existing user  | Protel   | 25906           | 11471   | 47.50  | 0.00   | 47.50   |
| 4/4/2023  | 4/4/2023  | Computer search service - month of March 2023 | Transunion Risk and Alternative Data Solutions Inc | 6265812-202303- | 11473   | 102.20 | 0.00   | 149.70  |
| Total     |           |   |  |                 |         | 149.70 | 0.00   |         |

**100 - General****Account 100-310-53091**

| Post Date | Tran Date | Line Description  | Vendor                  | Invoice #         | Check # | Debit  | Credit | Balance |
|-----------|-----------|---|-------------------------|-------------------|---------|--------|--------|---------|
| 4/3/2023  | 4/3/2023  | chg's dated March 2023 - AMZ order - Sprinkler controller | Amazon Capital Services | charges March 202 | 11464   | 136.99 | 0.00   | 136.99  |
| Total     |           |   |                         |                   |         | 136.99 | 0.00   |         |

**100 - General****Account 100-310-53110**

| Post Date | Tran Date | Line Description                             | Vendor          | Invoice #  | Check # | Debit  | Credit | Balance |
|-----------|-----------|--|-----------------|------------|---------|--------|--------|---------|
| 4/5/2023  | 4/5/2023  | Town and CRPD phones - March 2023 - CRPD 40% | Intermedia Inc. | 2304287057 | 11474   | 168.69 | 0.00   | 168.69  |

|           |           |   |              |                    |       |        |      |        |
|-----------|-----------|---|--------------|--------------------|-------|--------|------|--------|
| 4/6/2023  | 4/6/2023  | Various accts for dates 2/23 to 3/24/23 - xx2762 CRPD | CoServ       | 2/23/23 to 3/24/23 | 11479 | 137.95 | 0.00 | 306.64 |
| 4/11/2023 | 4/11/2023 | CRPD internet to 3/31/2023                            | ACC Business | 230900465          | 11487 | 176.95 | 0.00 | 483.59 |
| Total     |           |   |              |                    |       | 483.59 | 0.00 |        |

**100 - General**

**Account 100-310-53130**

| Post Date | Tran Date | Line Description   | Vendor        | Invoice #       | Check # | Debit  | Credit | Balance |
|-----------|-----------|--|---------------|-----------------|---------|--------|--------|---------|
| 4/19/2023 | 4/19/2023 | Phone and Hot Spots service to 04/07/2023: CRPD and Admin - CRPD | AT&T Mobility | 287310473254X04 | 11503   | 655.40 | 0.00   | 655.40  |
| Total     |           |  |               |                 |         | 655.40 | 0.00   |         |

**100 - General**

**Account 100-310-53210**

| Post Date | Tran Date | Line Description                                 | Vendor            | Invoice # | Check # | Debit    | Credit | Balance  |
|-----------|-----------|--|-------------------|-----------|---------|----------|--------|----------|
| 4/11/2023 | 4/11/2023 | Animal Control - service for month of March 2023 | All American Dogs | 5081      | 11488   | 1,295.00 | 0.00   | 1,295.00 |
| Total     |           |  |                   |           |         | 1,295.00 | 0.00   |          |

**100 - General**

**Account 100-310-54010**

| Post Date | Tran Date | Line Description   | Vendor               | Invoice #          | Check # | Debit  | Credit | Balance |
|-----------|-----------|--|----------------------|--------------------|---------|--------|--------|---------|
| 4/4/2023  | 4/4/2023  | Cleaning: CRPD / Court / Town Hall thru wk ending 4-06-2023 - CRPD                           | Maid Up Cleaners LLC | 04-06-2023         | 11467   | 150.00 | 0.00   | 150.00  |
| 4/4/2023  | 4/4/2023  | CRPD-Lawn application #1-Stmt to 2/24/2023   | Granulawn            | 108284             | 11470   | 125.50 | 0.00   | 275.50  |
| 4/11/2023 | 4/11/2023 | CRPD \$150 each - cleaning 04/11/23 Admin \$175.50 each - cleaning 04/12/2023 - CRPD         | Maid Up Cleaners LLC | service thru 04/13 | 11491   | 150.00 | 0.00   | 425.50  |
| 4/19/2023 | 4/19/2023 | Cleaning thru Wk ending 04/20/2023: CRPD \$150, Town Hall \$175.50 - CRPD                    | Maid Up Cleaners LLC | Cleaning thru Wk e | 11505   | 150.00 | 0.00   | 575.50  |
| 4/26/2023 | 4/26/2023 | Cleanings to Wk ending 4/27/2023 - CRPD \$150 Court chamber \$50 Town Hall \$175.50 - - CRPD | Maid Up Cleaners LLC | cleanings thru 4/2 | 11512   | 150.00 | 0.00   | 725.50  |
| 4/26/2023 | 4/26/2023 | Inv 16148 - Wall timer Switch  | Bunger Electric Inc. | 16148              | 11514   | 236.41 | 0.00   | 961.91  |
| Total     |           |  |                      |                    |         | 961.91 | 0.00   |         |

**100 - General**

**Account 100-310-54020**

| Post Date | Tran Date | Line Description   | Vendor                    | Invoice #   | Check # | Debit  | Credit | Balance |
|-----------|-----------|--|---------------------------|-------------|---------|--------|--------|---------|
| 4/4/2023  | 4/4/2023  | Inv 6422-2018 Chev Tahoe Radiator / Inv 6484-2019 Ford Taurus Oil Chg - Inv 6484 | Providence Automotive LLC | 6422 / 6484 | 11472   | 91.98  | 0.00   | 91.98   |
| 4/4/2023  | 4/4/2023  | Inv 6422-2018 Chev Tahoe Radiator / Inv 6484-2019 Ford                           | Providence Automotive LLC | 6422 / 6484 | 11472   | 420.12 | 0.00   | 512.10  |

|           |           |   |                           |                  |       |          |        |          |
|-----------|-----------|---|---------------------------|------------------|-------|----------|--------|----------|
| 4/11/2023 | 4/11/2023 | Raidor / Inv 0404-2019 Ford Taurus Oil Chg - Inv 6422                       | LLC                       |                  |       |          |        |          |
|           |           | Reimbmt for auto supplies paid w/personal funds - motor oil                 | Michael Draut             | Reimbmt for auto | 11483 | 43.96    | 0.00   | 556.06   |
| 4/11/2023 | 4/11/2023 | 2 tires - 1 invoice in March for 2016 Chev Tahoe                            | The Reinalt-Thomas Corp.  | March 2023 stmt  | 11485 | 390.10   | 0.00   | 946.16   |
| 4/11/2023 | 4/11/2023 | 2016 Chev Tahoe Oil change on 04/07/2023                                    | Providence Automotive LLC | 6500             | 11490 | 67.97    | 0.00   | 1,014.13 |
| 4/19/2023 | 4/19/2023 | 2020 Chev - Oil change  | Providence Automotive LLC | 6528             | 11506 | 74.43    | 0.00   | 1,088.56 |
| 4/26/2023 | 4/26/2023 | 2018 Chev Tahoe - Replace thermostat - includes housing                     | Providence Automotive LLC | 6662             | 11513 | 334.15   | 0.00   | 1,422.71 |
| 4/27/2023 | 4/27/2023 | *VOID* 2018 Chev Tahoe - Replace thermostat - includes housing              | Providence Automotive LLC | 6662             | 11513 | 0.00     | 334.15 | 1,088.56 |
| 4/27/2023 | 4/27/2023 | Providence Auto remove sales tax from Inv 6662 2018 Chev replace thermostat | Providence Automotive LLC | 6662 Revised     | 11521 | 322.78   | 0.00   | 1,411.34 |
| Total     |           |   |                           |                  |       | 1,745.49 | 334.15 |          |

**100 - General**

**Account 100-410-53035**

| Post Date | Tran Date | Line Description   | Vendor                  | Invoice #         | Check # | Debit    | Credit   | Balance  |
|-----------|-----------|--|-------------------------|-------------------|---------|----------|----------|----------|
| 4/3/2023  | 4/3/2023  | chg's dated March 2023 - AMZ order - Park events - Easter supplies           | Amazon Capital Services | charges March 202 | 11464   | 452.79   | 0.00     | 452.79   |
| 4/12/2023 | 4/12/2023 | 4/12/23 to 5/9/23 - 4 week Rental  | Texas Johns             | 158625            | 11493   | 89.25    | 0.00     | 542.04   |
| 4/18/2023 | 4/18/2023 | Founder's Day - Restroom Trailer Suite 09/15/23 - 9/18/23                    | Texas Johns             | 158934            | 11499   | 1,707.75 | 0.00     | 2,249.79 |
| 4/25/2023 | 4/25/2023 | *VOID* Founder's Day - Restroom Trailer Suite 09/15/23 - 9/18/23             | Texas Johns             | 158934            | 11499   | 0.00     | 1,707.75 | 542.04   |
| 4/25/2023 | 4/25/2023 | Revised Texas Johns 158934 pay only 50% until service completed in Sept 2023 | Texas Johns             | 158934-1st half   | 11507   | 853.88   | 0.00     | 1,395.92 |
| Total     |           |  |                         |                   |         | 3,103.67 | 1,707.75 |          |

**100 - General**

**Account 100-410-53110**

| Post Date | Tran Date | Line Description   | Vendor                           | Invoice #         | Check # | Debit | Credit | Balance |
|-----------|-----------|--|----------------------------------|-------------------|---------|-------|--------|---------|
| 4/5/2023  | 4/5/2023  | Mustang Parks dept catchup pmt thru 1-12-23 thru 2-14-23 and thru 3-15-23 \$144.23 - 2-15-23 to 3-15-23  | Mustang Special Utility District | Mustang Parks dep | 11478   | 29.96 | 0.00   | 29.96   |
| 4/5/2023  | 4/5/2023  | Mustang Parks dept catchup pmt thru 1-12-23 thru 2-14-23 and thru 3-15-23 \$144.23 - 1-13-23 to 2-14-23  | Mustang Special Utility District | Mustang Parks dep | 11478   | 29.96 | 0.00   | 59.92   |
| 4/5/2023  | 4/5/2023  | Mustang Parks dept catchup pmt thru 1-12-23 thru 2-14-23 and thru 3-15-23 \$144.23 - 12-13-22 to 1-12-23 | Mustang Special Utility District | Mustang Parks dep | 11478   | 84.31 | 0.00   | 144.23  |



|          |          |  |        |                          |  |        |      |        |
|----------|----------|--|--------|--------------------------|--|--------|------|--------|
| 4/6/2023 | 4/6/2023 | Various accts for dates 2/23 to 3/24/23 - xx2764 Parks | CoServ | 2/23/23 to 3/24/23 11479 |  | 25.06  | 0.00 | 169.29 |
| Total    |          |  |        |                          |  | 169.29 | 0.00 |        |

**100 - General**
**Account 100-410-54030**

| Post Date | Tran Date | Line Description  | Vendor                         | Invoice #         | Check # | Debit    | Credit | Balance  |
|-----------|-----------|---|--------------------------------|-------------------|---------|----------|--------|----------|
| 4/5/2023  | 4/5/2023  | Inv 1598 Bi-weekly Mow to 4-4-23 /<br>Inv 1597 Grounds cleanup - Inv 1597 | North Texas Mow & Weed Control | 1598 \$300 / 1597 | 11477   | 475.00   | 0.00   | 475.00   |
| 4/5/2023  | 4/5/2023  | Inv 1598 Bi-weekly Mow to 4-4-23 /<br>Inv 1597 Grounds cleanup - Inv 1598 | North Texas Mow & Weed Control | 1598 \$300 / 1597 | 11477   | 300.00   | 0.00   | 775.00   |
| 4/18/2023 | 4/18/2023 | Parks Dept-Bi weekly Mow - Week Beg. 04/17/2023                           | North Texas Mow & Weed Control | 1804              | 11494   | 300.00   | 0.00   | 1,075.00 |
| Total     |           |   |                                |                   |         | 1,075.00 | 0.00   |          |

**100 - General**
**Account 100-510-53084**

| Post Date | Tran Date | Line Description   | Vendor                     | Invoice #       | Check # | Debit  | Credit | Balance |
|-----------|-----------|--|----------------------------|-----------------|---------|--------|--------|---------|
| 4/6/2023  | 4/6/2023  | 3 invoices related to same property - Violations 401 Keyes - \$50 each | Town of Providence Village | 2300832/2300833 | 11481   | 150.00 | 0.00   | 150.00  |
| Total     |           |  |                            |                 |         | 150.00 | 0.00   |         |

**100 - General**
**Account 100-520-53080**

| Post Date | Tran Date | Line Description                             | Vendor                 | Invoice # | Check # | Debit    | Credit | Balance  |
|-----------|-----------|--|------------------------|-----------|---------|----------|--------|----------|
| 4/18/2023 | 4/18/2023 | Halff inv 10093732- Engineering to 3/30/2023 | Halff Associates, Inc. | 10093732  | 11497   | 1,483.09 | 0.00   | 1,483.09 |
| Total     |           |  |                        |           |         | 1,483.09 | 0.00   |          |

**100 - General**
**Account 100-520-53090**

| Post Date | Tran Date | Line Description   | Vendor                                    | Invoice #        | Check # | Debit | Credit | Balance |
|-----------|-----------|--|---|------------------|---------|-------|--------|---------|
| 4/4/2023  | 4/4/2023  | Sanitation service fee - required for each septic permit Qty 2 - Inv WTR0062102 Inv WTR0062101 | Texas Commission On Environmental Quality | 0620266-March 20 | 11469   | 20.00 | 0.00   | 20.00   |
| Total     |           |  |   |                  |         | 20.00 | 0.00   |         |

**100 - General**
**Account 100-610-53065**

| Post Date | Tran Date | Line Description   | Vendor          | Invoice #          | Check # | Debit    | Credit | Balance  |
|-----------|-----------|--|-----------------|--------------------|---------|----------|--------|----------|
| 4/11/2023 | 4/11/2023 | 40 hours over 2 week period ending 04-07-2023 \$1800 plus \$131 mileage reimbmt for a round trip out of town | Billy Joe Lerma | pay period to 04-0 | 11482   | 1,931.00 | 0.00   | 1,931.00 |
| 4/25/2023 | 4/25/2023 | 40 hours over 2 week period ending 04-21-2023 \$1800 plus \$360 Spring clean up addtnl chgs                  | Billy Joe Lerma | 40 hours over 2 w  | 11508   | 2,160.00 | 0.00   | 4,091.00 |
| Total     |           |  |                 |                    |         | 4,091.00 | 0.00   |          |

**100 - General****Account 100-610-53110**

| Post Date | Tran Date | Line Description  | Vendor | Invoice #          | Check # | Debit  | Credit | Balance |
|-----------|-----------|---|--------|--------------------|---------|--------|--------|---------|
| 4/6/2023  | 4/6/2023  | Various accts for dates 2/23 to 3/24/23 - xx2765 xx2766 xx2767 Lights | CoServ | 2/23/23 to 3/24/23 | 11479   | 64.52  | 0.00   | 64.52   |
| 4/6/2023  | 4/6/2023  | Various accts for dates 2/23 to 3/24/23 - xx2769 light                | CoServ | 2/23/23 to 3/24/23 | 11479   | 11.60  | 0.00   | 76.12   |
| 4/18/2023 | 4/18/2023 | Naylor Rd lights service to 04/06/2023                                | CoServ | 9000272768 to 4-11 | 11498   | 112.91 | 0.00   | 189.03  |
| Total     |           |   |        |                    |         | 189.03 | 0.00   |         |

**100 - General****Account 100-710-59100**

| Post Date | Tran Date | Line Description   | Vendor | Invoice # | Check # | Debit     | Credit   | Balance    |
|-----------|-----------|--|--------|-----------|---------|-----------|----------|------------|
| 4/10/2023 | 4/10/2023 | MDD to General ckg-Qtrly transfer for salary and office exp \$5562.50  |        |           |         | 0.00      | 5,562.50 | (5,562.50) |
| 4/19/2023 | 4/19/2023 | Trsf Out debit - 14.29% of \$\$ credited to 100-40100 04/ 2023 to 100-40100 Revenue moved to 370-10054 Bk acct xxx8122 |        |           |         | 31,506.29 | 0.00     | 25,943.79  |
| 4/19/2023 | 4/20/2023 | Ck rec'd for Reimbmt Spouse air fare to May event \$387.80   |        |           |         | 0.00      | 387.80   | 25,555.99  |
| Total     |           |  |        |           |         | 31,506.29 | 5,950.30 |            |



# COUNCIL AGENDA BRIEFING SHEET

---

Meeting Date:

May 17, 2023

Agenda Item:

Consider approval of a replat application for the Greenway Cross Roads Addition, Block A, Lots 6R, 9, 10, 11 and 12 generally described as property located at the southwest corner of US 380 and 720, within the Town of Cross Roads ETJ. (2023-0306-04FPLAT)

Prepared by:

Rodney Patterson, Building Official

Description:

Applicant Jeff Lindsey with Westwood Residential submitted a replat application on behalf of property owner 720 & 380 LTD to replat approximately 17.5365 acres of land to create four commercial lots between 0.9067 and 1.1211 acres of land a single lot comprised of 12.6528 acres of land for a multifamily project of approximately 300 units. With the property located within the Town's extraterritorial jurisdiction (ETJ) the Town is statutorily prohibited from regulating land uses and only has the authority to review plats. In accordance with state law, plat review is ministerial in nature, if the plat meets the requirements of the ordinance, the Town is required to approve it.

The Town Engineer and applicant have gone through several comment cycles. The drainage on this property is of particular concern due to the location of the floodplain and the proposed amount of impervious lot coverage. The engineer's comments dated April 12, 2023, related to drainage have been addressed. The only comment related to the plat from the engineer's letter dated April 14, 2023, stated "show the FEMA Zone AE and Zone A." That comment was addressed in the applicant's resubmittal dated April 18, 2023.

Recommended Action:

The applicant has addressed all the requirements of the Town's Subdivision Regulations, as such, Staff is recommending approval.

Planning and Zoning Recommendation

The Planning and Zoning Commission considered the application at their May 9, 2023 meeting and unanimously recommended approval.

Attachments:

Location Map

Applicant Resubmittal – April 18, 2023

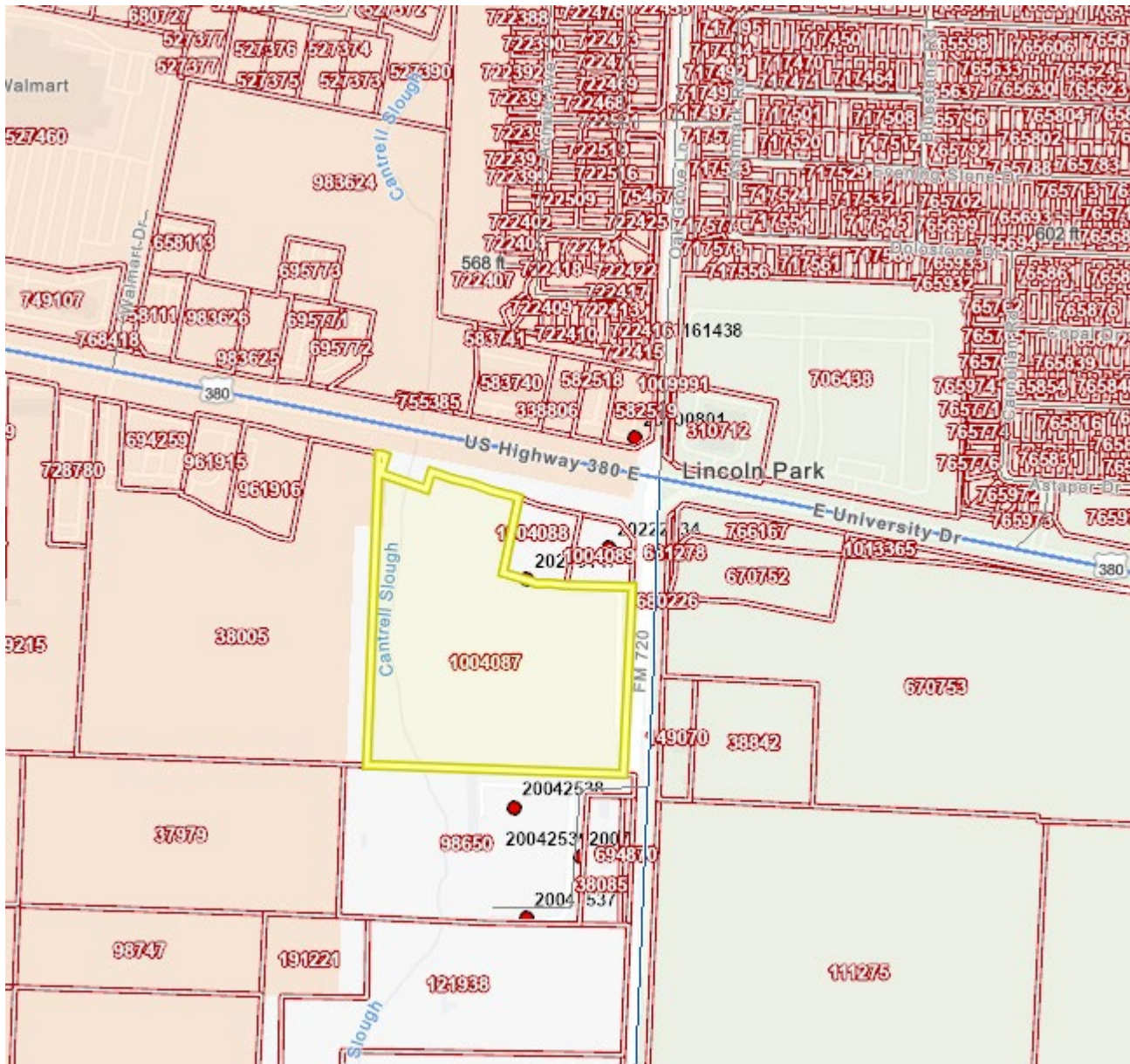
Engineers Comments Related to Drainage (4<sup>th</sup> Review) – April 12, 2023

Engineer Comments Related to Plat – April 14, 2023

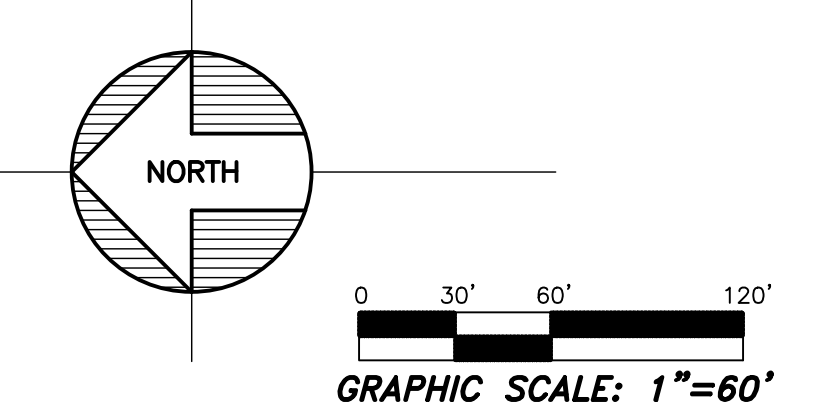
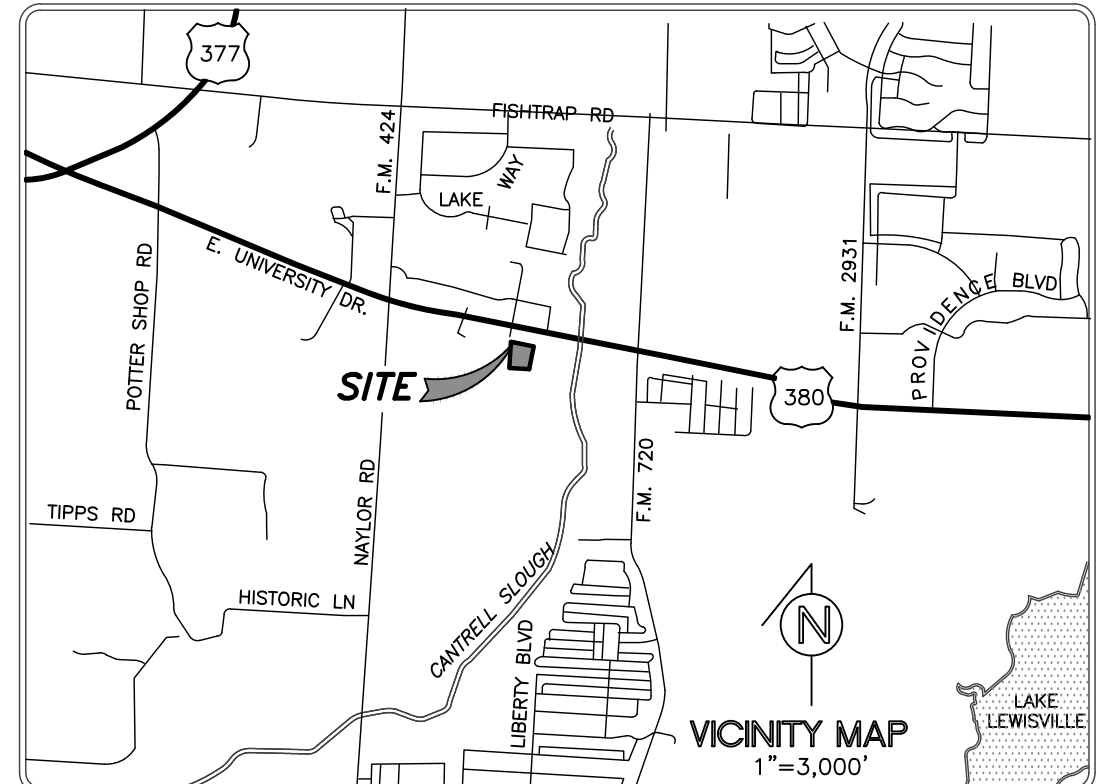
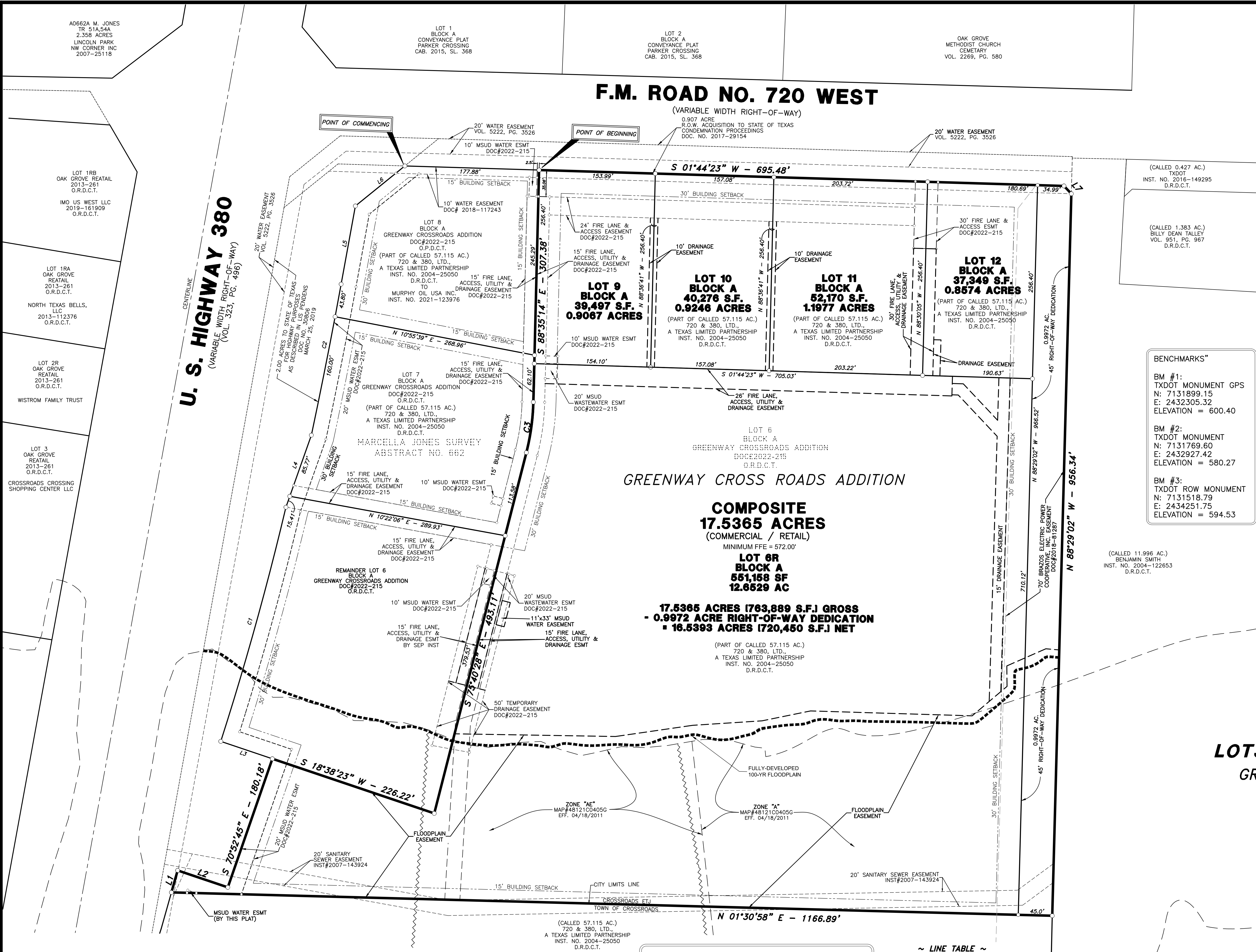
Replat Application and initial drawings

# Project Aerial

Greenway Cross Roads Addition, Block A, Lots 6R and 9- 12 (2023-0306-04FPLAT)







**BENCHMARKS**

**BM #1:**  
TXDOT MONUMENT GPS  
N: 7131899.15  
E: 2432305.32  
ELEVATION = 600.40

**BM #2:**  
TXDOT MONUMENT  
N: 7131769.60  
E: 2432927.42  
ELEVATION = 580.27

**BM #3:**  
TXDOT ROW MONUMENT  
N: 7131518.79  
E: 2434251.75  
ELEVATION = 594.53

**NOTICE:** SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF CITY ORDINANCE AND STATE LAW AND IS SUBJECT TO FINES AND WITHHOLDINGS OF UTILITIES AND BUILDING PERMITS.

| LEGEND       |  |
|--------------|--|
| CM           | CONTROLLING MONUMENT                       |
| I.R.S.       | IRON ROD SET (SIZE NOTED)                  |
| R.P.R.D.C.T. | REAL PROPERTY RECORDS DENTON COUNTY, TEXAS |
| P.R.D.C.T.   | PLAT RECORDS DENTON COUNTY, TEXAS          |
| CCF#         | COUNTY CLERK'S FILE NUMBER                 |
| ESMT.        | EASEMENT                                   |
| F.A.U.E.     | FIRE LANE, ACCESS & UTILITY EASEMENT       |
| SEP. INST.   | SEPARATE INSTRUMENT                        |
| ESMT.        | EASEMENT                                   |

- NOTES:**
1. BEARINGS BASED UPON STATE PLANE COORDINATE (4202 TEXAS NORTH CENTRAL ZONE) REFERENCE FRAME NORTH AMERICAN DATUM (NAD) 83(2011)
  2. ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) - NATIONAL FLOOD INSURANCE PROGRAM (NFIP) - FLOOD INSURANCE RATE MAP (FIRM) - FOR THE DENTON COUNTY, TEXAS AND INCORPORATED AREAS - MAP NO. 4821C0405G, MAP REVISED, APRIL 18, 2011, & LOMR 12-06-0686P EFFECTIVE 12/10/2012 - THE PROPERTY SHOWN HEREON LIES IN ZONE "X" (OTHER AREA) AND PARTIALLY IN ZONE "AE".
  3. ALL LOT CORNERS ARE MONUMENTED WITH 5/8" IRON ROD SET WITH YELLOW CAP STAMPED "RPLS 1890" UNLESS OTHERWISE NOTED.
  4. MAINTENANCE OF ALL INTERNAL ROAD, STORM PIPE, OUTFALL STRUCTURES AND ASSOCIATED CHANNELS WILL BE THE RESPONSIBILITY OF THE OWNER OR POA.

**REPLAT**  
**LOTS 6R, 9, 10, 11, 12, BLOCK A**  
**GREENWAY CROSS ROADS ADDITION**  
**17.5365 ACRES**  
**- 0.9972 ACRE R.O.W.**  
**= 16.5393 ACRES NET**

SITUATED IN THE  
MARCELLA JONES SURVEY,  
ABSTRACT NO. 662  
TOWN OF CROSS ROADS  
DENTON COUNTY, TEXAS  
APRIL 18, 2023

**BLUE SKY**  
SURVEYING & MAPPING  
11015 MIDWAY ROAD  
DALLAS, TEXAS 75229  
PHONE: (214) 358-4500  
CONTACT: DAVID PETREE, RPLS  
DRPETREE@BLUESKYSURVEYING.COM  
TBPLS REGISTRATION NO. 10105700

**OWNER:**  
720 & 380, LTD.  
2808 FAIRMONT STREET, SUITE 100  
DALLAS, TEXAS 75201  
PHONE: (214) 880-9050  
CONTACT: TODD PETTY

**ENGINEER:**  
URBAN ENGINEERS GROUP, INC.  
167 TURTLE CREEK BLVD., SUITE A  
DALLAS, TEXAS 75207  
PHONE: (214) 252-1600  
CONTACT: MARK TAYLOR

SEE PAGE 2 FOR LINE AND CURVE DATA TABLES FOR EASEMENTS DEDICATED BY THIS PLAT.

| ~ CURVE TABLE ~ |          |           |         |               |
|-----------------|----------|-----------|---------|---------------|
| NO.             | RADIUS   | DELTA     | ARC     | CH. BEARING   |
| C1              | 4143.67' | 04°27'03" | 321.89' | S 74°26'35" E |
| C2              | 7128.67' | 01°38'17" | 203.8'  | S 78°50'56" E |
| C3              | 300.00'  | 12°54'46" | 67.61'  | N 82°07'51" W |

| ~ LINE TABLE ~ |               |          |
|----------------|---------------|----------|
| NO.            | BEARING       | DISTANCE |
| L1             | S 74°13'05" E | 30.26'   |
| L2             | S 18°38'23" W | 70.12'   |
| L3             | N 18°38'23" E | 72.15'   |
| L4             | N 70°33'01" W | 101.18'  |
| L5             | S 79°40'04" E | 105.27'  |
| L6             | S 38°59'56" E | 84.23'   |
| L7             | S 46°37'16" W | 14.18'   |



OWNER’S CERTIFICATE

STATE OF TEXAS  
COUNTY OF }

WHEREAS, 720 & 380, LTD., ARE THE OWNERS OF A CERTAIN LOT, TRACT OR PARCEL OF LAND CONTAINING 17.5365 ACRES AND SITUATED IN THE MARCELLA JONES SURVEY, ABSTRACT NO. 662, DENTON COUNTY, TEXAS, AND BEING PART OF A CALLED 57.115 ACRE TRACT OF LAND DESCRIBED IN A DEED TO 720 & 380 LTD., A TEXAS LIMITED PARTNERSHIP AS RECORDED IN INSTRUMENT NO. 2004–25050 OF THE DEED RECORDS OF DENTON COUNTY, TEXAS, AND BEING A PORTION OF LOT 6 IN BLOCK A OF GREENWAY CROSSROADS ADDITION, AN ADDITION TO THE TOWN OF CROSS ROADS, DENTON COUNTY, TEXAS, ACCORDING TO THE PLAT THEREOF RECORDED IN DOCUMENT NUMBER 2022–2015 OF THE OFFICIAL RECORDS OF DENTON COUNTY, TEXAS, AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

COMMENCING AT A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "RPLS 1890" SETFOR CORNER, SAID POINT BEING ON THE WEST LINE OF A TRACT OF LAND ACQUIRED BY THE STATE OF TEXAS FOR ROADWAY WIDENING OF F.M. 720 WEST AS RECORDED UNDER INSTRUMENT NUMBER 2017–29154 OF THE REAL PROPERTY RECORDS OF DENTON COUNTY, TEXAS, SAID POINT ALSO BEING A NORTHEASTERLY CORNER OF A TRACT OF LAND CONVEYED TO MURPHY OIL USA INC., BY DEED RECORDED IN INSTRUMENT NUMBER 2021–123976 OF THE OFFICIAL RECORDS OF DENTON COUNTY, TEXAS, SAID POINT ALSO BEING THE MOST EASTERLY NORTHEAST CORNER OF LOT 8 IN BLOCK A OF GREENWAY CROSSROADS ADDITION, AN ADDITION TO THE TOWN OF CROSS ROADS, DENTON COUNTY, TEXAS, ACCORDING TO THE PLAT THEREOF RECORDED IN DOCUMENT NUMBER 2022–2015 OF THE OFFICIAL RECORDS OF DENTON COUNTY, TEXAS;

THENCE SOUTH 01° 44’ 23” WEST AND FOLLOWING ALONG SAID STATE OF TEXAS 0.907 ACRE TRACT WIDENING OF F.M. 720 AND ALONG THE EAST LINE OF SAID LOT 8, AND MURPHY OIL USA INC. TRACT FOR A DISTANCE OF 177.88 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "RPLS 1890" SET FOR CORNER FOR THE POINT OF BEGINNING FOR THIS DESCRIPTION;

THENCE SOUTH 01° 44’ 23” WEST AND FOLLOWING ALONG SAID STATE OF TEXAS 0.907 ACRE TRACT WIDENING OF F.M. 720 AND ALONG THE EAST LINE OF AFORESAID LOT 6, AND 720 & 380 LTD. – 57.115 ACRE TRACT FOR A DISTANCE OF 695.48 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "RPLS 1890" SET FOR CORNER, SAID POINT BEING THE MOST EASTERLY SOUTHEAST CORNER OF AFORESAID LOT 6;

THENCE SOUTH 46° 37’ 16" WEST FOR A DISTANCE OF 14.18 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "RPLS 1890" SET FOR CORNER ON THE NORTH LINE OF A CALLED 11.996 ACRE TRACT OF LAND CONVEYED TO BENJAMIN SMITH PER DEED RECORDED IN INSTRUMENT NUMBER 2004–122653, DEED RECORDS, DENTON COUNTY, TEXAS;

THENCE NORTH 88° 29’ 02" WEST AND FOLLOWING ALONG THE SOUTH LINE OF AFORESAID LOT 6 AND ALONG THE NORTH LINE OF SAID 11.996 ACRE TRACT FOR A DISTANCE OF 956.34 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "RPLS 1890" SET FOR CORNER, SAID POINT BEING THE SOUTHWESTERLY CORNER OF AFORESAID LOT 6;

THENCE NORTH 01° 30’ 58" EAST FOR A DISTANCE OF 1,166.89 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "RPLS 1890" SET FOR CORNER ON THE SOUTH LINE OF AFORESAID STATE OF TEXAS FOR ROADWAY WIDENING TRACT;

THENCE ALONG THE SOUTH LINE OF SAID STATE OF TEXAS FOR ROADWAY WIDENING TRACT THE FOLLOWING COURSES AND DISTANCES NUMBERED 1, 2 AND 3:

1) SOUTH 74° 13’ 05" EAST FOR A DISTANCE OF 30.26 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "RPLS 1890" SET FOR CORNER;

2) SOUTH 18° 38’ 23" WEST FOR A DISTANCE OF 70.12 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "RPLS 1890" SET FOR CORNER;

3) SOUTH 70° 52’ 45" EAST FOR A DISTANCE OF 180.18 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "RPLS 1890" SET FOR CORNER;

THENCE SOUTH 18° 38’ 23" WEST FOR A DISTANCE OF 226.22 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "RPLS 1890" SET FOR CORNER;

THENCE SOUTH 75° 40’ 28" EAST PASSING AT A DISTANCE OF 379.53 FEET THE SOUTHWEST CORNER OF LOT 7 IN BLOCK A OF AFORESAID GREENWAY CROSSROADS ADDITION, AND ALONG THE SOUTH LINE OF SAID LOT 7, FOR A TOTAL DISTANCE OF 493.11 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "RPLS 1890" SET FOR CORNER, SAID POINT BEING THE BEGINNING OF A CURVE TO THE LEFT HAVING A RADIUS OF 300.00 FEET, A CENTRAL ANGLE OF 04° 27’ 03", AND A CHORD BEARING SOUTH 82° 07’ 51" EAST AT A DISTANCE OF 67.47 FEET;

THENCE SOUTHEASTERLY ALONG SAID CURVE TO THE LEFT AND CONTINUING ALONG THE SOUTH LINE OF SAID LOT 7 FOR AN ARC DISTANCE OF 67.61 FEET TO A /8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "RPLS 1890" SET FOR CORNER;

THENCE SOUTH 88° 35’ 14" EAST CONTINUING ALONG THE SOUTH LINE OF SAID LOT 7, AND PASSING AT A DISTANCE OF 62.10 FEET THE SOUTHEASTERLY CORNER OF SAID LOT 7 AND THE SOUTHWESTERLY CORNER OF AFORESAID LOT 8, AND ALONG THE SOUTH LINE OF AFORESAID LOT 8 AND MURPHY OIL USA INC. TRACT, FOR A TOTAL DISTANCE OF 307.38 FEET TO THE POINT OF BEGINNING AND CONTAINING 17.5365 ACRES (763,890 SQUARE FEET) OF LAND, MORE OR LESS.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

WE, 720 & 380, LTD. ARE THE OWNERS OF THE TRACTS OF LAND SHOWN HEREON AND DO ACCEPT THIS AS ITS PLAN FOR SUBDIVIDING INTO LOTS AND BLOCKS AND DO DEDICATE TO THE PUBLIC FOREVER THE STREETS, ALLEYS, AND EASEMENTS AS SHOWN, AND DOES DEDICATE TO DENTON COUNTY: (1) EASEMENTS FOR THE PURPOSES SHOWN ON THIS PLAT AND FOR THE MUTUAL BENEFIT, USE, AND ACCOMMODATION OF ALL PUBLIC UTILITY ENTITIES INCLUDING THE TOWN PROVIDING SERVICES TO THE ADDITION CREATED HEREBY AND DESIRING TO USE OR USING THE SAME, AND ALSO AN EASEMENT AND RIGHT–OF–WAY, UNDER, ACROSS, AND UPON ALL LOTS SHOWN HEREON FOR THE CONSTRUCTION, INSTALLATION, MAINTENANCE, OPERATION, INSPECTION, REMOVAL, AND RECONSTRUCTION OF THE FACILITIES, EQUIPMENT, AND SYTEMS OF SUCH PUBLIC UTILITY ENTITIES; AND (2) FOR THE USE, BENEFIT, AND ACCOMMODATION OF DENTON COUNTY. AND EASEMENT AND RIGHT–OF–WAY, UNDER, ACROSS, AND UPON AS SHOWN HEREON FOR ANY PURPOSE RELATED TO THE EXERCISE OF A GOVERNMENTAL SERVICE OR FUNCTION INCLUDING, BUT NOT LIMITED TO, FIRE AND POLICE PROTECTION, GARBAGE COLLECTION, INSPECTION AND CODE ENFORCEMENT, AND THE REMOVAL OF ANY VEHICLE OR OBSTACLE THAT IMPAIRS EMERGENCY ACCESS.

EXCEPT FOR PRIVATE STREETS AND RELATED IMPROVEMENTS, NO BUILDINGS, FENCES, TREES, SHRUBS, OR OTHER IMPROVEMENTS OR GROWTHS SHALL BE CONSTRUCTED OR PLACED UPON, OR ACROSS THE EASEMENTS DEDICATED HEREIN. THE TOWN AND PUBLIC UTILITY ENTITIES SHALL HAVE THE RIGHT TO REMOVE AND KEEP REMOVED ALL OR PARTS OF ANY BUILDINGS, FENCES, TREES, SHRUBS, OR OTHER PROHIBITED IMPROVEMENTS OR GROWTHS WHICH MAY IN ANY WAY ENDANGER OR INTERFERE WITH THEIR REPSECTIVE EASEMENTS.

THIS PLAT APPROVED SUBJECT TO ALL PLATTING ORDINANCES, RULES, REGULATIONS AND RESOLUTIONS OF DENTON COUNTY, TEXAS.

WITNESS, MY HAND, THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2023.

720 & 380, LTD.  
A TEXAS LIMITED PARTNERSHIP

BY: GREENWAY–720, INC.  
A TEXAS CORPORATION,  
ITS GENERAL PARTNER

BY: \_\_\_\_\_  
NAME: TODD PETTY  
TITLE: VICE PRESIDENT

STATE OF TEXAS §  
COUNTY OF DALLAS §

BEFORE ME, THE UNDERSIGNED AUTHORITY, A NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS, ON THIS DAY PERSONALLY APPEARED TODD PETTY , KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATIONS THEREIN EXPRESSED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2023.

\_\_\_\_\_  
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

I, DAVID PETREE, REGISTERED PROFESSIONAL LAND SURVEYOR NO. 1890, STATE OF TEXAS, DO HEREBY CERTIFY THAT THE ABOVE PLAT WAS PREPARED FROM AN ACTUAL SURVEY MADE UNDER MY DIRECTION AND SUPERVISION ON THE GROUND DURING AUGUST 2016.

GIVEN UNDER MY HAND AND SEAL THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2023.

\_\_\_\_\_  
DAVID PETREE  
REGISTERED PROFESSIONAL  
LAND SURVEYOR NO. 1890

STATE OF TEXAS}  
COUNTY OF DALLAS}

BEFORE ME, THE UNDERSIGNED A NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS, ON THIS DAY PERSONALY APPEARED JOHN P. WEBER, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED ON THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

GIVEN UNDER MY SEAL AND OFFICE THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2023.

\_\_\_\_\_  
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

RECOMMENDED FOR APPROVAL

\_\_\_\_\_  
CHAIRPERSON, PLANNING AND ZONING COMMISSION

\_\_\_\_\_  
DATE

APPROVED FOR CONSTRUCTION

\_\_\_\_\_  
MAYOR, TOWN OF CROSS ROADS

\_\_\_\_\_  
DATE

THE UNDERSIGNED, THE TOWN SECRETARY, OF THE TOWN OF CROSS ROADS, TEXAS, HEREBY CERTIFIES THAT THE FOREGOING FINAL PLAT OF THE GREENWAY CROSSROADS ADDITION TO THE TOWN OF CROSS ROADS WAS SUBMITTED TO THE TOWN COUNCIL ON THE \_\_\_\_ DAY OF \_\_\_\_\_, 2023, AND THE COUNCIL, BY FORMAL ACTION, THEN AND THERE ACCEPTED THE DEDICATION OF STREETS, ALLEYS, PARKS, EASEMENTS, PUBLIC PARKS, AND WATER AND SEWER LINES, AS SHOWN AND SET FORTH IN AND UPON SAID PLAT, AND SAID COUNCIL FURTHER AUTHORIZES THE MAYOR TO NOTE THE ACCEPTANCE THEREOF FOR CONSTRUCTION BY SIGNING HIS/HER NAME AS HEREIN ABOVE SUBSCRIBED.

WITNESS MY HAND THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ AD, 2023.

REPLAT  
LOTS 6R, 9, 10, 11, 12, BLOCK A  
GREENWAY CROSS ROADS ADDITION  
17.5365 ACRES  
– 0.9972 ACRE R.O.W.  
= 16.5393 ACRES NET

SITUATED IN THE  
MARCELLA JONES SURVEY,  
ABSTRACT NO. 662  
TOWN OF CROSS ROADS  
DENTON COUNTY, TEXAS  
APRIL 18, 2023



BLUE SKY SURVEYING  
& MAPPING, CORPORATION  
11015 MIDWAY ROAD  
DALLAS, TEXAS 75229  
PHONE: (214) 358-4500  
CONTACT: DAVID PETREE, RPLS  
DRPETREE@BLUESKYSURVEYING.COM  
TBPLS REGISTRATION NO. 10105700

OWNER:  
720 & 380, LTD.  
2808 FAIRMONT STREET, SUITE 100  
DALLAS, TEXAS 75201  
PHONE: (214) 880–9050  
CONTACT: TODD PETTY

ENGINEER:  
URBAN ENGINEERS GROUP, INC.  
167 TURTLE CREEK BLVD., SUITE A  
DALLAS, TEXAS 75207  
PHONE: (214) 252–1600  
CONTACT: MARK TAYLOR



April 12, 2023  
AVO 43608.001

Ms. Kristi Gilbert  
Town Administrator  
Town of Cross Roads

Re: **Westwood Residential Drainage Study/Downstream Assessment/Flood Study – 4<sup>th</sup> Review**

Dear Ms. Gilbert,

Halff Associates, Inc. was requested by the Town of Cross Roads to provide a review of the drainage study/downstream assessment and flood study for the Westwood Residential development. The drainage and flood study prepared by Boyd Hydrology PLLC was submitted on January 3, 2023 and comments were provided on January 17, 2023. A second submittal was received on February 15, 2023 and comments were provided on March 1, 2023. A third submittal was received on March 16, 2023 and comments were provided on March 28, 2023. A fourth submittal was received on April 6, 2023. Please refer to the Denton County Subdivision Rules and Regulations dated July 2009 for drainage criteria; hereafter referred to as Criteria Manual.

We have completed our review and have no additional stormwater comments. The submittal has obtained drainage study acceptance. **Please note a flood development permit will be required prior to any activity within the FEMA floodplain.**

**General:**

1. 1<sup>st</sup>/2<sup>nd</sup>/3<sup>rd</sup> Review Comment: Please note, plat and construction plans are reviewed separately. An accepted drainage and flood study is required prior to plat/plans acceptance.  
**4<sup>th</sup> Review Comment:** In addition to the fully developed 100-yr floodplain and floodplain easement shown on the plat, please show/label FEMA Zone AE and Zone A and reference Panel number.
2. 1<sup>st</sup>/2<sup>nd</sup>/3<sup>rd</sup> Review Comment: Please address comments on attached markups and provide annotated responses.  
**4<sup>th</sup> Review Comment:** Addressed.
3. Provide onsite grading and drainage exhibits for proposed improvements.  
2<sup>nd</sup> Review Comment: Please address comments on attached grading and drainage plans and provide annotated responses.  
**3<sup>rd</sup> Review Comment:** Addressed.
4. Please note, additional downstream assessment/drainage study comments may result once the plat/plans are submitted.



2<sup>nd</sup> Review Comment: It appears a Final Plat has been submitted. Please note, this review is for both: flood study and drainage study/downstream assessment in support of the final plat and construction plans.

3<sup>rd</sup> Review Comment: Noted.

**Hydrology:**

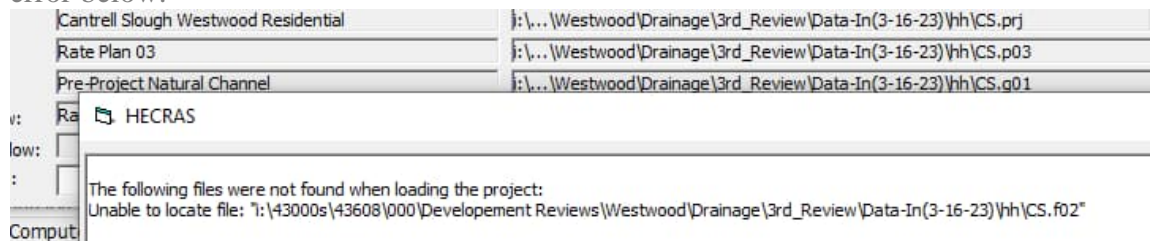
5. Please also include HMS and RAS analysis for the 50-yr, 500-yr and fully developed 100-yr flood events.

1<sup>st</sup> Review Response: Provided as requested.

2<sup>nd</sup> Review Comment: Please address the following: (a) Provide a description of the RAS plans and delete those not being used; refer to RAS markup. (b) Update parameters for fully developed analysis (see comments below). (c) Include 500-yr floodplain on proposed conditions workmap.

2<sup>nd</sup> Review Response: Provided as requested.

3<sup>rd</sup> Review Comment: Noted. RAS model is missing a flow file. Please provide. See error below.



3<sup>rd</sup> Review Response: The missing file has been provided as an email attachment.

4<sup>th</sup> Review Comment: Addressed.

6. Provide a comparison table of existing vs proposed flows for the 10-yr, 50-yr and 100-yr flood events. Also include a comparison of proposed 100-yr with FEMA effective flows.

1<sup>st</sup> Review Response: Provided as requested.

2<sup>nd</sup> Review Comment: (a) It appears the FEMA effective 100-yr flow at north side of project is a lot larger than calculated flows (about 8013 vs 4540 for FEMA and proposed respectively). Please verify parameters. Contributing area appears underestimated (5.1 sq miles vs. 4.3 sq miles for FEMA and proposed respectively); Please verify and update. (b) Resulting fully developed flows also appear underestimated, about 5740 cfs. Typically, fully developed flows are larger than FEMA effective flows. Please update parameters and compare. After addressing hydrologic comments, please use the larger of fully developed 100-yr or FEMA 100-yr flows to define floodplain for floodplain easement and to set minimum finished floor elevations. See comments on plan and plat sheets.

2<sup>nd</sup> Review Response: Provided as requested

3<sup>rd</sup> Review Comment: Noted.

7. Provide soils and landuse maps for existing, proposed and fully developed conditions.

1<sup>st</sup> Review Response: Provided as requested.



2<sup>nd</sup> Review Comment: Address comments on landuse maps and provide annotated responses.

2<sup>nd</sup> Review Response: Provided as requested

3<sup>rd</sup> Review Comment: Noted.

8. Show and label flowpaths for time of concentration on drainage area map. Select the longest path.

1<sup>st</sup> Review Response: Provided as requested.

2<sup>nd</sup> Review Comment: Please show and label the components for the flowpaths. The extent of shallow concentrated flow component appears overestimated for drainage area DA1. Please verify and update. For fully developed conditions please update the time of concentration; assume shallow concentrated flow will be channelized or converted to SD

2<sup>nd</sup> Review Response: Provided as requested

3<sup>rd</sup> Review Comment: Noted.

9. In addition to the overall drainage area map, please provide a zoomed-in version at the site. See attached markup.

1<sup>st</sup> Review Response: Provided as requested.

2<sup>nd</sup> Review Comment: Noted.

10. Based on HMS, DA1 and DA2 are combined at Junction 1. Is most of the drainage released near junction 1?

1<sup>st</sup> Review Response: Correct as modeled.

2<sup>nd</sup> Review Comment: Noted.

11. For all drainage area maps, grading, and RAS workmaps, please show and label existing infrastructure (ie. existing culverts, inlet, ditches, pond etc). Show and label proposed contours. Show onsite and offsite directional flow arrows on drainage area maps and grading exhibits.

1<sup>st</sup> Review Response: Provided as requested.

2<sup>nd</sup> Review Comment: Please address comments on attached drainage plans.

2<sup>nd</sup> Review Comment: Addressed.

## **Hydraulics**

12. Please provide grading exhibits for the proposed improvements covered by this drainage and flood study. Show the effective floodplain and revised floodplains on the exhibits and show RAS cross-sections.

1<sup>st</sup> Review Response: Provided as requested.

2<sup>nd</sup> Review Comment: Show effective floodplain (Zone AE and A) on grading plans. Show RAS cross sections with fully developed 100-yr water surface elevation, show fully developed 100-yr floodplain and floodplain easement.

2<sup>nd</sup> Review Response: Provided as requested

2<sup>nd</sup> Review Comment: Address comments on attached grading markup and reconcile with RAS. Update floodplain/floodplain easement on plat as needed.

3<sup>rd</sup> Review Response: The grading plan has been updated correspond with the RAS model. No changes were needed to the RAS model and/or the floodplain easement.

4<sup>th</sup> Review Comment: Addressed.

13. Is proposed fill encroaching into the Cantrell Slough floodplain? Show/label proposed contours on RAS workmap and update pre- and post- RAS analysis to demonstrate no significant increase in water surface elevation and velocity to adjacent property

1<sup>st</sup> Review Response: No response.

2<sup>nd</sup> Review Comment: (a) Include pre- and post- geometry analysis with FEMA effective flows and verify no significant increases. (b) It appears a wall is encroaching into the floodplain. Please use a 4:1 slope for the portion reaching floodwaters. See cross section for suggested configuration on grading sheet (C5.1).

2<sup>nd</sup> Review Response: Provided as requested

2<sup>nd</sup> Review Comment: Addressed

14. Please define the fully developed 100-year floodplain, show on plat, and provide a floodplain easement. Set minimum finished floor elevation at least 2' above the fully developed 100-yr water surface elevation.

1<sup>st</sup> Review Response: Acknowledged

2<sup>nd</sup> Review Comment: Please show on plat and grading sheet. Show cross section with fully developed 100-yr water surface elevations on the grading sheet.

2<sup>nd</sup> Review Response: Provided as requested

2<sup>nd</sup> Review Comment: Refer to markups

15. Please provide comparison table and confirm that the multi-profile WSELs tie-into the effective WSELs for all profiles within 0.5-ft at study limits. Provide the latest FIS to confirm tie-ins and annotate where you are tie-ing into the FEMA Effective profiles. Provide the FEMA Effective HEC-RAS model, if available.

1<sup>st</sup> Review Response: FEMA model is not available; however, the project does not encroach into the Zone AE or Zone A annotation. Therefore, no coordination with FEMA is needed.

2<sup>nd</sup> Review Comment: If the FEMA model is not available, please used published tables or profile to verify tie in location.

2<sup>nd</sup> Review Response: Provided as requested

2<sup>nd</sup> Review Comment: Noted.

16. Provide sizing of SD, inlets, any channels or culverts, etc. Include hydraulic parameters and results. Show stormwater infrastructure on grading plans and proposed drainage area map and grading plan and provide identifiers.

1<sup>st</sup> Review Response: To be provided by others, not part of flood study.

2<sup>nd</sup> /3<sup>rd</sup> Review Comment: Address comments on attached plans. Please note, plans are reviewed separately; however, plan markups provide with this review relate to the drainage study. Please addressed.

Ms. Kristi Gilbert  
April 12, 2023  
Page 5 of 5

3<sup>rd</sup> Review Response: The grading plan has been updated correspond with the RAS model. No changes were needed to the RAS model and/or the floodplain easement.

4<sup>th</sup> Review Comment: Addressed.

17. The proposed infrastructure (ie inlets, SD, swales, culverts, etc.) included in the drainage study to support the replat will be reviewed once the construction plans are available. Update drainage study calculations as necessary to correspond to plans.

1<sup>st</sup> Review Response: Also, to be provided by others; not part of flood study.

2<sup>nd</sup> Review Comment: Address comments on attached plans. Please note, plans are reviewed separately; however, plan markups provide with this review relate to the drainage study. Please addressed.

2<sup>nd</sup> Review Comment: Addressed

The Engineer shall revise the hydrologic study and/or plans in accordance with the above comments and/or provide a written response that addresses each comment. If you have any questions or need additional information, please do not hesitate to call me at (817) 764-7466.

Sincerely,

**HALFF ASSOCIATES, INC.**

Firm No. 0312



Emilia Yanagi, P.E., CFM  
Drainage Review Consultant for the Town of Cross Roads



April 14, 2023  
AVO 43608.001

Ms. Kristi Gilbert  
Town Administrator  
Town of Cross Roads

**Re: Cross Roads Infrastructure Plans review in support of preliminary plat**

Dear Ms. Gilbert,

Halff Associates, Inc. was requested by the Town of Cross Roads to provide a review of the replat for the Greenway Cross Roads Addition (Lots 6R, 9, 10, 11, and 12). The plat was prepared by Blue Sky Surveying & Mapping Corporation and is dated March 31, 2023.

We have the following comment:

1. In addition to the Fully developed flood plain and easement show the FEMA Zone AE and Zone A.

If you have any questions or need additional information, please do not hesitate to call me at (817) 764-7480.

Sincerely,

**HALFF**

Firm No. 0312

A blue ink signature of Steven D. Templar, consisting of stylized initials and a surname.

Steven D. Templar, P.E.  
Civil Review Consultant for the Town of Cross Roads

TOWN OF CROSS ROADS  
PLATTING APPLICATION



DATE: 03/06/2023

APPLICATION # 2023-0306-04FPLAT

PROJECT: Greenway Cross Roads Addition

Completed applications will be considered received on  
the due date specified on the yearly Submission Schedule.  
**PLEASE VERIFY MEETING DATES.**

**TYPE OF PLAT**

Preliminary ☐ Replat ☒  
Final ☐ Administrative/Amending ☐

**PLEASE SPECIFY THE PRIMARY CONTACT**

Land Owner Name 720 & 380 LTD.

Signature *John Kelly*  
*Vice President of General Partner*

Applicant Name Westwood Residential

Signature *John Kelly*

Project Contact Mailing Address 777 Main Street, Suite 1900 Fort Worth, Texas 76102

Project Contact Phone 817-872-6005

Email dgreer@bgeinc.com

Proposed Project Name Greenway Cross Roads Addition

Location Marcella Jones Survey

Lot/Block 6R, 9, 10, 11, 12 - Block A

Abstract NO. 662

DCAD ID 1004087

Number of Lots Created 5

**REQUIRED SUBMISSION DOCUMENTS**

Fee \$2850.80 (2000 deposit, 500 replat, 20/acre;17.54) Legal Description Provided

Location Map Provided Drawings (1 full, 2 half) Provided

Site Plan (Commercial) Provided Electronic copy of application Provided

Electronic copy of drawings Provided

OTHER (Specify) \_\_\_\_\_

**APPLICATION EXPLANATION**

**Explanation and Description of Request or Project**

REPLAT SUBMITTAL FOR CROSS ROADS MULT-FAMILY PROJECT OF AROUND 300+ UNITS.

Before submitting an application, the applicant should consult with the Town  
Administrator to discuss the feasibility of the request and any additional requirements.



## Town of Cross Roads

3201 US 380, STE 105 • Cross Roads, Texas 76227 • 940.365.9693

### PROFESSIONAL SERVICES DEPOSIT INFORMATION

All submissions requiring the services of the Town Civil Engineer and/or the Town Attorney, including, but not limited to platting, construction plans and planned development applications, will be required to place a Professional Services Deposit at the time of project submission per Town of Cross Roads Code of Ordinances, Chapter 10, Article 9 FILING FEES AND CHARGES:

#### Sec. 10.09.001 Fee structure

- (a) The town shall determine the base fees and charges for plat review. The town council shall adopt a fee schedule.
- (b) Fees shall be charged on all plats, regardless of action taken by the planning and zoning commission and whether the plat is approved or denied by the town council.
- (c) If the amount deposited is less than the actual cost of reviewing and processing the plat, the balance shall be collected before final consideration of the plat. An administrative fee equal to fifteen percent (15%) of the total of the application fee and processing costs in excess of the original fee will be charged.
- (d) The town may also assess against the applicant, developer or subdivider additional costs incurred by the town for engineering fees and legal fees associated with the review and consideration of a plat in the amount incurred by the town. The payment of these additional fees shall be a condition of plat approval or a prerequisite to the acceptance of any improvements or the issuance of any building permits.

#### Sec. 10.09.002 Procedure

All fees or charges shall be paid in advance and no action of the planning and zoning commission or any other board or agency shall be valid until the fee or charge has been paid to the town.

Applicants will be billed monthly for any professional services incurred in the previous month. The professional services deposit made at time of submission will be in an amount as indicated on the Town's fee schedule and will be used towards the last invoice incurred for the project. Applicant will be billed if last invoice exceeds the Professional Services Deposit. Any remaining balance upon project and invoice completion will be refunded to the applicant.

### PROFESSIONAL SERVICES CONTACT INFORMATION

Name: David Greer

Email: dgreer@bgeinc.com

Phone: 817-872-6005

Address: 777 Main Street, Suite 1900 Fort Worth, Texas 76102

Project: Cross Roads Multifamily

I have read and acknowledge the Professional Services Deposit Process.

Applicant's Signature

Date

Town of Cross Roads' Use Only

Date completed application received: \_\_\_\_\_

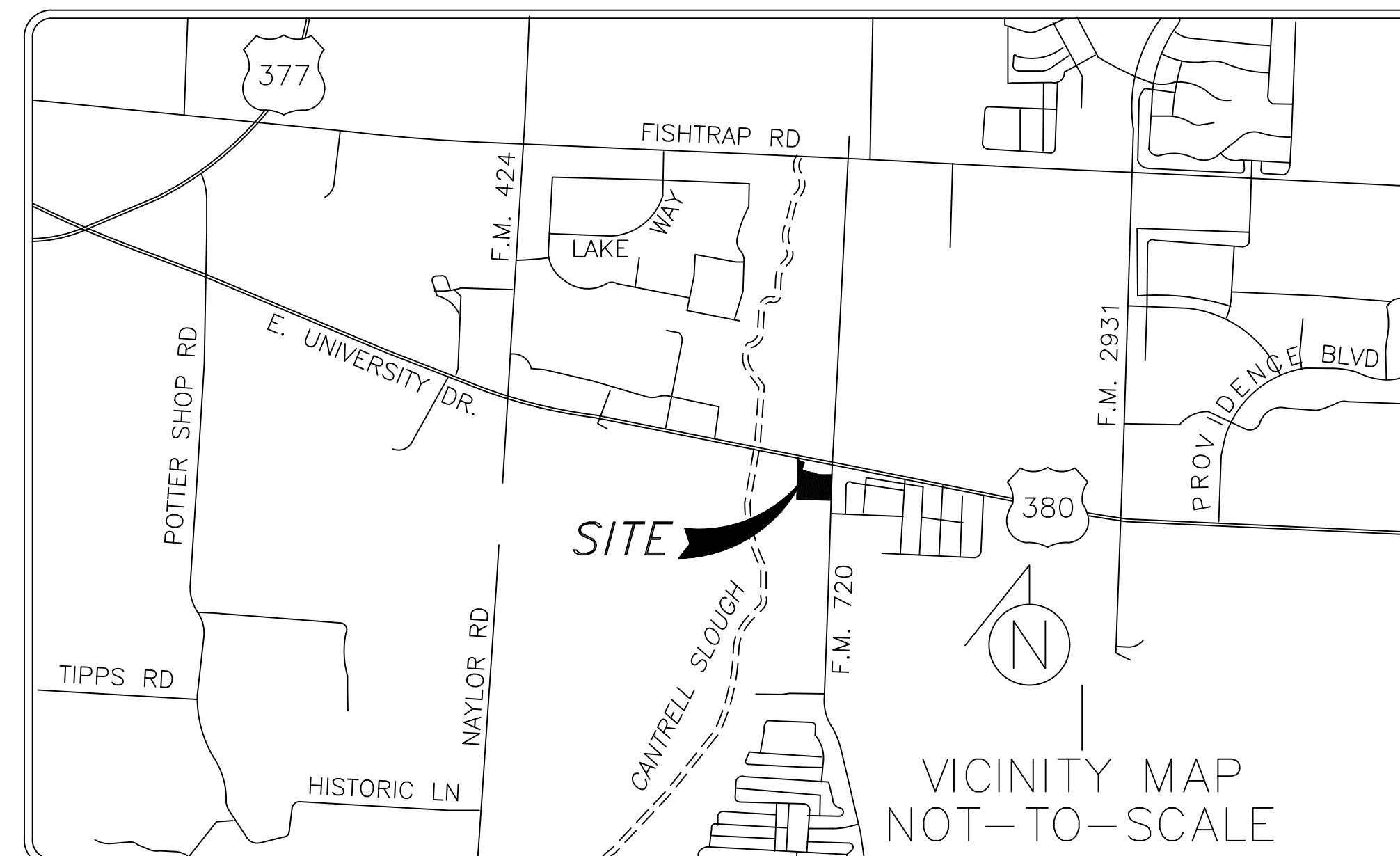
Amount Deposited: \_\_\_\_\_

Receipt Number: \_\_\_\_\_

Professional Services Deposit Number: \_\_\_\_\_



CIVIL CONSTRUCTION PLANS  
FOR  
**CROSS ROADS MULTIFAMILY**  
LOT 6R, BLOCK A  
GREENWAY CROSS ROADS ADDITION  
13.386 ACRES



| SHEET INDEX  |                                   |
|--------------|-----------------------------------|
| Sheet Number | Sheet Title                       |
| C-0.0        | COVER SHEET                       |
| C-1.1        | PLAT                              |
| C-4.1        | PAVING & DIMENSIONAL CONTROL PLAN |
| C-5.1        | GRADING PLAN                      |
| C-6.1        | EXISTING DRAINAGE AREA MAP        |
| C-6.2        | PROPOSED DRAINAGE AREA MAP        |
| C-6.3        | STORM PLAN                        |
| C-6.4        | STORM PROFILES                    |
| C-6.5        | STORM PROFILES                    |
| C-6.6        | HYDRAULIC CALCULATIONS            |
| C-7.1        | UTILITY PLAN                      |
| C-7.2        | SEWER PROFILES                    |
| C-8.1        | EROSION CONTROL PLAN              |
| C-8.2        | EROSION CONTROL DETAILS           |
| C-9.1        | STANDARD DETAILS                  |
| C-9.2        | STANDARD DETAILS                  |
| C-9.3        | MUSTANG SUD DETAILS               |

APPROVAL:

MUSTANG S.U.D. DATE

ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. IN ACCEPTING THESE PLANS, MUSTANG SPECIAL UTILITY DISTRICT MUST RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.

**DEVELOPER:**

**WESTWOOD RESIDENTIAL**  
3198 Parkwood Blvd Suite 11076  
Frisco, TX 75034

Contact: Jeff Lindsey  
Tel: 972-292-7656  
Email: [jeff.lindsey@westwoodresidential.com](mailto:jeff.lindsey@westwoodresidential.com)

**PREPARED BY:**



**BGE, Inc.**  
777 Main Street, Suite 1900, Fort Worth, TX 76102  
Tel: 817-887-6130 • [www.bgeinc.com](http://www.bgeinc.com)  
TBPE Registration No. F-1046  
Contact: David A. Greer, P.E.  
Telephone: (817)-872-6005  
[DGREER@BGEINC.COM](mailto:DGREER@BGEINC.COM)

Copyright 2023

IN  
THE TOWN OF CROSS ROADS ETJ,  
TEXAS  
DENTON COUNTY

MARCH 2023

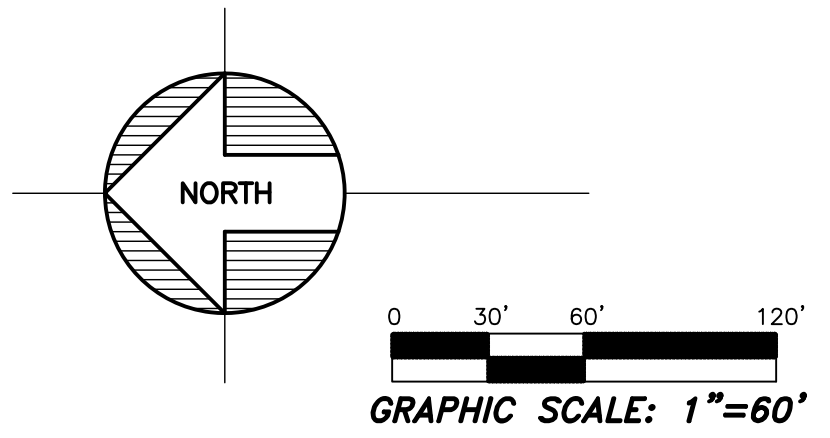
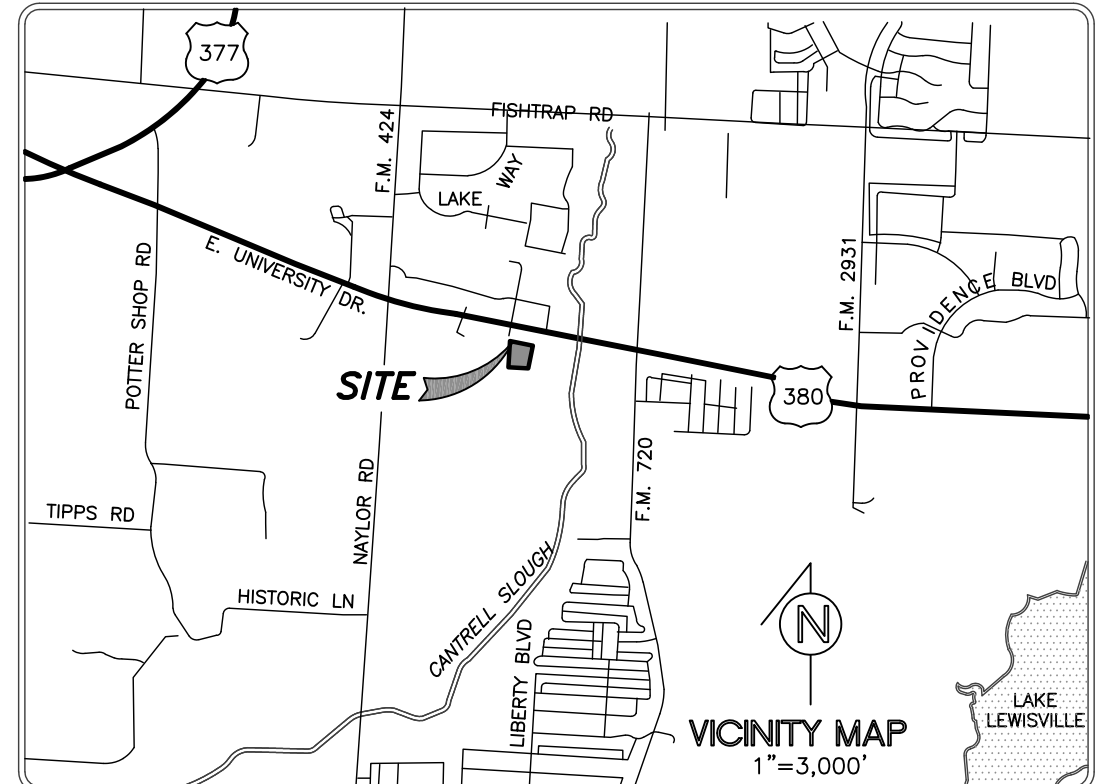
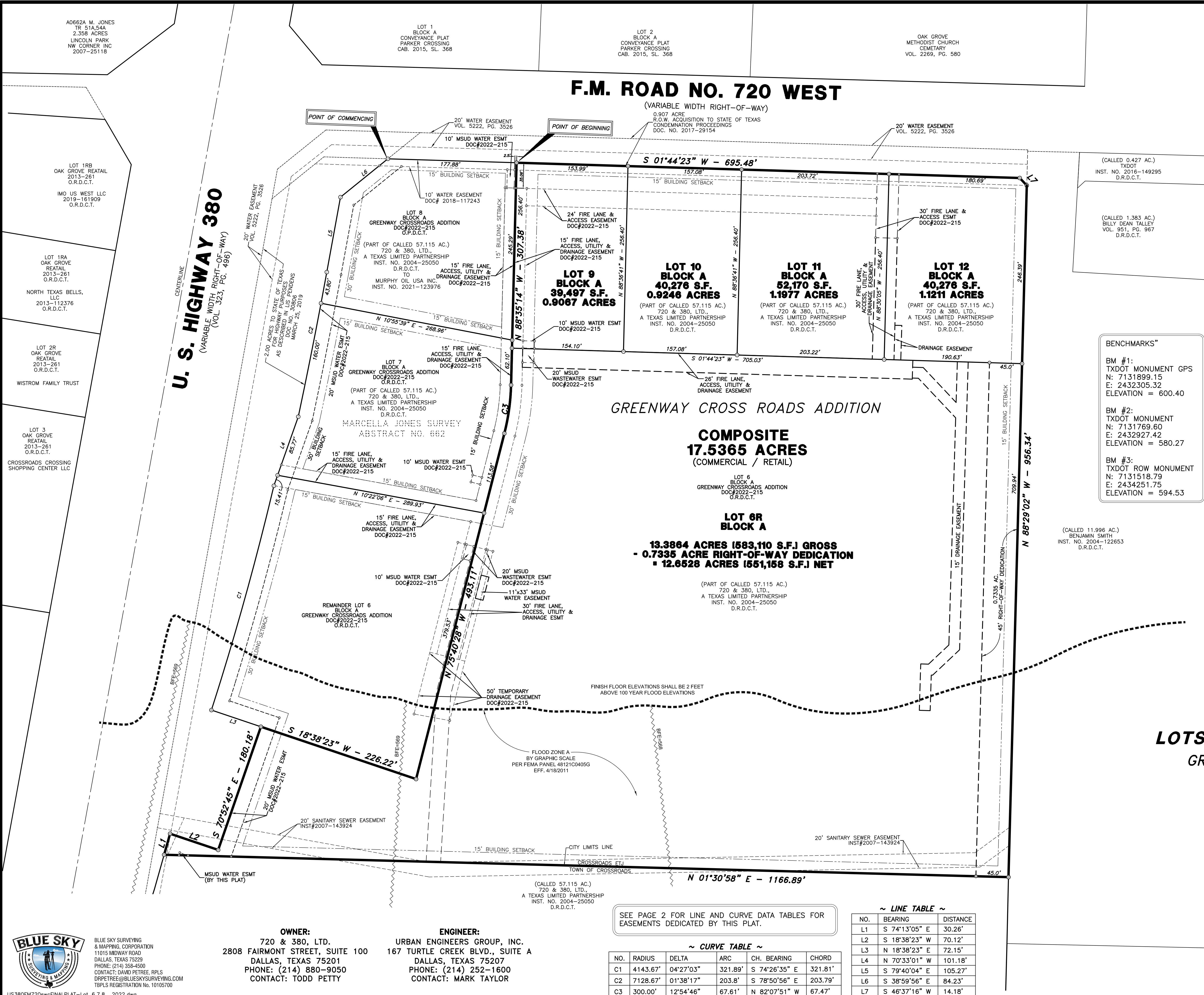


Know what's **below**.  
**Call** before you dig.  
 (@ least 48 hours prior to digging)

THESE PLANS ARE ISSUED FOR  
THE PURPOSE OF PRELIMINARY  
REVIEW AND ARE NOT INTENDED FOR  
CONSTRUCTION.  
WHEN ISSUED IN  
FINAL FORM THEY WILL BE  
SEALED, SIGNED AND DATED.

RESPONSIBLE ENGINEER:  
BGE, INC.  
TEXAS REGISTERED ENGINEERING  
FIRM F-1046  
DAVID A. GREER, P.E.  
TEXAS REGISTRATION NO. 109928  
MARCH 01, 2023





**BENCHMARKS"**

**BM #1:**  
TXDOT MONUMENT GPS  
N: 7131899.15  
E: 2432305.32  
ELEVATION = 600.40

**BM #2:**  
TXDOT MONUMENT  
N: 7131769.60  
E: 2432927.42  
ELEVATION = 580.27

**BM #3:**  
TXDOT ROW MONUMENT  
N: 7131518.79  
E: 2434251.75  
ELEVATION = 594.53

NOTICE: SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF CITY ORDINANCE AND STATE LAW AND IS SUBJECT TO FINES AND WITHHOLDINGS OF UTILITIES AND BUILDING PERMITS.

**LEGEND**

|              |  |
|--------------|--|
| CM           | CONTROLLING MONUMENT                       |
| I.R.S.       | IRON ROD SET (SIZE NOTED)                  |
| R.P.R.D.C.T. | REAL PROPERTY RECORDS DENTON COUNTY, TEXAS |
| P.R.D.C.T.   | PLAT RECORDS DENTON COUNTY, TEXAS          |
| CCF#         | COUNTY CLERK'S FILE NUMBER                 |
| ESMT.        | EASEMENT                                   |
| F.A.U.E.     | FIRE LANE, ACCESS & UTILITY EASEMENT       |
| SEP. INST.   | SEPARATE INSTRUMENT                        |
| ESMT.        | EASEMENT                                   |

- NOTES:**
- BEARINGS BASED UPON STATE PLANE COORDINATE (4202 TEXAS NORTH CENTRAL ZONE) REFERENCE FRAME NORTH AMERICAN DATUM (NAD) 83(2011)
  - ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) - NATIONAL FLOOD INSURANCE PROGRAM (NFIP) - FLOOD INSURANCE RATE MAP (FIRM) - FOR THE DENTON COUNTY, TEXAS AND INCORPORATED AREAS - MAP NO. 4821C0405G, MAP REVISED, APRIL 18, 2011, & LOMR 12-06-0686P EFFECTIVE 12/10/2012 - THE PROPERTY SHOWN HEREON LIES IN ZONE "X" (OTHER AREA) AND PARTIALLY IN ZONE "AE".
  - ALL LOT CORNERS ARE MONUMENTED WITH 5/8" IRON ROD SET WITH YELLOW CAP STAMPED "RPLS 1890" UNLESS OTHERWISE NOTED.
  - MAINTENANCE OF ALL INTERNAL ROAD, STORM PIPE, OUTFALL STRUCTURES AND ASSOCIATED CHANNELS WILL BE THE RESPONSIBILITY OF THE OWNER OR POA.

**FINAL PLAT**  
**LOTS 6R, 9, 10, 11, 12, BLOCK A**  
**GREENWAY CROSS ROADS ADDITION**  
**17.5365 ACRES**  
SITUATED IN THE  
MARCELLA JONES SURVEY,  
ABSTRACT NO. 662  
TOWN OF CROSS ROADS  
DENTON COUNTY, TEXAS  
DECEMBER 12, 2022





OWNER’S CERTIFICATE

STATE OF TEXAS  
COUNTY OF }

WHEREAS, 720 & 380, LTD., ARE THE OWNERS OF A CERTAIN LOT, TRACT OR PARCEL OF LAND CONTAINING 17.5365 ACRES AND SITUATED IN THE MARCELLA JONES SURVEY, ABSTRACT NO. 662, DENTON COUNTY, TEXAS, AND BEING PART OF A CALLED 57.115 ACRE TRACT OF LAND DESCRIBED IN A DEED TO 720 & 380 LTD., A TEXAS LIMITED PARTNERSHIP AS RECORDED IN INSTRUMENT NO. 2004-25050 OF THE DEED RECORDS OF DENTON COUNTY, TEXAS, AND BEING A PORTION OF LOT 6 IN BLOCK A OF GREENWAY CROSSROADS ADDITION, AN ADDITION TO THE TOWN OF CROSS ROADS, DENTON COUNTY, TEXAS, ACCORDING TO THE PLAT THEREOF RECORDED IN DOCUMENT NUMBER 2022-2015 OF THE OFFICIAL RECORDS OF DENTON COUNTY, TEXAS, AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

COMMENCING AT A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "RPLS 1890" SETFOR CORNER, SAID POINT BEING ON THE WEST LINE OF A TRACT OF LAND ACQUIRED BY THE STATE OF TEXAS FOR ROADWAY WIDENING OF F.M. 720 WEST AS RECORDED UNDER INSTRUMENT NUMBER 2017-29154 OF THE REAL PROPERTY RECORDS OF DENTON COUNTY, TEXAS, SAID POINT ALSO BEING A NORTHEASTERLY CORNER OF A TRACT OF LAND CONVEYED TO MURPHY OIL USA INC., BY DEED RECORDED IN INSTRUMENT NUMBER 2021-123976 OF THE OFFICIAL RECORDS OF DENTON COUNTY, TEXAS, SAID POINT ALSO BEING THE MOST EASTERLY NORTHEAST CORNER OF LOT 8 IN BLOCK A OF GREENWAY CROSSROADS ADDITION, AN ADDITION TO THE TOWN OF CROSS ROADS, DENTON COUNTY, TEXAS, ACCORDING TO THE PLAT THEREOF RECORDED IN DOCUMENT NUMBER 2022-2015 OF THE OFFICIAL RECORDS OF DENTON COUNTY, TEXAS;

THENCE SOUTH 01° 44’ 23” WEST AND FOLLOWING ALONG SAID STATE OF TEXAS 0.907 ACRE TRACT WIDENING OF F.M. 720 AND ALONG THE EAST LINE OF SAID LOT 8, AND MURPHY OIL USA INC. TRACT FOR A DISTANCE OF 177.88 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "RPLS 1890" SET FOR CORNER FOR THE POINT OF BEGINNING FOR THIS DESCRIPTION;

THENCE SOUTH 01° 44’ 23” WEST AND FOLLOWING ALONG SAID STATE OF TEXAS 0.907 ACRE TRACT WIDENING OF F.M. 720 AND ALONG THE EAST LINE OF AFORESAID LOT 6, AND 720 & 380 LTD. – 57.115 ACRE TRACT FOR A DISTANCE OF 695.48 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "RPLS 1890" SET FOR CORNER, SAID POINT BEING THE MOST EASTERLY SOUTHEAST CORNER OF AFORESAID LOT 6;

THENCE SOUTH 46° 37’ 16” WEST FOR A DISTANCE OF 14.18 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "RPLS 1890" SET FOR CORNER ON THE NORTH LINE OF A CALLED 11.996 ACRE TRACT OF LAND CONVEYED TO BENJAMIN SMITH PER DEED RECORDED IN INSTRUMENT NUMBER 2004-122653, DEED RECORDS, DENTON COUNTY, TEXAS;

THENCE NORTH 88° 29’ 02" WEST AND FOLLOWING ALONG THE SOUTH LINE OF AFORESAID LOT 6 AND ALONG THE NORTH LINE OF SAID 11.996 ACRE TRACT FOR A DISTANCE OF 956.34 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "RPLS 1890" SET FOR CORNER, SAID POINT BEING THE SOUTHWESTERLY CORNER OF AFORESAID LOT 6;

THENCE NORTH 01° 30’ 58" EAST FOR A DISTANCE OF 1,166.89 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "RPLS 1890" SET FOR CORNER ON THE SOUTH LINE OF AFORESAID STATE OF TEXAS FOR ROADWAY WIDENING TRACT;

THENCE ALONG THE SOUTH LINE OF SAID STATE OF TEXAS FOR ROADWAY WIDENING TRACT THE FOLLOWING COURSES AND DISTANCES NUMBERED 1, 2 AND 3:

1) SOUTH 74° 13’ 05" EAST FOR A DISTANCE OF 30.26 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "RPLS 1890" SET FOR CORNER;

2) SOUTH 18° 38’ 23" WEST FOR A DISTANCE OF 70.12 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "RPLS 1890" SET FOR CORNER;

3) SOUTH 70° 52’ 45" EAST FOR A DISTANCE OF 180.18 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "RPLS 1890" SET FOR CORNER;

THENCE SOUTH 18° 38’ 23" WEST FOR A DISTANCE OF 226.22 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "RPLS 1890" SET FOR CORNER;

THENCE NORTH 75° 40’ 28" WEST PASSING AT A DISTANCE OF 379.53 FEET THE SOUTHWEST CORNER OF LOT 7 IN BLOCK A OF AFORESAID GREENWAY CROSSROADS ADDITION, AND ALONG THE SOUTH LINE OF SAID LOT 7, FOR A TOTAL DISTANCE OF 493.11 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "RPLS 1890" SET FOR CORNER, SAID POINT BEING THE BEGINNING OF A CURVE TO THE LEFT HAVING A RADIUS OF 300.00 FEET, A CENTRAL ANGLE OF 04° 27’ 03", AND A CHORD BEARING SOUTH 82° 07’ 51" EAST AT A DISTANCE OF 67.47 FEET;

THENCE NORTHEASTERLY ALONG SAID CURVE TO THE LEFT AND CONTINUING ALONG THE SOUTH LINE OF SAID LOT 7 FOR AN ARC DISTANCE OF 67.61 FEET TO A /8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "RPLS 1890" SET FOR CORNER;

THENCE NORTH 88° 35’ 14" WEST CONTINUING ALONG THE SOUTH LINE OF SAID LOT 7, AND PASSING AT A DISTANCE OF 62.10 FEET THE SOUTHEASTERLY CORNER OF SAID LOT 7 AND THE SOUTHWESTERLY CORNER OF AFORESAID LOT 8, AND ALONG THE SOUTH LINE OF AFORESAID LOT 8 AND MURPHY OIL USA INC. TRACT, FOR A TOTAL DISTANCE OF 307.38 FEET TO THE POINT OF BEGINNING AND CONTAINING 17.5365 ACRES (763,890 SQUARE FEET) OF LAND, MORE OR LESS.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

WE, 720 & 380, LTD. ARE THE OWNERS OF THE TRACTS OF LAND SHOWN HEREON AND DO ACCEPT THIS AS ITS PLAN FOR SUBDIVIDING INTO LOTS AND BLOCKS AND DO DEDICATE TO THE PUBLIC FOREVER THE STREETS, ALLEYS, AND EASEMENTS AS SHOWN, AND DOES DEDICATE TO DENTON COUNTY: (1) EASEMENTS FOR THE PURPOSES SHOWN ON THIS PLAT AND FOR THE MUTUAL BENEFIT, USE, AND ACCOMMODATION OF ALL PUBLIC UTILITY ENTITIES INCLUDING THE TOWN PROVIDING SERVICES TO THE ADDITION CREATED HEREBY AND DESIRING TO USE OR USING THE SAME, AND ALSO AN EASEMENT AND RIGHT-OF-WAY, UNDER, ACROSS, AND UPON ALL LOTS SHOWN HEREON FOR THE CONSTRUCTION, INSTALLATION, MAINTENANCE, OPERATION, INSPECTION, REMOVAL, AND RECONSTRUCTION OF THE FACILITIES, EQUIPMENT, AND SYTEMS OF SUCH PUBLIC UTILITY ENTITIES; AND (2) FOR THE USE, BENEFIT, AND ACCOMMODATION OF DENTON COUNTY. AND EASEMENT AND RIGHT-OF-WAY, UNDER, ACROSS, AND UPON AS SHOWN HEREON FOR ANY PURPOSE RELATED TO THE EXERISE OF A GOVERNMENTAL SERVICE OR FUNCTION INCLUDING, BUT NOT LIMITED TO, FIRE AND POLICE PROTECTION, GARBAGE COLLECTION, INSPECTION AND CODE ENFORCEMENT, AND THE REMOVAL OF ANY VEHICLE OR OBSTACLE THAT IMPAIRS EMERGENCY ACCESS.

EXCEPT FOR PRIVATE STREETS AND RELATED IMPROVEMENTS, NO BUILDINGS, FENCES, TREES, SHRUBS, OR OTHER IMPROVEMENTS OR GROWTHS SHALL BE CONSTRUCTED OR PLACED UPON, OR ACROSS THE EASEMENTS DEDICATED HEREIN. THE TOWN AND PUBLIC UTILITY ENTITIES SHALL HAVE THE RIGHT TO REMOVE AND KEEP REMOVED ALL OR PARTS OF ANY BUILDINGS, FENCES, TREES, SHRUBS, OR OTHER PROHIBITED IMPROVEMENTS OR GROWTHS WHICH MAY IN ANY WAY ENDANGER OR INTERFERE WITH THEIR REPSECTIVE EASEMENTS.

THIS PLAT APPROVED SUBJECT TO ALL PLATTING ORDINANCES, RULES, REGULATIONS AND RESOLUTIONS OF DENTON COUNTY, TEXAS.

WITNESS, MY HAND, THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2022.

720 & 380, LTD.  
A TEXAS LIMITED PARTNERSHIP

BY: GREENWAY-720, INC.  
A TEXAS CORPORATION,  
ITS GENERAL PARTNER

BY: \_\_\_\_\_  
NAME: TODD PETTY  
TITLE: VICE PRESIDENT

STATE OF TEXAS §  
COUNTY OF DALLAS §

BEFORE ME, THE UNDERSIGNED AUTHORITY, A NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS, ON THIS DAY PERSONALLY APPEARED TODD PETTY , KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATIONS THEREIN EXPRESSED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS \_\_\_ DAY OF \_\_\_\_\_, 2022.

\_\_\_\_\_  
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

I, DAVID PETREE, REGISTERED PROFESSIONAL LAND SURVEYOR NO. 1890, STATE OF TEXAS, DO HEREBY CERTIFY THAT THE ABOVE PLAT WAS PREPARED FROM AN ACTUAL SURVEY MADE UNDER MY DIRECTION AND SUPERVISION ON THE GROUND DURING AUGUST 2016.

GIVEN UNDER MY HAND AND SEAL THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2022.

\_\_\_\_\_  
DAVID PETREE  
REGISTERED PROFESSIONAL  
LAND SURVEYOR NO. 1890

STATE OF TEXAS}  
COUNTY OF DALLAS}

BEFORE ME, THE UNDERSIGNED A NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS, ON THIS DAY PERSONALY APPEARED JOHN P. WEBER, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED ON THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

GIVEN UNDER MY SEAL AND OFFICE THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2022.

\_\_\_\_\_  
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

| ~ EASEMENT LINE TABLE ~ |             |          |
|-------------------------|-------------|----------|
| NO.                     | BEARING     | DISTANCE |
| L8                      | N38°59’56"W | 15.32’   |
| L9                      | S01°44’23"W | 30.65’   |
| L10                     | N38°59’56"W | 84.71’   |
| L11                     | N79°40’04"W | 97.86’   |
| L12                     | N70°33’01"W | 101.42’  |
| L13                     | S18°38’23"W | 72.66’   |
| L14                     | N70°52’59"W | 203.11’  |
| L15                     | S01°40’46"W | 15.00’   |
| L16                     | N88°35’14"W | 272.25’  |
| L17                     | N75°40’28"W | 161.80’  |
| L18                     | N14°19’32"E | 30.00’   |
| L19                     | S75°40’28"E | 32.15’   |
| L20                     | N10°22’06"E | 276.25’  |
| L21                     | S70°33’01"E | 30.38’   |
| L22                     | S10°22’06"W | 273.53’  |
| L23                     | S75°40’28"E | 99.58’   |
| L24                     | S88°35’14"E | 64.61’   |
| L25                     | S88°35’14"E | 207.78’  |
| L26                     | S01°40’46"W | 15.00’   |
| L27                     | S01°40’46"W | 483.57’  |
| L28                     | N88°26’15"W | 24.00’   |
| L29                     | N01°40’46"E | 483.51’  |
| L30                     | S88°35’14"E | 24.00’   |
| L31                     | N01°44’23"E | 166.82’  |
| L32                     | N88°26’15"W | 88.38’   |
| L33                     | N01°33’45"E | 30.00’   |
| L34                     | S88°26’15"E | 88.48’   |
| L35                     | S01°44’23"W | 30.00’   |
| L36                     | S88°35’14"E | 31.60’   |
| L37                     | S88°35’14"E | 30.00’   |
| L38                     | S01°31’54"W | 16.00’   |
| L39                     | N88°22’19"W | 30.00’   |
| L40                     | N01°31’54"E | 15.89’   |
| L41                     | S75°40’28"E | 23.00’   |
| L42                     | N14°19’32"E | 13.20’   |
| L43                     | S75°40’28"E | 10.00’   |
| L44                     | S14°19’32"W | 13.20’   |
| L45                     | S14°19’32"W | 10.00’   |
| L46                     | N75°40’28"W | 241.50’  |
| L47                     | N10°24’12"E | 50.12’   |
| L48                     | S75°40’28"E | 244.93’  |
| L49                     | S14°19’32"W | 10.00’   |
| L50                     | S14°19’32"W | 2.50’    |
| L51                     | N75°40’28"W | 206.47’  |
| L52                     | N86°33’03"W | 231.81’  |
| L53                     | N01°30’58"E | 20.01’   |
| L54                     | S86°33’03"E | 234.39’  |
| L55                     | S75°40’28"E | 208.37’  |
| L56                     | S14°19’32"W | 2.50’    |
| L57                     | S14°19’32"W | 10.00’   |
| L58                     | N75°40’28"W | 20.36’   |
| L59                     | N14°19’32"E | 10.00’   |
| L60                     | S75°40’28"E | 20.36’   |
| L61                     | N01°30’58"E | 59.72’   |
| L62                     | N18°37’50"E | 12.00’   |
| L63                     | N74°13’38"W | 3.64’    |

| ~ EASEMENT CURVE TABLE ~ |          |           |         |             |         |
|--------------------------|----------|-----------|---------|-------------|---------|
| NO.                      | RADIUS   | DELTA     | ARC     | CH. BEARING | CHORD   |
| C4                       | 7148.67’ | 1°38’55"  | 205.68’ | S78°50’37"E | 205.67’ |
| C5                       | 4163.67’ | 4°9’54"   | 302.67’ | N74°34’17"W | 302.60’ |
| C6                       | 315.00’  | 12°54’46" | 70.99’  | S82°07’51"E | 70.84’  |
| C7                       | 285.00’  | 12°54’46" | 64.23’  | S82°07’51"E | 64.09’  |



BLUE SKY SURVEYING  
& MAPPING CORPORATION  
11015 MIDWAY ROAD  
DALLAS, TEXAS 75229  
PHONE: (214) 368-4500  
CONTACT: DAVID PETREE, RPLS  
DRPETREE@BLUESKYSURVEYING.COM  
TBPLS REGISTRATION NO. 10105700

OWNER:  
720 & 380, LTD.  
2808 FAIRMONT STREET, SUITE 100  
DALLAS, TEXAS 75201  
PHONE: (214) 880-9050  
CONTACT: TODD PETTY

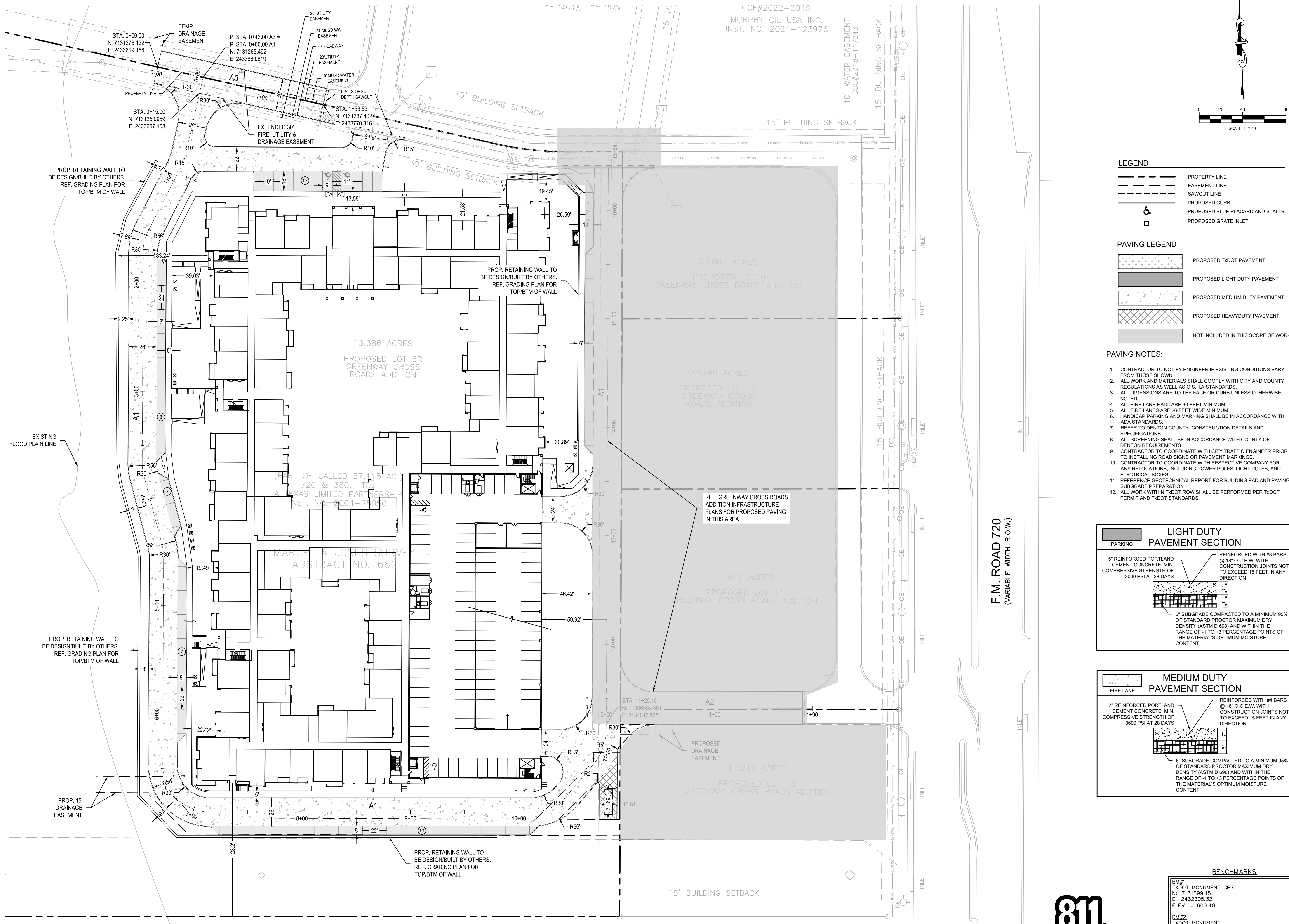
ENGINEER:  
URBAN ENGINEERS GROUP, INC.  
167 TURTLE CREEK BLVD., SUITE A  
DALLAS, TEXAS 75207  
PHONE: (214) 252-1600  
CONTACT: MARK TAYLOR

FINAL PLAT  
LOTS 6R, 9, 10, 11, 12, BLOCK A  
GREENWAY CROSS ROADS ADDITION  
17.5365 ACRES

SITUATED IN THE  
MARCELLA JONES SURVEY,  
ABSTRACT NO. 662  
TOWN OF CROSS ROADS  
DENTON COUNTY, TEXAS  
DECEMBER 12, 2022



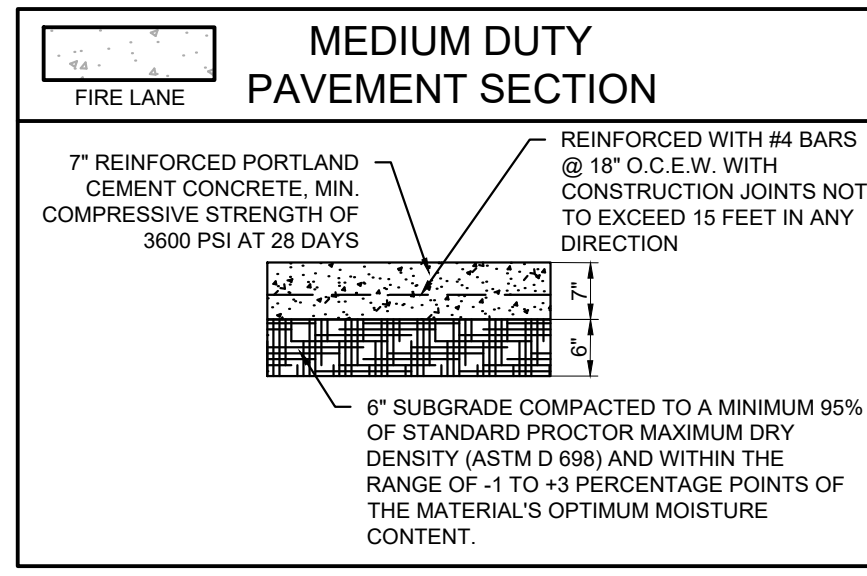
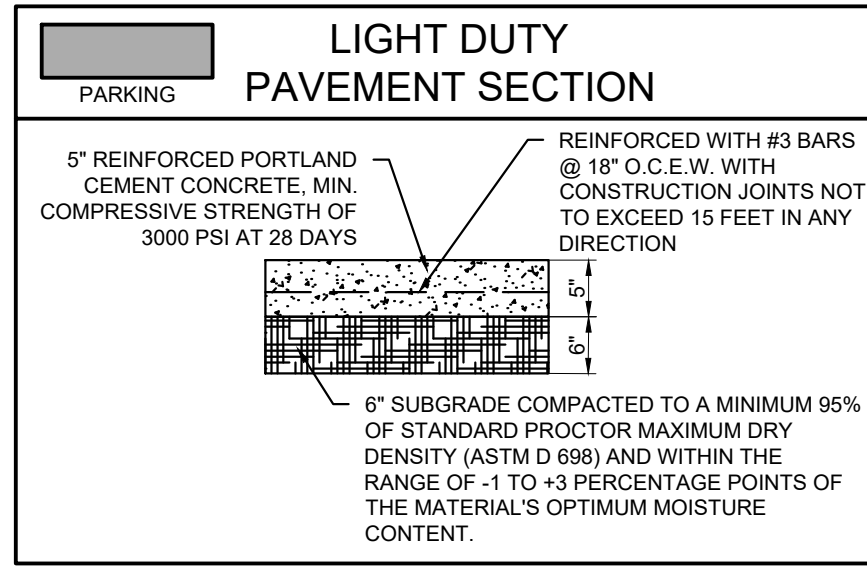
BGE, INC.  
G:\TNA\Projects\Westwood\_Residential\10619-10-Crossroads\_Multifamily\_Trac\LDV01\_CADD\01\_Paving & Dimensional Control Plan.dwg Mar 03, 2023-8:36am dgreer



- LEGEND**
- PROPERTY LINE
  - EASEMENT LINE
  - SAWCUT LINE
  - PROPOSED CURB
  - PROPOSED BLUE PLACARD AND STALLS
  - PROPOSED GRATE INLET

- PAVING LEGEND**
- PROPOSED TXDOT PAVEMENT
  - PROPOSED LIGHT DUTY PAVEMENT
  - PROPOSED MEDIUM DUTY PAVEMENT
  - PROPOSED HEAVYDUTY PAVEMENT
  - NOT INCLUDED IN THIS SCOPE OF WORK

- PAVING NOTES:**
- CONTRACTOR TO NOTIFY ENGINEER IF EXISTING CONDITIONS VARY FROM THOSE SHOWN.
  - ALL WORK AND MATERIALS SHALL COMPLY WITH CITY AND COUNTY REGULATIONS AS WELL AS O.S.H. STANDARDS.
  - ALL DIMENSIONS ARE TO THE FACE OR CURB UNLESS OTHERWISE NOTED.
  - ALL FIRE LANE RADII ARE 30-FEET MINIMUM.
  - ALL FIRE LANES ARE 26-FEET WIDE MINIMUM.
  - HANDICAP PARKING AND MARKING SHALL BE IN ACCORDANCE WITH ADA STANDARDS.
  - REFER TO DENTON COUNTY CONSTRUCTION DETAILS AND SPECIFICATIONS.
  - ALL SCREENING SHALL BE IN ACCORDANCE WITH COUNTY OF DENTON REQUIREMENTS.
  - CONTRACTOR TO COORDINATE WITH CITY TRAFFIC ENGINEER PRIOR TO INSTALLING ROAD SIGNS OR PAVEMENT MARKINGS.
  - CONTRACTOR TO COORDINATE WITH RESPECTIVE COMPANY FOR ANY RELOCATIONS, INCLUDING POWER POLES, LIGHT POLES, AND ELECTRICAL BOXES.
  - REFERENCE GEOTECHNICAL REPORT FOR BUILDING PAD AND PAVING SUBGRADE PREPARATION.
  - ALL WORK WITHIN TxDOT ROW SHALL BE PERFORMED PER TxDOT PERMIT AND TxDOT STANDARDS.



**BENCHMARKS**

|      |                    |               |               |                 |
|------|--------------------|---------------|---------------|-----------------|
| BM#1 | TXDOT MONUMENT GPS | N: 7131899.15 | E: 2432305.32 | ELEV. = 600.40' |
| BM#2 | TXDOT MONUMENT     | N: 7131769.60 | E: 2432927.42 | ELEV. = 580.27' |
| BM#3 | TXDOT ROW MONUMENT | N: 7131518.79 | E: 2434251.75 | ELEV. = 594.53  |



**BGE, Inc.**  
777 Main St., Suite 1900  
Fort Worth, TX 76102  
Tel: 972-887-6130 • www.bgeinc.com  
TBPE Registration No. F-1046  
**Contact: David Greer**  
**Tel: 817-872-6005**  
Copyright 2021

**DEVELOPER**  
**WESTWOOD RESIDENTIAL**  
3198 Parkwood Blvd. Suite 11076  
Frisco, Texas 75034

Contact: Jeff Lindsey  
Tel: 972-292-7656  
jeff.lindsey@westwoodresidential.com

**PAVING & DIMENSIONAL CONTROL PLAN**

**CROSS ROADS MULTIFAMILY**  
LOT 6R, BLOCK A  
GREENWAY CROSS ROADS ADDITION

13.876 ACRES  
TOWN OF CROSS ROADS ETJ  
DENTON COUNTY, TEXAS

THESE PLANS ARE ISSUED FOR THE PURPOSE OF PRELIMINARY REVIEW AND ARE NOT INTENDED FOR CONSTRUCTION. WHEN ISSUED IN FINAL FORM THEY WILL BE SEALED, SIGNED AND DATED.

RESPONSIBLE ENGINEER:  
BGE, INC.  
TEXAS REGISTERED ENGINEERING FIRM F-1046  
DAVID A. GREER, P.E.  
TEXAS REGISTRATION NO. 109928  
MARCH 03, 2023

**CAUTION !!**  
CONTRACTOR TO VERIFY EXACT LOCATION & DEPTH OF EXIST FACILITIES PRIOR TO ANY CONSTRUCTION ACTIVITIES

**CAUTION !!**  
CONTACT: 1-800-DIG-TESS  
48 HOURS PRIOR TO CONSTRUCTION

| REVISIONS |      |             |
|-----------|------|-------------|
| REV NO.   | DATE | DESCRIPTION |
|           |      |             |
|           |      |             |
|           |      |             |
|           |      |             |
|           |      |             |

DRAWN BY: BH

CHECKED BY: DAG

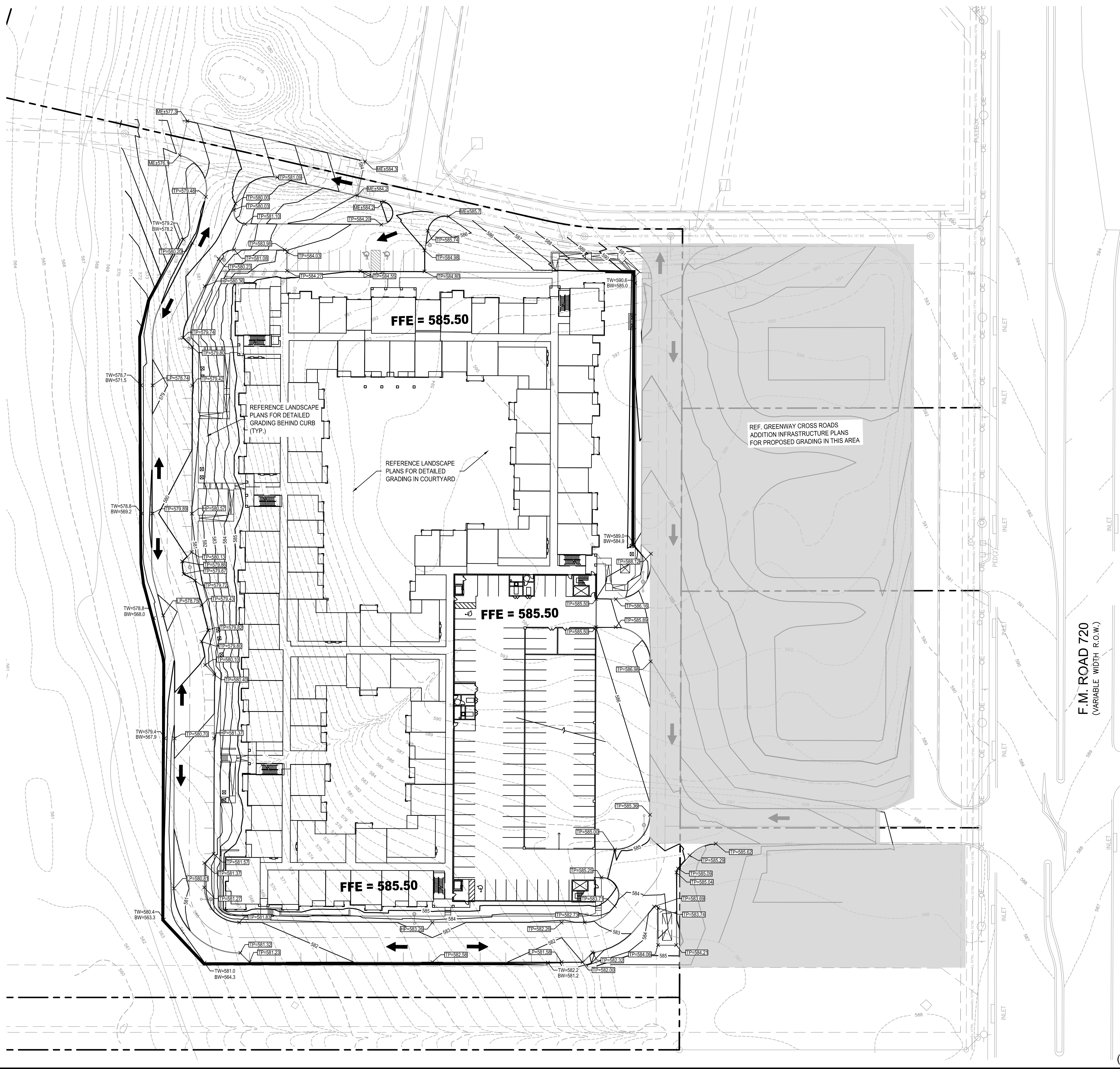
DATE: 01/12/23

PROJECT NUMBER: 10619-00

SHEET NO.

**C-4.1**





LEGEND

|     |                                    |
|-----|------------------------------------|
| --- | PROPERTY LINE                      |
| --- | PROPOSED CONTOUR LINE              |
| --- | EXISTING CONTOUR LINE              |
| --- | PROPOSED STORM LINE                |
| --- | RETAINING WALL                     |
| --- | DIRECTION OF FLOW                  |
| ME  | MATCH EXISTING ELEVATION           |
| TP  | PROPOSED TOP OF PAVEMENT           |
| FF  | PROPOSED FINISHED FLOOR ELEVATION  |
| --- | NOT INCLUDED IN THIS SCOPE OF WORK |

GRADING NOTES:

1. ANY GRADING OR WORK WITHIN TXDOT R.O.W. WILL REQUIRE TXDOT APPROVAL.
2. CONTRACTOR TO COORDINATE WITH UTILITY COMPANIES FOR UTILITY RELOCATIONS AND/OR ADJUSTMENTS.
3. CONTRACTOR TO ADJUST RIMS AND OTHER ABOVE GROUND UTILITIES TO PROPOSED GRADE.
4. GRADING FOR ALL ACCESSIBLE ROUTES SHALL MEET ADA STANDARDS.
5. PRIOR TO PLACING PAVEMENT, CONTRACTOR TO TEST FOR PONDING. ALL AREAS SHALL DRAIN TOWARDS THE INTENDED STORM COLLECTION STRUCTURE.
6. CONTRACTOR TO VERIFY LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY CONFLICTS THAT ARE DISCOVERED IN THE FIELD.
7. CONTRACTOR TO PROTECT EXISTING UTILITIES.
8. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS PRIOR TO CONSTRUCTION.
9. REFERENCE DIMENSION CONTROL PLAN FOR HORIZONTAL DIMENSIONS.
10. CONTRACTOR TO ENSURE THERE IS POSITIVE DRAINAGE AWAY FROM BUILDINGS.
11. REFERENCE GEOTECHNICAL REPORT FOR BUILDING PAD AND PAVING SUBGRADE PREPARATION.
12. CONTRACTOR TO REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
13. RUNNING SLOPE SHALL NOT EXCEED 5.00%.
14. CONTRACTOR TO CONTROL EROSION ALONG PROPERTY LINE DURING CONSTRUCTION.

BENCHMARKS

|                    |
|--------------------|
| BM#1               |
| TXDOT MONUMENT GPS |
| N: 7131899.15      |
| E: 2432305.32      |
| ELEV. = 600.40'    |
| BM#2               |
| TXDOT MONUMENT     |
| N: 7131769.60      |
| E: 2432927.42      |
| ELEV. = 580.27'    |
| BM#3               |
| TXDOT ROW MONUMENT |
| N: 7131518.79      |
| E: 2434251.75      |
| ELEV. = 594.53     |



Know what's below.  
Call before you dig.

(@ least 48 hours prior to digging)

**BGE, Inc.**  
777 Main St., Suite 1900  
Fort Worth, TX 76102  
Tel: 972-887-6130 • www.bgeinc.com  
TBPE Registration No. F-1046  
**Contact: David Greer**  
Tel: 817-872-6005  
Copyright 2021

DEVELOPER

**WESTWOOD RESIDENTIAL**  
3198 Parkwood Blvd. Suite 11076  
Frisco, Texas 75034

Contact: Jeff Lindsey  
Tel: 972-292-7656  
jeff.lindsey@westwoodresidential.com

GRADING PLAN

CROSS ROADS MULTIFAMILY  
LOT 6R, BLOCK A  
GREENWAY CROSS ROADS ADDITION

13.876 ACRES  
TOWN OF CROSS ROADS ETJ  
DENTON COUNTY, TEXAS

THESE PLANS ARE ISSUED FOR THE PURPOSE OF PRELIMINARY REVIEW AND ARE NOT INTENDED FOR CONSTRUCTION. WHEN ISSUED IN FINAL FORM THEY WILL BE SEALED, SIGNED AND DATED.

RESPONSIBLE ENGINEER:  
BGE, INC.  
TEXAS REGISTERED ENGINEERING FIRM F-1046  
DAVID A. GREER, P.E.  
TEXAS REGISTRATION NO. 109928  
MARCH 03, 2023

**CAUTION !!**  
CONTRACTOR TO VERIFY EXACT LOCATION & DEPTH OF EXIST FACILITIES PRIOR TO ANY CONSTRUCTION ACTIVITIES

**CAUTION !!**  
CONTACT: 1-800-DIG-TESS  
48 HOURS PRIOR TO CONSTRUCTION

| REVISIONS |      |             |
|-----------|------|-------------|
| REV NO.   | DATE | DESCRIPTION |
|           |      |             |
|           |      |             |
|           |      |             |
|           |      |             |

DRAWN BY: BH

CHECKED BY: DAG

DATE: 01/12/23

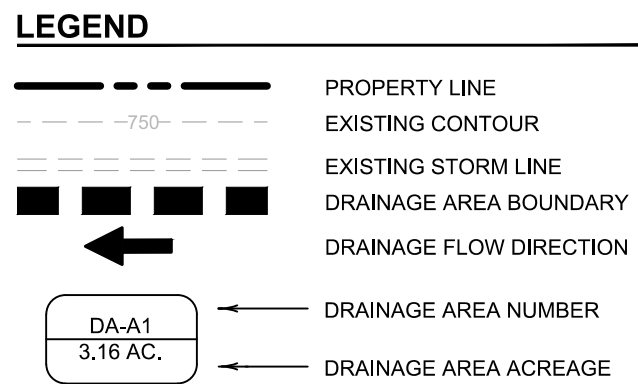
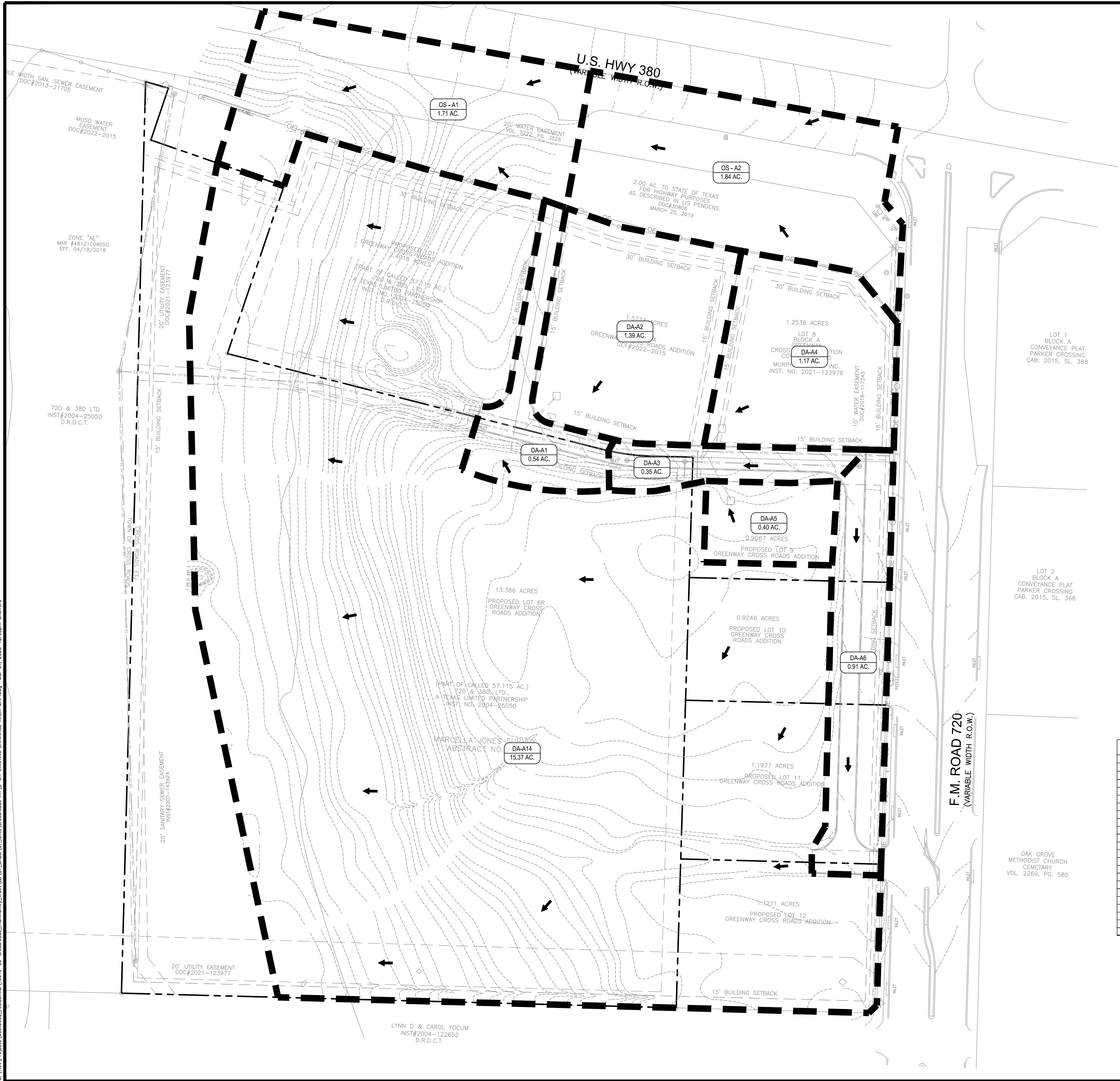
PROJECT NUMBER: 10619-00

SHEET NO.

C-5.1



BGE, INC.  
G:\TNA\Projects\westwood\_residential\10619-00-crossroads\_multifamily\_roof\ND\01\_CADD\01\_Shts\crossroads\_mf\C-6.1 EXISTING DRAINAGE AREA MAP.dwg Mar 01, 2023-12:53pm bherreo



- FLOOD NOTES:**
1. ACCORDING TO THE FLOOD INSURANCE RATE MAPS (FIRM) MAP NO. 4821C04055, DATED 04/18/2021 & LOMR 12-06-0686P EFFECTIVE 12/10/2012, PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FOR COLLIN COUNTY, TEXAS, THIS PROPERTY IS WITHIN ZONE X AND PARTIALLY IN ZONE AE.
  2. PER BOYD HYDROLOGY FLOOD STUDY DATED 12/02/2022, THE PROPOSED CONDITIONS TO NOT CAUSE A RISE IN THE BASE FLOOD ELEVATION OF THE CANTRELL SLOUGH AND ON-SITE DETENTION IS NOT REQUIRED.

**DRAINAGE DESIGN CRITERIA**  
RATIONAL METHOD  
100 YEAR DESIGN

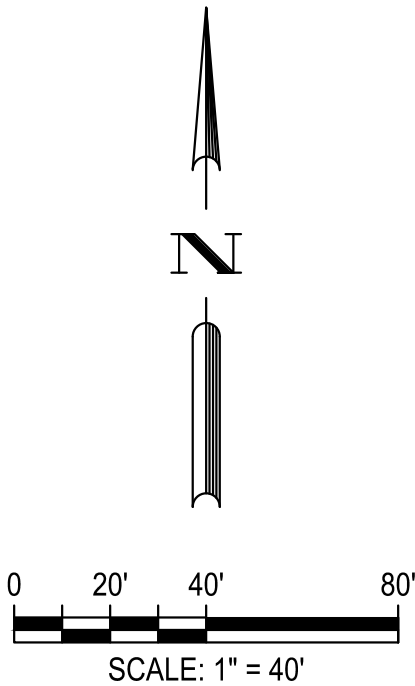
Q = CIA  
Q = FLOW IN CUBIC FEET PER SECOND = CFS  
C = RUNOFF COEFFICIENT  
I = INTENSITY WITH TIME OF CONCENTRATION OF 10 MINUTES  
A = DRAINAGE AREA = AREA IN ACRES

| Existing Conditions |              |      |          |               |            |                                 |
|---------------------|--------------|------|----------|---------------|------------|---------------------------------|
| DRAINAGE AREA       | AREA (acres) | C    | Tc (MIN) | I-100 (IN/HR) | Q100 (cfs) | COMMENTS                        |
| DA-A1               | 0.54         | 0.90 | 10       | 9.24          | 4.49       | Drains to existing curb inlet   |
| DA-A2               | 1.39         | 0.90 | 10       | 9.24          | 11.56      | Drains to existing Type Y inlet |
| DA-A3               | 0.46         | 0.90 | 10       | 9.24          | 3.83       | Drains to existing curb inlet   |
| DA-A4               | 1.17         | 0.90 | 10       | 9.24          | 9.73       | Drains to Type Y inlet          |
| DA-A5               | 0.40         | 0.90 | 10       | 9.24          | 3.33       | Drains to Type Y inlet          |
| TOTAL: DP1          | 3.96         |      |          |               | 32.93      |                                 |
| DA-A6               | 0.91         | 0.90 | 10       | 9.24          | 7.57       | Drains onto Area                |
| DA-A7               | 15.37        | 0.90 | 10       | 9.24          | 127.82     | Drains to Cantrell Slough       |
| TOTAL: DP2          | 16.28        |      |          |               | 135.38     |                                 |
| OS-1                | 1.71         | 0.60 | 10       | 9.24          | 9.48       | Drains to US 380 Ditch          |
| OS-2                | 1.84         | 0.60 | 10       | 9.24          | 10.20      | Drains to US 380 Ditch          |
| TOTAL: DP3          | 3.55         |      |          |               | 19.68      |                                 |
| TOTAL               | 23.79        |      |          |               | 188.00     |                                 |

**BENCHMARKS**

|      |                    |               |               |                 |
|------|--------------------|---------------|---------------|-----------------|
| BM#1 | TXDOT MONUMENT GPS | N: 7131899.15 | E: 2432305.32 | ELEV. = 600.40' |
| BM#2 | TXDOT MONUMENT     | N: 7131769.60 | E: 2432927.42 | ELEV. = 580.27' |
| BM#3 | TXDOT ROW MONUMENT | N: 7131518.79 | E: 2434251.75 | ELEV. = 594.53  |

**811**  
Know what's below.  
Call before you dig.  
(@ least 48 hours prior to digging)



**BGE, Inc.**  
777 Main St., Suite 1900  
Fort Worth, TX 76102  
Tel: 972-887-6130 • www.bgeinc.com  
TBPE Registration No. F-1046  
**Contact: David Greer**  
Tel: 817-872-6005  
Copyright 2021

**DEVELOPER**  
**WESTWOOD RESIDENTIAL**  
3198 Parkwood Blvd, Suite 11076  
Frisco, Texas 75034  
  
Contact: Jeff Lindsey  
Tel: 972-292-7656  
jeff.lindsey@westwoodresidential.com

**EXISTING DRAINAGE AREA MAP**  
  
**CROSS ROADS MULTIFAMILY**  
LOT 6R, BLOCK A  
GREENWAY CROSS ROADS ADDITION  
  
13.876 ACRES  
TOWN OF CROSS ROADS ETJ  
DENTON COUNTY, TEXAS

THESE PLANS ARE ISSUED FOR THE PURPOSE OF PRELIMINARY REVIEW AND ARE NOT INTENDED FOR CONSTRUCTION. WHEN ISSUED IN FINAL FORM THEY WILL BE SEALED, SIGNED AND DATED.

RESPONSIBLE ENGINEER:  
BGE, INC.  
TEXAS REGISTERED ENGINEERING FIRM F-1046  
DAVID A. GREER, P.E.  
TEXAS REGISTRATION NO. 109928  
MARCH 01, 2023

**!! CAUTION !!**  
CONTRACTOR TO VERIFY EXACT LOCATION & DEPTH OF EXIST FACILITIES PRIOR TO ANY CONSTRUCTION ACTIVITIES

**!! CAUTION !!**  
CONTACT: 1-800-DIG-TESS  
48 HOURS PRIOR TO CONSTRUCTION

| REVISIONS |      |             |
|-----------|------|-------------|
| REV NO.   | DATE | DESCRIPTION |
|           |      |             |
|           |      |             |
|           |      |             |
|           |      |             |

DRAWN BY: BH

CHECKED BY: DAG

DATE: 01/12/23

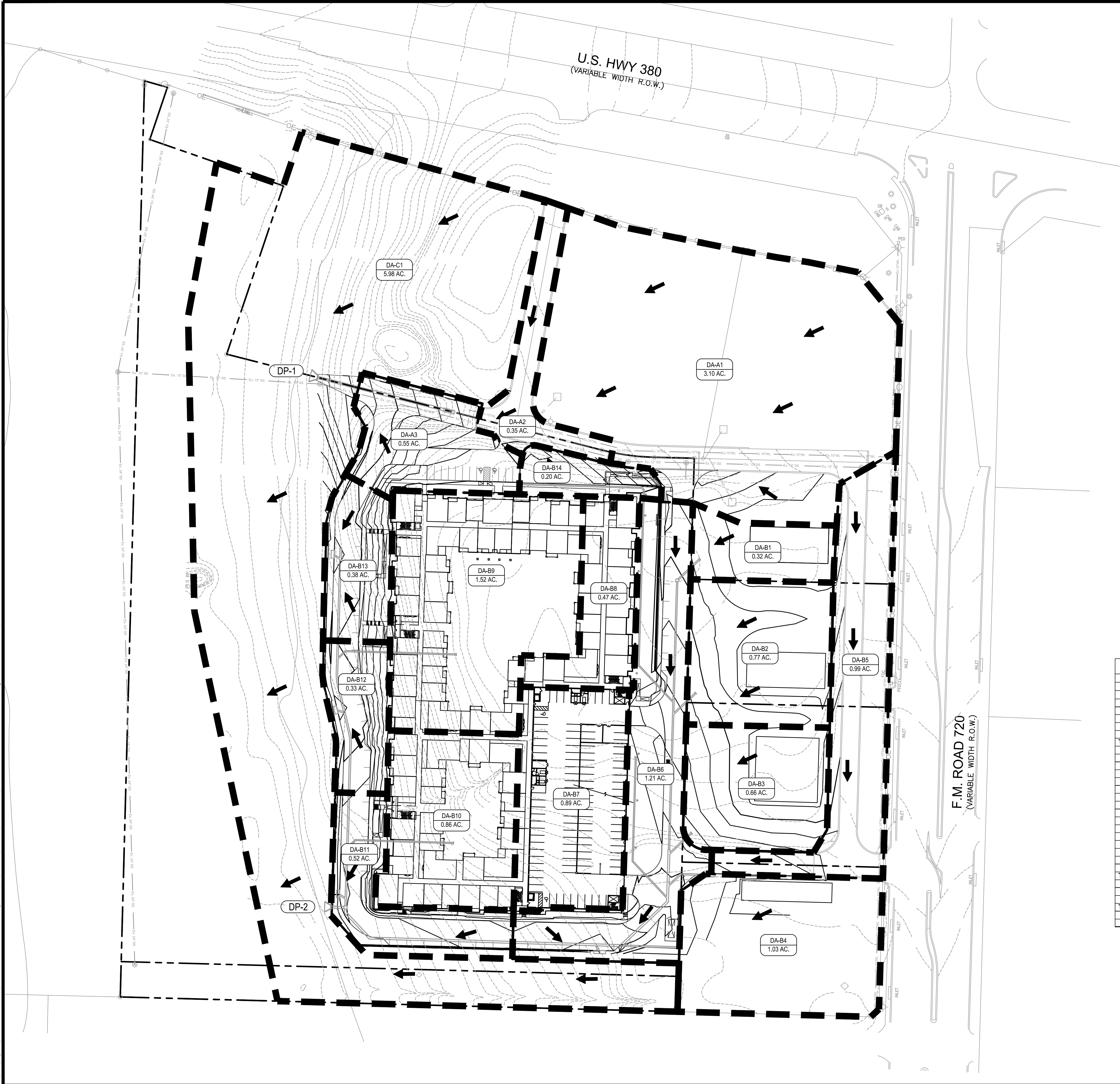
PROJECT NUMBER: 10619-00

SHEET NO.

**C-6.1**



BGE, INC.  
G:\TNA\Projects\westwood\_residential\10619-00-crossroads\_multifamily\_inet\A.D\01\_CADD\01\_Shta\Crossroads.m\VC-4.2 PROPOSED DRAINAGE AREA MAP.dwg Mar 01, 2023-12:53pm blenners



**LEGEND**

- PROPERTY LINE
- EXISTING CONTOUR
- EXISTING STORM LINE
- DRAINAGE AREA BOUNDARY
- DRAINAGE FLOW DIRECTION
- DRAINAGE AREA NUMBER
- DRAINAGE AREA ACREAGE

- FLOOD NOTES:**
1. ACCORDING TO THE FLOOD INSURANCE RATE MAPS (FIRM) MAP NO. 4821C0405G, DATED 04/18/2021 & LOMR 12-06-0688P EFFECTIVE 12/10/2012, PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FOR COLLIN COUNTY, TEXAS, THIS PROPERTY IS WITHIN ZONE X AND PARTIALLY IN ZONE AE.
  2. PER BOYD HYDROLOGY FLOOD STUDY DATED 12/02/2022, THE PROPOSED CONDITIONS TO NOT CAUSE A RISE IN THE BASE FLOOD ELEVATION OF THE CANTRELL SLOUGH AND ON-SITE DETENTION IS NOT REQUIRED.

DRAINAGE DESIGN CRITERIA  
RATIONAL METHOD  
100 YEAR DESIGN

Q = CIA  
Q - FLOW IN CUBIC FEET PER SECOND = CFS  
C - RUNOFF COEFFICIENT  
I - INTENSITY WITH TIME OF CONCENTRATION OF 10 MINUTES  
A - DRAINAGE AREA = AREA IN ACRES

| Proposed Conditions |              |      |          |               |               |  |
|---------------------|--------------|------|----------|---------------|---------------|--|
| DRAINAGE AREA       | AREA (acres) | C    | Tc (MIN) | I-100 (IN/HR) | Q100 (cfs)    | COMMENTS                                 |
| DA-A1               | 3.10         | 0.90 | 10       | 9.24          | 25.78         | Existing Storm System                    |
| DA-A2               | 0.35         | 0.90 | 10       | 9.24          | 2.91          | Existing Storm System                    |
| DA-A3               | 0.55         | 0.90 | 10       | 9.24          | 4.57          | Proposed Sheet Flow                      |
| <b>TOTAL: DP1</b>   | <b>4.00</b>  |      |          |               | <b>33.26</b>  | Relocated Outfall into Cantrell Slough   |
| DA-B1               | 0.32         | 0.90 | 10       | 9.24          | 2.66          | Future Storm Connection                  |
| DA-B2               | 0.77         | 0.90 | 10       | 9.24          | 6.40          | Future Storm Connection                  |
| DA-B3               | 0.66         | 0.90 | 10       | 9.24          | 5.49          | Future Storm Connection                  |
| DA-B4               | 1.03         | 0.90 | 10       | 9.24          | 8.57          | Future Storm Connection                  |
| DA-B5               | 0.99         | 0.90 | 10       | 9.24          | 8.23          | Proposed 10' Curb Inlet                  |
| DA-B6               | 1.21         | 0.90 | 10       | 9.24          | 10.06         | Proposed 15' Curb Inlet                  |
| DA-B7               | 0.89         | 0.90 | 10       | 9.24          | 7.40          | Proposed Roof Drain Collector            |
| DA-B8               | 0.47         | 0.90 | 10       | 9.24          | 3.91          | Proposed Roof Drain Collector            |
| DA-B9               | 1.52         | 0.90 | 10       | 9.24          | 12.64         | Proposed Roof Drain Collector            |
| DA-B10              | 0.86         | 0.90 | 10       | 9.24          | 7.15          | Proposed Roof Drain Collector            |
| DA-B11              | 0.52         | 0.90 | 10       | 9.24          | 4.32          | Proposed 5' Curb Inlet                   |
| DA-B12              | 0.33         | 0.90 | 10       | 9.24          | 2.74          | Proposed 5' Curb Inlet                   |
| DA-B13              | 0.38         | 0.90 | 10       | 9.24          | 3.16          | Proposed 5' Curb Inlet                   |
| DA-B14              | 0.20         | 0.90 | 10       | 9.24          | 1.66          | Proposed Landscape Drain                 |
| <b>TOTAL: DP2</b>   | <b>10.15</b> |      |          |               | <b>84.41</b>  | Proposed Outfall into Cantrell Slough    |
| DA-C1               | 5.98         | 0.90 | 10       | 9.24          | 49.73         | Proposed Sheet Flow into Cantrell Slough |
| <b>TOTAL: DP3</b>   | <b>5.98</b>  |      |          |               | <b>49.73</b>  | Proposed Sheet Flow into Cantrell Slough |
| <b>TOTAL</b>        | <b>20.13</b> |      |          |               | <b>167.40</b> |  |



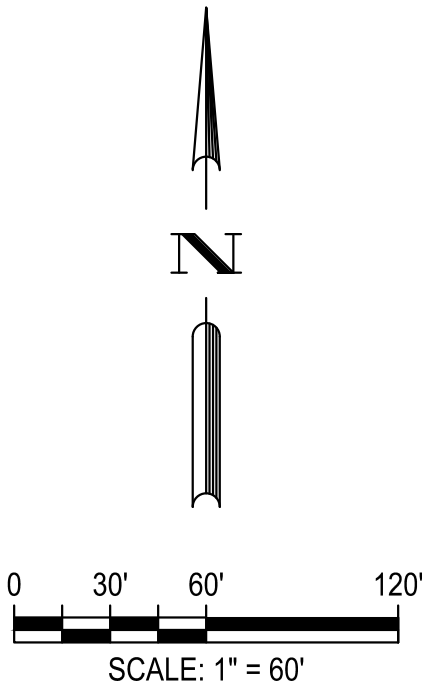
Know what's below.  
Call before you dig.  
(@ least 48 hours prior to digging)

**BENCHMARKS**

**BM#1**  
TXDOT MONUMENT GPS  
N: 7131899.15  
E: 2432305.32  
ELEV. = 600.40'

**BM#2**  
TXDOT MONUMENT  
N: 7131769.60  
E: 2432927.42  
ELEV. = 580.27'

**BM#3**  
TXDOT ROW MONUMENT  
N: 7131518.79  
E: 2434251.75  
ELEV. = 594.53



**BGE, Inc.**  
777 Main St., Suite 1900  
Fort Worth, TX 76102  
Tel: 972-887-6130 • www.bgeinc.com  
TBPE Registration No. F-1046  
**Contact: David Greer**  
Tel: 817-872-6005  
Copyright 2021

**DEVELOPER**  
**WESTWOOD RESIDENTIAL**  
3198 Parkwood Blvd, Suite 11076  
Frisco, Texas 75034  
  
Contact: Jeff Lindsey  
Tel: 972-292-7656  
jeff.lindsey@westwoodresidential.com

**PROPOSED DRAINAGE AREA MAP**  
  
**CROSS ROADS MULTIFAMILY**  
LOT 6R, BLOCK A  
GREENWAY CROSS ROADS ADDITION  
  
13.876 ACRES  
TOWN OF CROSS ROADS ETJ  
DENTON COUNTY, TEXAS

THESE PLANS ARE ISSUED FOR THE PURPOSE OF PRELIMINARY REVIEW AND ARE NOT INTENDED FOR CONSTRUCTION. WHEN ISSUED IN FINAL FORM THEY WILL BE SEALED, SIGNED AND DATED.

RESPONSIBLE ENGINEER:  
BGE, INC.  
TEXAS REGISTERED ENGINEERING FIRM F-1046  
DAVID A. GREER, P.E.  
TEXAS REGISTRATION NO. 109928  
MARCH 01, 2023

**!! CAUTION !!**  
CONTRACTOR TO VERIFY EXACT LOCATION & DEPTH OF EXIST FACILITIES PRIOR TO ANY CONSTRUCTION ACTIVITIES

**!! CAUTION !!**  
CONTACT: 1-800-DIG-TESS  
48 HOURS PRIOR TO CONSTRUCTION

| REVISIONS |      |             |
|-----------|------|-------------|
| REV NO.   | DATE | DESCRIPTION |
|           |      |             |
|           |      |             |
|           |      |             |
|           |      |             |

DRAWN BY: BH

CHECKED BY: DAG

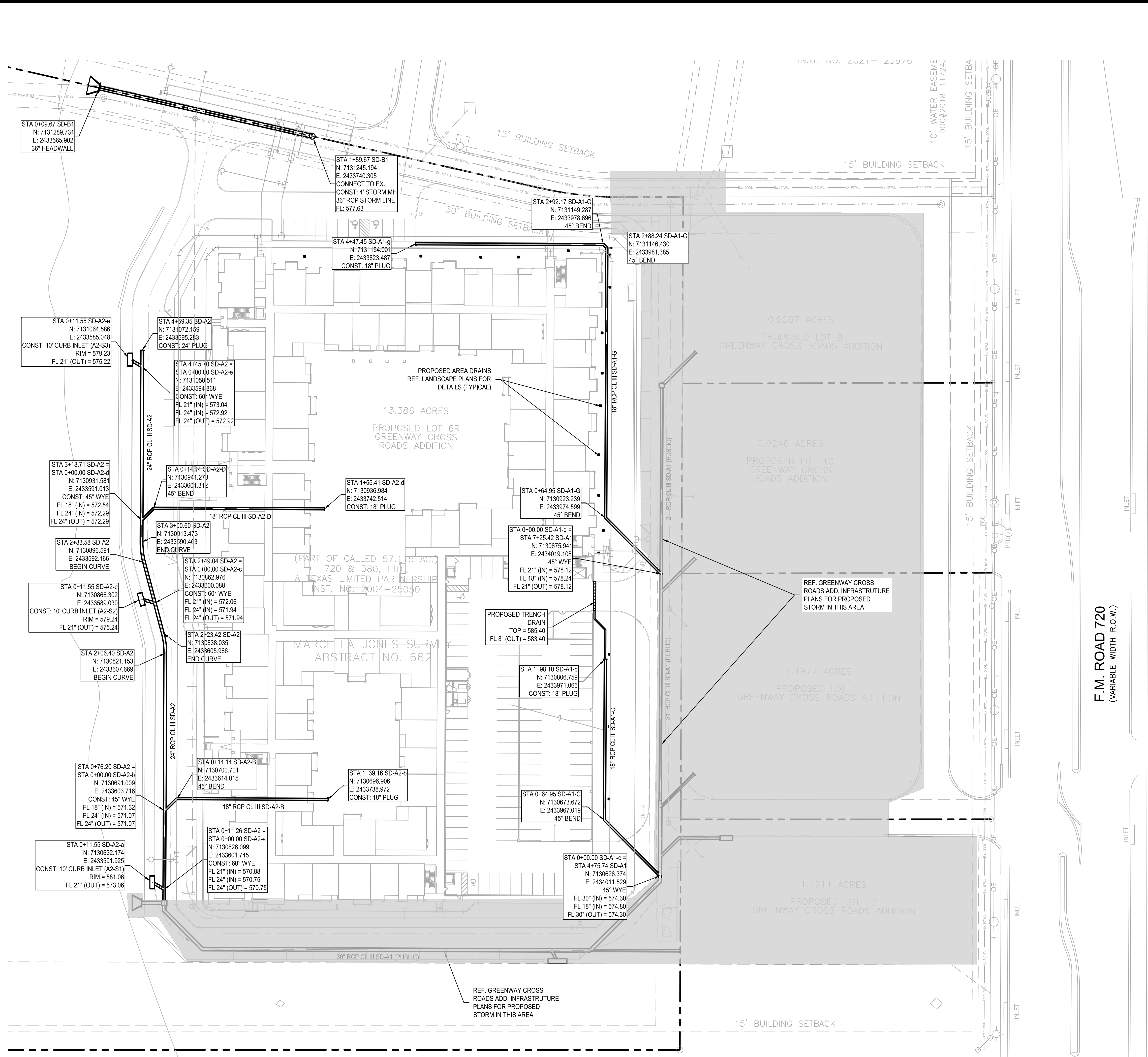
DATE: 01/12/23

PROJECT NUMBER: 10619-00

SHEET NO.

C-6.2





**811**  
Know what's below.  
Call before you dig.  
(@ least 48 hours prior to digging)

- THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF EXISTING STORM DRAIN LINES WHERE PROPOSED LINES ARE BEING CONNECTED, PRIOR TO START OF CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF A CONFLICT IS DISCOVERED.
- FACTORY FABRICATED 45 DEGREE OR 60 DEGREE WYES SHALL BE INSTALLED AT ALL PROPOSED PIPE TO PROPOSED PIPE CONNECTIONS.
- ALL CONNECTIONS TO EXISTING CONCRETE PIPE SHALL BE MADE WITH CONCRETE PIPE.
- CONCRETE COLLARS SHALL BE CONSTRUCTED AT ALL PROPOSED PIPE TO EXISTING CONCRETE PIPE CONNECTIONS, AT ALL CONCRETE PIPE SIZE CHANGES, AT ALL CONCRETE PIPE PVS AND AT ALL CONCRETE PIPE JOINTS WITH MORE THAN HALF PIPE TONGUE EXPOSURE.
- UNLESS NOTED, STORM DRAIN LINES MAY BE OF THE FOLLOWING MATERIALS.  
A. RCP C76, CLASS III (PUBLIC & PRIVATE)  
AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

**BGE, Inc.**  
777 Main St., Suite 1900  
Fort Worth, TX 76102  
Tel: 972-887-6130 • www.bgeinc.com  
TBPE Registration No. F-1046  
**Contact: David Greer**  
Tel: 817-872-6005  
Copyright 2021

**DEVELOPER**  
**WESTWOOD RESIDENTIAL**  
3198 Parkwood Blvd. Suite 11076  
Frisco, Texas 75034  
  
Contact: Jeff Lindsey  
Tel: 972-292-7656  
jeff.lindsey@westwoodresidential.com

**STORM PLAN**

**CROSS ROADS MULTIFAMILY**  
LOT 6R, BLOCK A  
GREENWAY CROSS ROADS ADDITION  
13.876 ACRES  
TOWN OF CROSS ROADS ETJ  
DENTON COUNTY, TEXAS

THESE PLANS ARE ISSUED FOR THE PURPOSE OF PRELIMINARY REVIEW AND ARE NOT INTENDED FOR CONSTRUCTION. WHEN ISSUED IN FINAL FORM THEY WILL BE SEALED, SIGNED AND DATED.

RESPONSIBLE ENGINEER:  
BGE, INC.  
TEXAS REGISTERED ENGINEERING FIRM F-1046  
DAVID A. GREER, P.E.  
TEXAS REGISTRATION NO. 109928  
MARCH 03, 2023

**CAUTION !!**  
CONTRACTOR TO VERIFY EXACT LOCATION & DEPTH OF EXIST FACILITIES PRIOR TO ANY CONSTRUCTION ACTIVITIES

**CAUTION !!**  
CONTACT: 1-800-DIG-TESS  
48 HOURS PRIOR TO CONSTRUCTION

| REVISIONS |      |             |
|-----------|------|-------------|
| REV NO.   | DATE | DESCRIPTION |
|           |      |             |
|           |      |             |
|           |      |             |
|           |      |             |
|           |      |             |

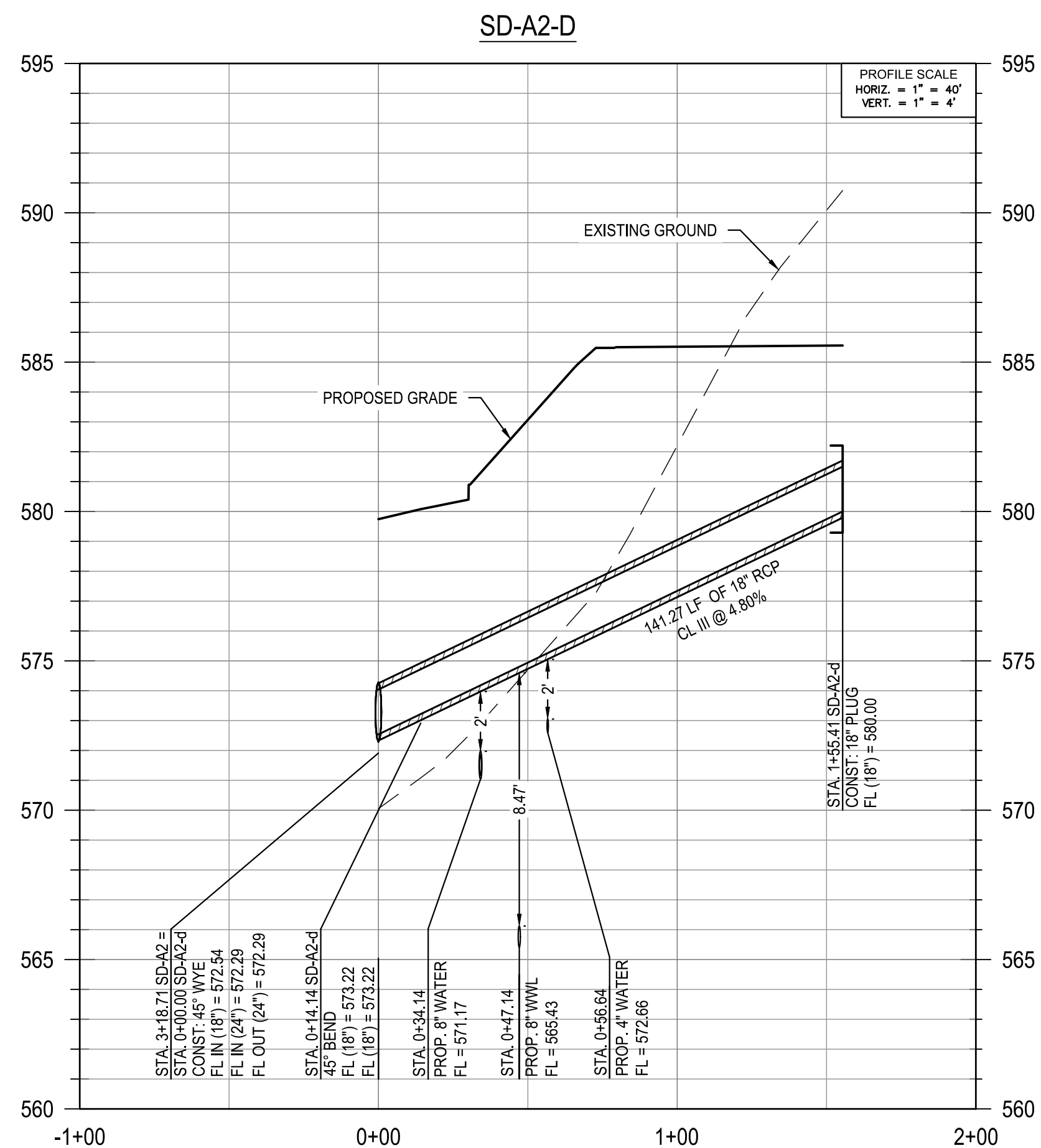
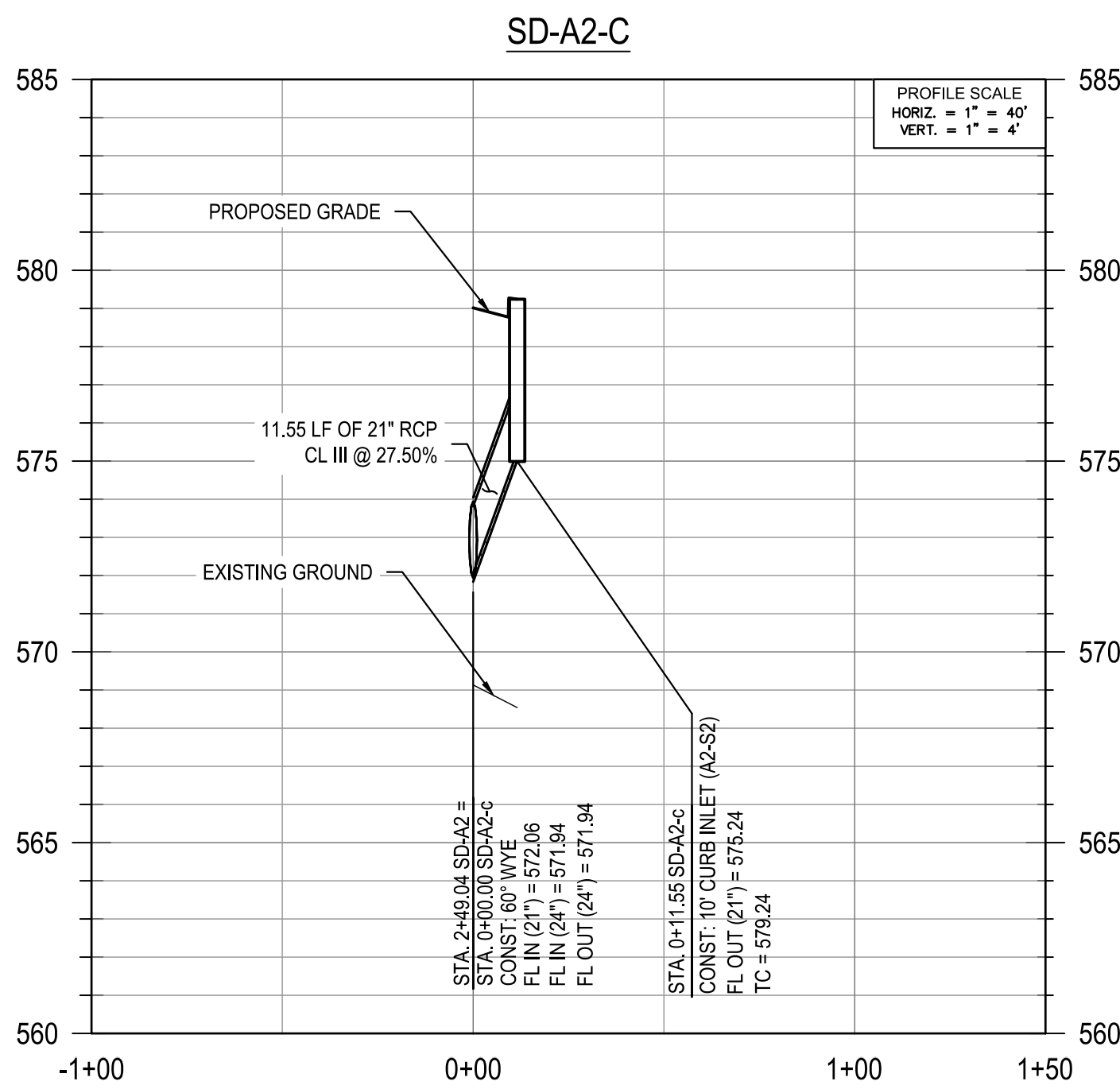
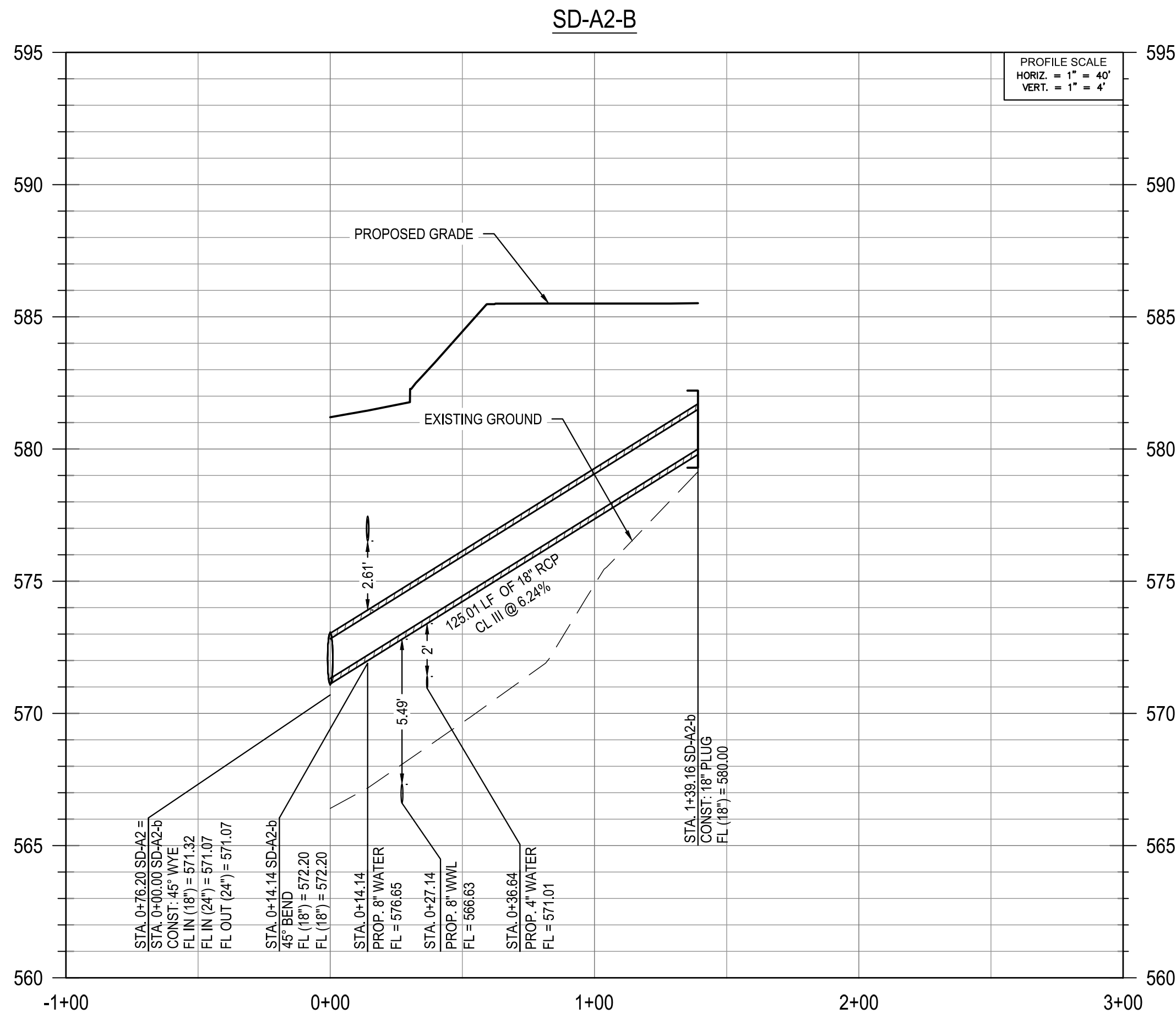
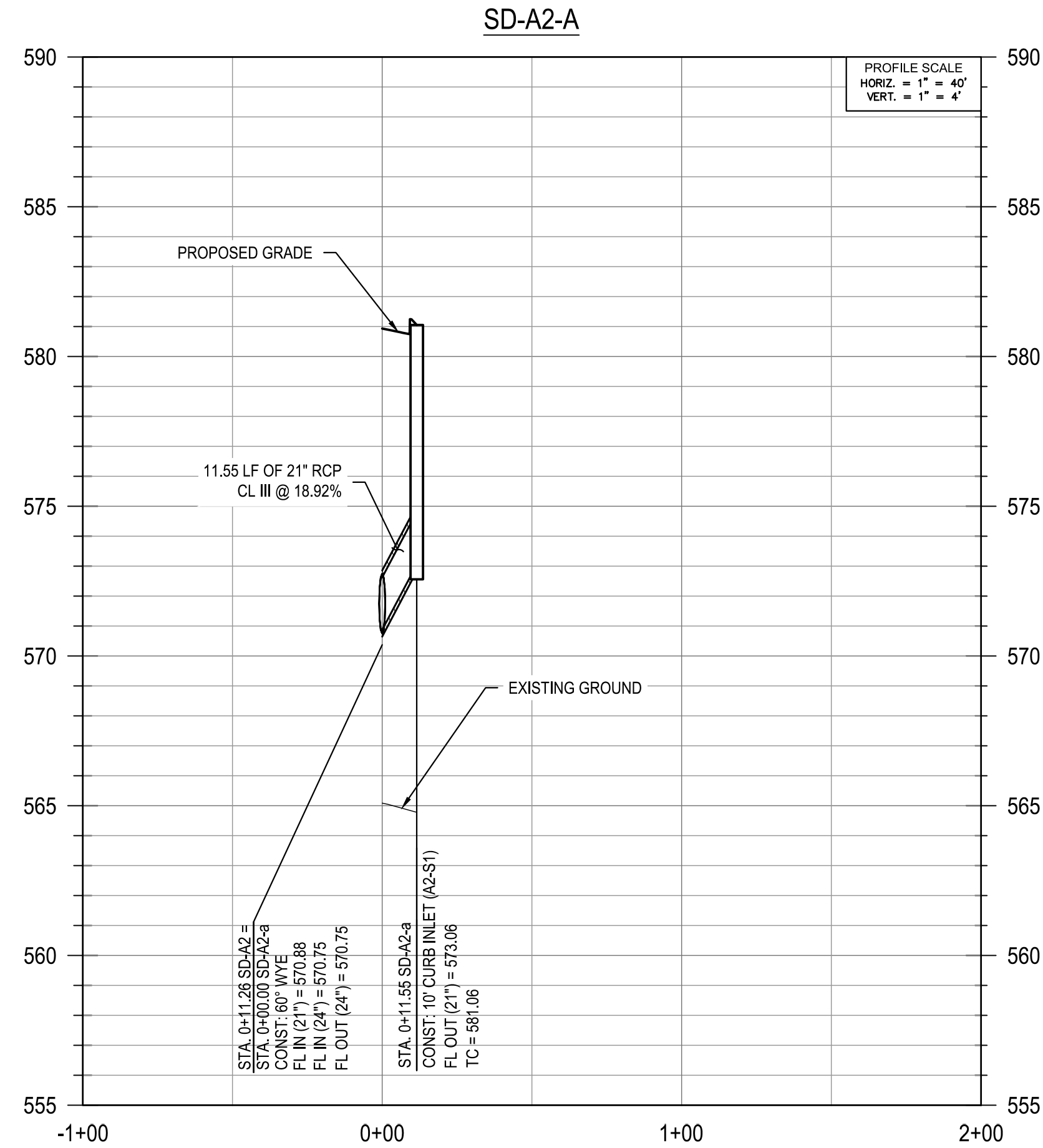
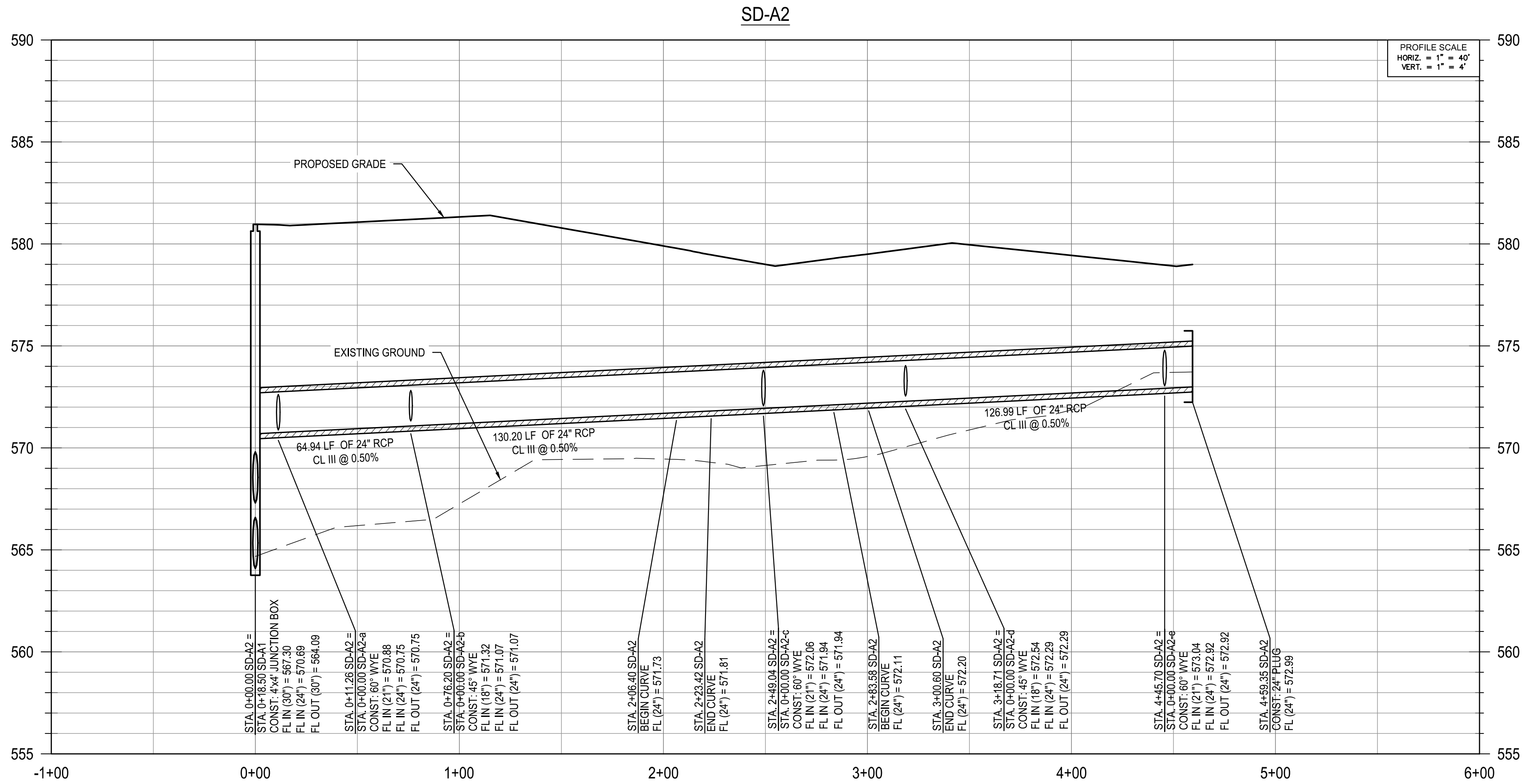
DRAWN BY: BH  
CHECKED BY: DAG  
DATE: 01/12/23  
PROJECT NUMBER: 10619-00

SHEET NO.  
**C-6.3**



G:\TNA\Projects\westwood\_residential\10619-00-crossroads\_multifamily\_inet\A\01\_CADD\01\_Shts\crossroads m\C-6.4 STORM PROFILES.dwg Mar 01, 2023--12:53pm bherrera

BGE, INC.



BGE, Inc.

777 Main St., Suite 1900

Fort Worth, TX 76102

Tel: 972-887-6130 • www.bgeinc.com

TBPE Registration No. F-1046

Contact: David Greer

Tel: 817-872-6005

Copyright 2021

DEVELOPER

WESTWOOD RESIDENTIAL

3198 Parkwood Blvd, Suite 11076

Frisco, Texas 75034

Contact: Jeff Lindsey

Tel: 972-292-7656

jeff.lindsey@westwoodresidential.com

STORM PROFILES

CROSS ROADS MULTIFAMILY

LOT 6R, BLOCK A

GREENWAY CROSS ROADS ADDITION

13.876 ACRES

TOWN OF CROSS ROADS ETJ

DENTON COUNTY, TEXAS

THESE PLANS ARE ISSUED FOR THE PURPOSE OF PRELIMINARY REVIEW AND ARE NOT INTENDED FOR CONSTRUCTION. WHEN ISSUED IN FINAL FORM THEY WILL BE SEALED, SIGNED AND DATED.

RESPONSIBLE ENGINEER:

BGE, INC.

TEXAS REGISTERED ENGINEERING

FIRM F-1046

DAVID A. GREER, P.E.

TEXAS REGISTRATION NO. 109928

MARCH 01, 2023

!! CAUTION !!

CONTRACTOR TO VERIFY EXACT LOCATION & DEPTH OF EXIST FACILITIES PRIOR TO ANY CONSTRUCTION ACTIVITIES

!! CAUTION !!

CONTACT: 1-800-DIG-TESS  
48 HOURS PRIOR TO CONSTRUCTION

| REVISIONS |      |             |
|-----------|------|-------------|
| REV NO.   | DATE | DESCRIPTION |
|           |      |             |
|           |      |             |
|           |      |             |
|           |      |             |
|           |      |             |
|           |      |             |

DRAWN BY: BH

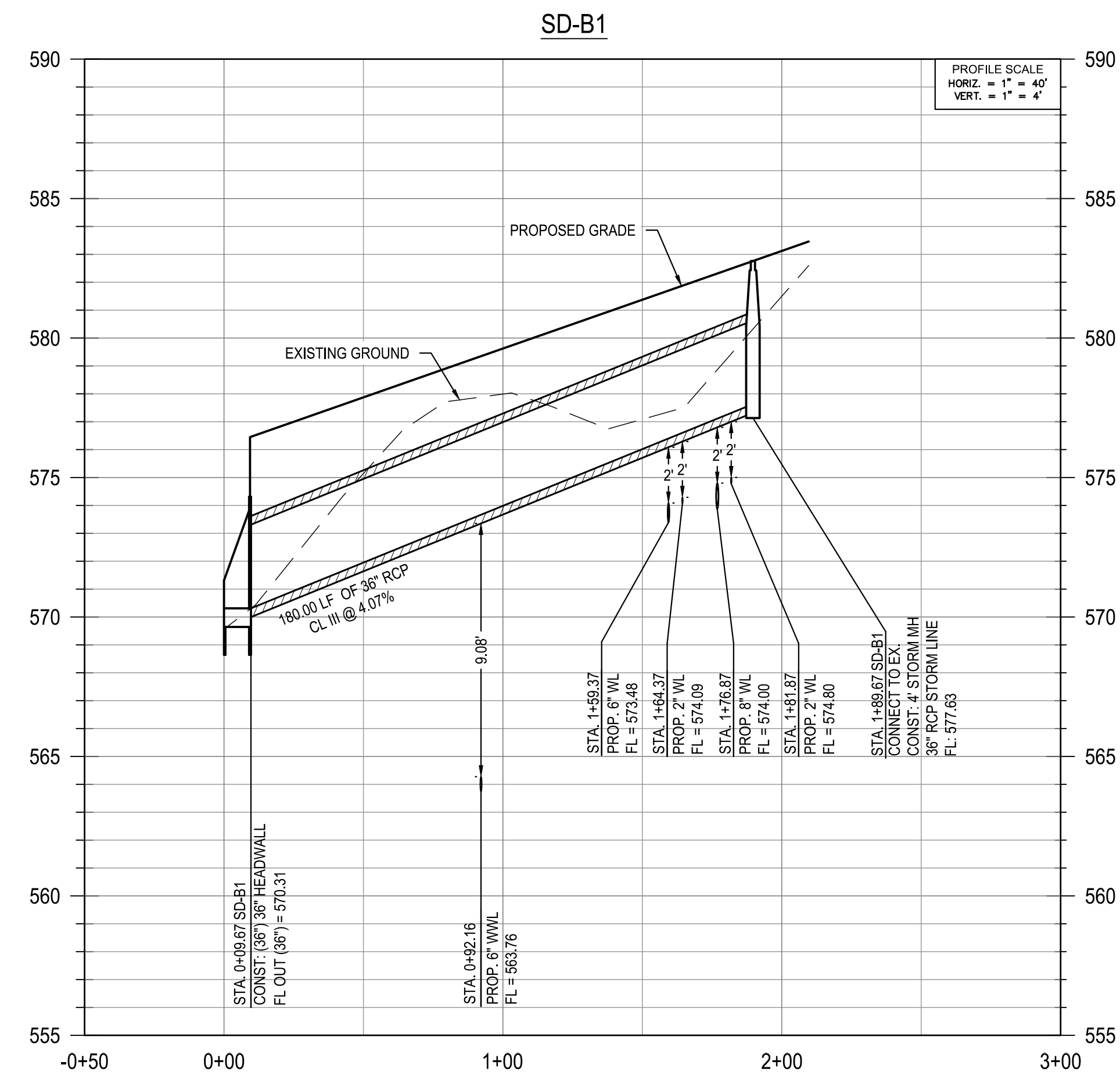
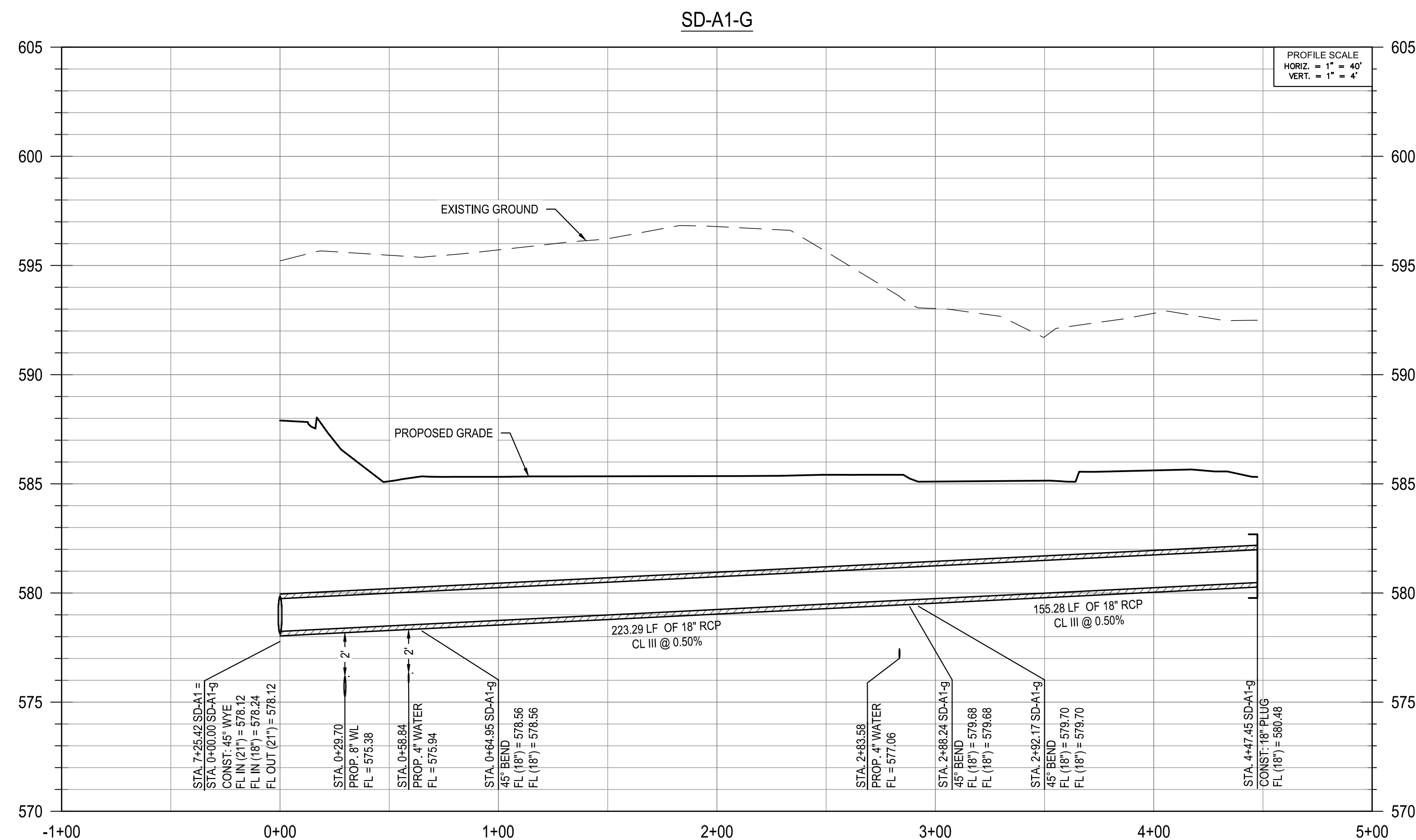
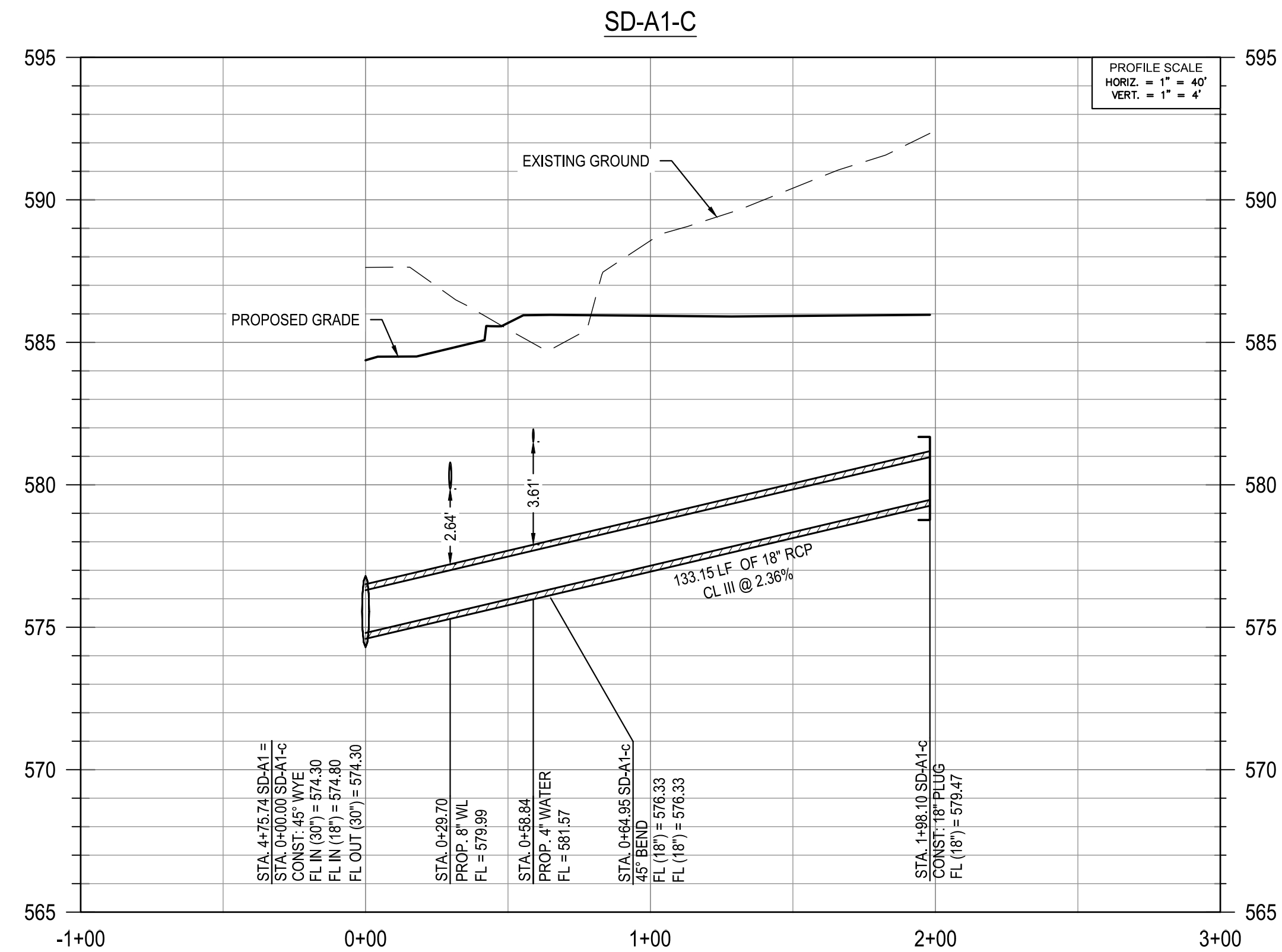
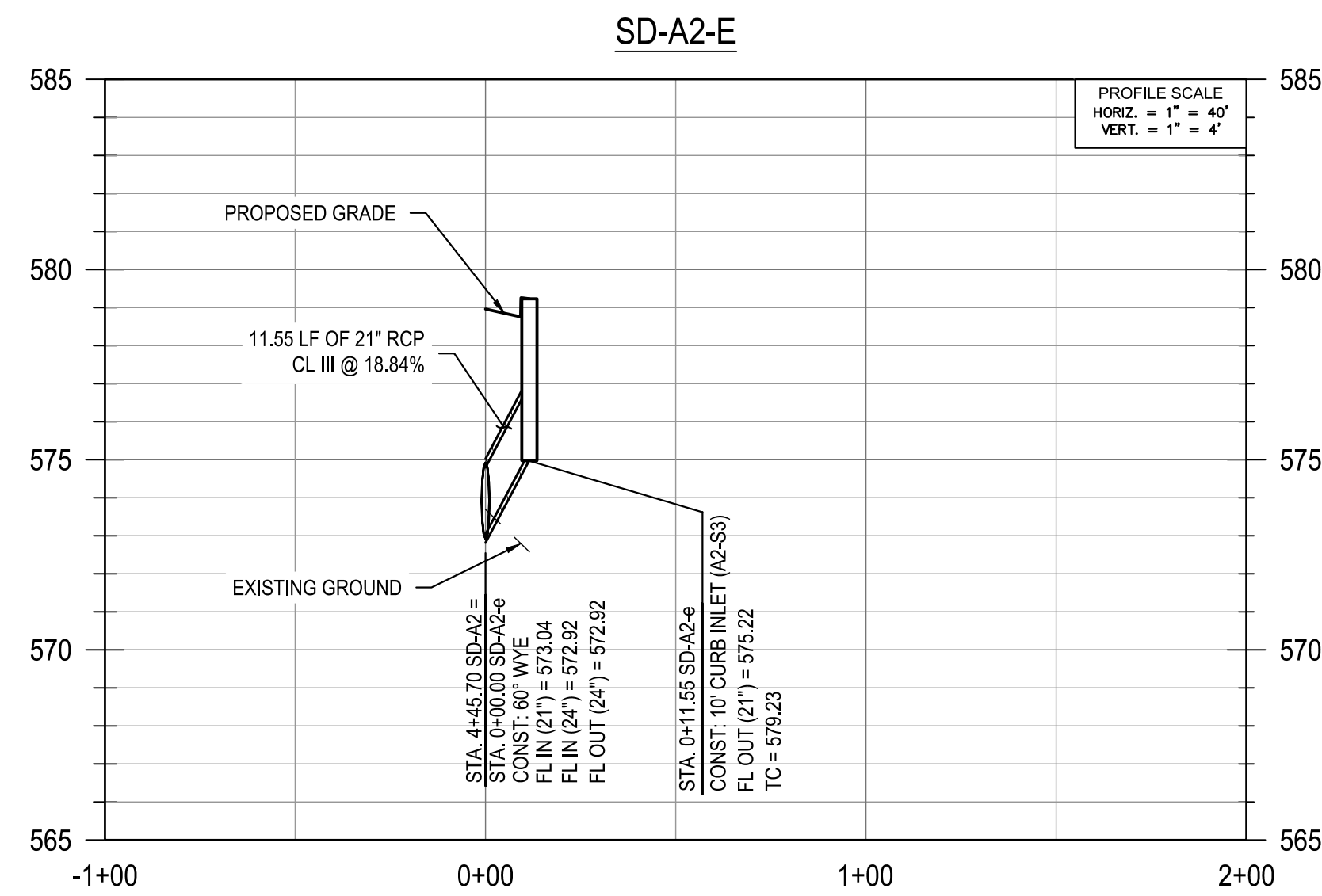
CHECKED BY: DAG

DATE: 01/12/23

PROJECT NUMBER: 10619-00

SHEET NO.

C-6.4



**3GE, Inc.**

777 Main St., Suite 1900

Fort Worth, TX 76102

Tel: 972-887-6130 • [www.bgeinc.com](http://www.bgeinc.com)

TBPE Registration No. F-1046

**Contact: David Greer**

**Tel: 817-872-6005**

copyright 2021

DEVELOPER

## WESTWOOD RESIDENTIAL

3198 Parkwood Blvd, Suite 11076

Frisco, Texas 75034

Contact: Jeff Lindsey

Tel: 972-292-7656

eff.lindsey@westwoodresidential.com

# STORM PROFILES

CROSS ROADS MULTI FAMILY  
LOT 6R, BLOCK A  
GREENWAY CROSS ROADS ADDITION

15.570 ACRES  
TOWN OF CROSS ROADS ETJ  
DENTON COUNTY, TEXAS

THESE PLANS ARE ISSUED FOR  
THE PURPOSE OF PRELIMINARY  
REVIEW AND ARE NOT INTENDED  
FOR CONSTRUCTION.  
WHEN ISSUED IN  
FINAL FORM THEY WILL BE  
SEALED, SIGNED AND DATED.

RESPONSIBLE ENGINEER:  
BGE, INC.  
TEXAS REGISTERED ENGINEERING  
FIRM F-1046  
DAVID A. GREER, P.E.  
TEXAS REGISTRATION NO. 109928  
MARCH 01, 2023

**!!CAUTION !!**  
CONTRACTOR TO VERIFY EXACT LOCATION &  
DEPTH OF EXIST FACILITIES PRIOR TO ANY  
CONSTRUCTION ACTIVITIES

**!! CAUTION !!**  
CONTACT: 1-800-DIG-TESS  
8 HOURS PRIOR TO CONSTRUCTION

[illegible]

DRAWN BY: BH

CHECKED BY: DAG

DATE: 01/12/23

PROJECT NUMBER: 10619-00

SHEET NO.

C-6.5

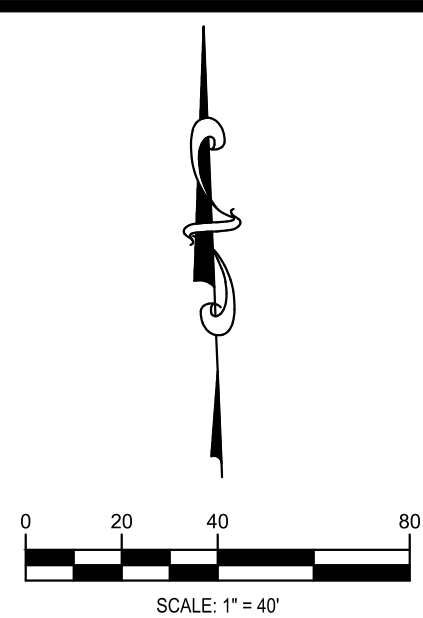
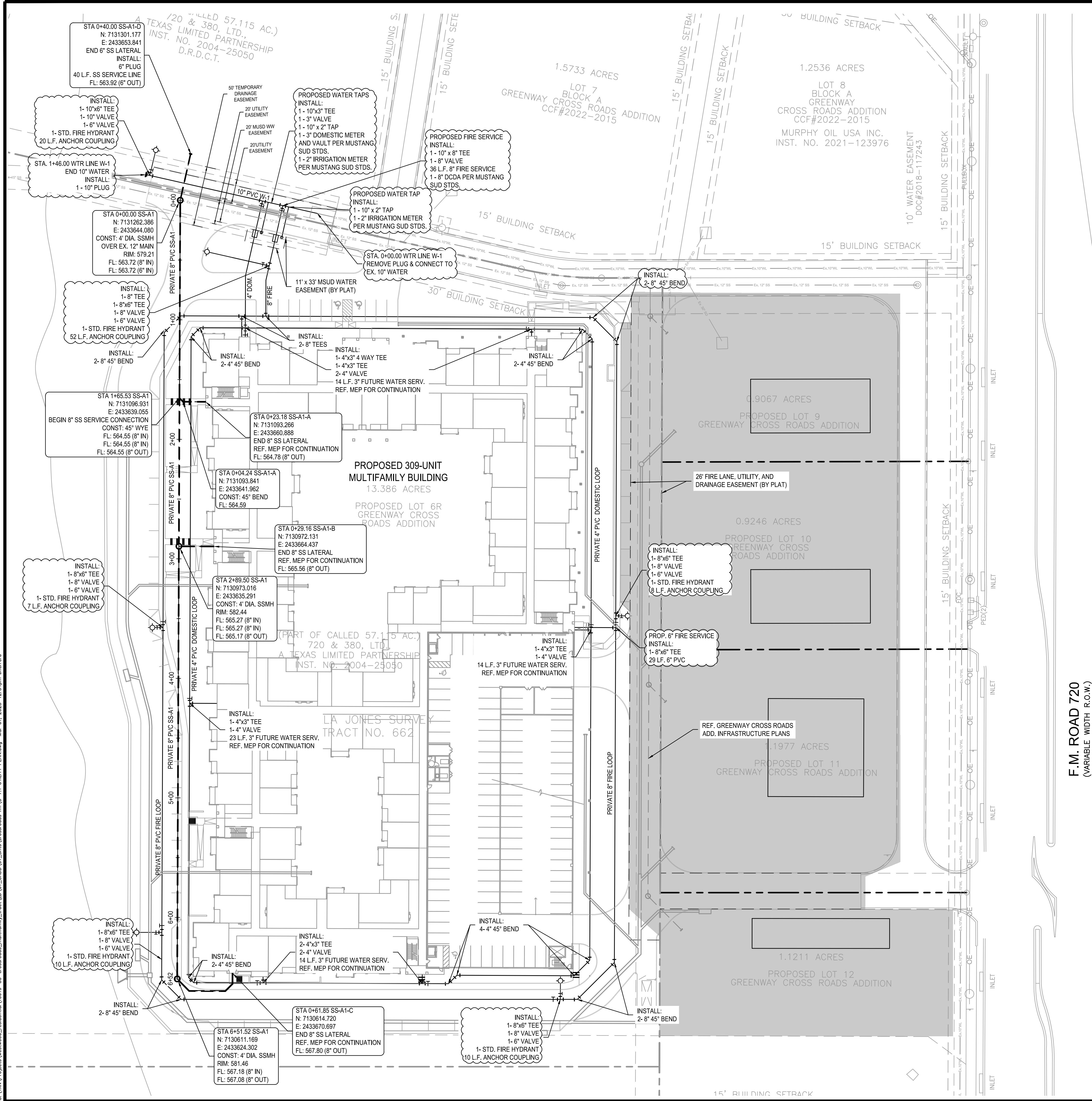


BGE, INC.  
G:\TNA\Projects\westwood\_residential\0619-00-crossroads\_multifamily\_inet\A\01\_CADD\01\_Shts\Crossroads m\C-6-4 STORM PROFILES.dwg Msr 01, 2023-12-53pm bherera

| HYDRAULIC CALCULATIONS |                    |             |               |            |            |          |          |                       |        |       |                    |                 |            |             |            |          |        |           |           |      |         |        |        |                        |        |                     |                     |      |                        |      |        |                  |        |                      |  |
|------------------------|--------------------|-------------|---------------|------------|------------|----------|----------|-----------------------|--------|-------|--------------------|-----------------|------------|-------------|------------|----------|--------|-----------|-----------|------|---------|--------|--------|------------------------|--------|---------------------|---------------------|------|------------------------|------|--------|------------------|--------|----------------------|--|
| Upstream Station       | Downstream Station | Pipe Length | Drainage Area |            | Runoff "c" | Incr. cA | Total cA | Time of Concentration |        |       | 100-year Intensity | 100-year Runoff | Q Capacity | Q Carryover | Q Captured | Q Bypass | Q Pipe | Pipe Rise | Pipe Span | n    | Sf      | HGL    |        | Head Loss Calculations |        |                     |                     |      |                        |      |        | Invert Elevation |        | Ground/Rim Elevation |  |
|                        |                    |             | Incr. Area    | Total Area |            |          |          | Inlet                 | Travel | Total |                    |                 |            |             |            |          |        |           |           |      |         | U/S    | D/S    | V1                     | V2     | V1 <sup>2</sup> /2g | V2 <sup>2</sup> /2g | Kj   | Kj/V1 <sup>2</sup> /2g | HK   | U/S    | D/S              | U/S    | D/S                  |  |
|                        |                    |             |               |            |            |          |          |                       |        |       |                    |                 |            |             |            |          |        |           |           |      |         |        |        |                        |        |                     |                     |      |                        |      |        |                  |        |                      |  |
|                        |                    | (ft)        | (ac)          | (ac)       |            |          |          | (min)                 | (min)  | (min) | (in/hr)            | (cfs)           | (cfs)      | (cfs)       | (cfs)      | (cfs)    | (cfs)  | (in)      | (in)      |      | (ft/ft) | (ft)   | (ft)   | (ft/s)                 | (ft/s) | (ft)                | (ft)                |      | (ft)                   | (ft) |        |                  |        |                      |  |
| SD-A1                  |                    |             |               |            |            |          |          |                       |        |       |                    |                 |            |             |            |          |        |           |           |      |         |        |        |                        |        |                     |                     |      |                        |      |        |                  |        |                      |  |
| 9+20.56                | 8+80.97            | 39.60       | 0.32          | 0.32       | 0.90       | 0.29     | 0.29     | 10.00                 | 0.59   | 10.00 | 9.24               | 2.69            | 21.20      | N/A         | N/A        | N/A      | 2.69   | 21.00     | 21.00     | 0.01 | 0.00    | 585.05 | 584.17 | 3.74                   | 6.04   | 0.22                | 0.22                | 1.00 | N/A                    | 0.00 | 584.46 | 583.75           | 591.43 | 589.81               |  |
| 8+80.97                | 7+25.42            | 155.55      | 0.00          | 0.32       | 0.00       | 0.00     | 0.29     | 0.00                  | 2.33   | 10.60 | 9.06               | 2.64            | 19.59      | N/A         | N/A        | N/A      | 0.00   | 21.00     | 21.00     | 0.01 | 0.00    | 581.09 | 579.06 | 3.72                   | 2.00   | 0.22                | 0.22                | 0.75 | N/A                    | 0.00 | 580.50 | 578.12           | 589.81 | 587.90               |  |
| 7+25.42                | 7+10.37            | 15.05       | 0.47          | 0.99       | 0.90       | 0.42     | 0.89     | 10.00                 | 0.08   | 18.10 | 7.28               | 6.51            | 19.58      | N/A         | N/A        | N/A      | 3.91   | 21.00     | 21.00     | 0.01 | 0.00    | 579.06 | 579.16 | 4.94                   | 3.49   | 0.38                | 0.38                | 0.75 | N/A                    | 0.00 | 578.12 | 577.89           | 587.90 | 587.71               |  |
| 7+10.37                | 5+32.13            | 178.24      | 0.00          | 1.77       | 0.00       | 0.00     | 1.59     | 0.00                  | 0.53   | 18.20 | 7.27               | 11.56           | 19.61      | N/A         | N/A        | N/A      | 0.00   | 21.00     | 21.00     | 0.01 | 0.00    | 579.16 | 576.50 | 6.20                   | 5.87   | 0.60                | 0.60                | 0.75 | N/A                    | 0.00 | 577.89 | 575.16           | 587.71 | 585.51               |  |
| 5+32.13                | 4+91.28            | 40.86       | 0.00          | 2.43       | 0.00       | 0.00     | 2.18     | 0.00                  | 0.19   | 18.70 | 7.17               | 15.67           | 50.52      | N/A         | N/A        | N/A      | 0.00   | 30.00     | 30.00     | 0.01 | 0.00    | 576.50 | 576.13 | 5.88                   | 4.75   | 0.54                | 0.54                | 0.75 | N/A                    | 0.00 | 575.16 | 574.54           | 585.51 | 584.73               |  |
| 4+91.28                | 4+75.74            | 15.54       | 0.00          | 3.42       | 0.00       | 0.00     | 3.08     | 0.00                  | 0.05   | 18.90 | 7.14               | 21.96           | 50.96      | N/A         | N/A        | N/A      | 0.00   | 30.00     | 30.00     | 0.01 | 0.00    | 576.13 | 576.09 | 6.66                   | 5.83   | 0.69                | 0.69                | 0.75 | N/A                    | 0.00 | 574.54 | 574.30           | 584.73 | 584.37               |  |
| 4+75.74                | 4+71.40            | 4.34        | 0.89          | 4.31       | 0.90       | 0.80     | 3.88     | 10.00                 | 0.01   | 19.00 | 7.13               | 27.64           | 52.12      | N/A         | N/A        | N/A      | 7.40   | 30.00     | 30.00     | 0.01 | 0.00    | 576.09 | 576.02 | 7.35                   | 7.35   | 0.84                | 0.84                | 0.15 | 0.13                   | 0.00 | 574.30 | 574.23           | 584.37 | 584.23               |  |
| 4+71.40                | 3+90.05            | 81.35       | 0.00          | 4.31       | 0.00       | 0.00     | 3.88     | 0.00                  | 0.21   | 19.00 | 7.13               | 27.64           | 50.63      | N/A         | N/A        | N/A      | 0.00   | 30.00     | 30.00     | 0.01 | 0.00    | 576.02 | 574.97 | 7.34                   | 6.62   | 0.84                | 0.84                | 0.75 | N/A                    | 0.00 | 574.23 | 572.99           | 584.23 | 583.06               |  |
| 3+90.05                | 3+57.99            | 32.06       | 0.00          | 5.34       | 0.00       | 0.00     | 4.80     | 0.00                  | 0.07   | 19.20 | 7.09               | 34.07           | 50.70      | N/A         | N/A        | N/A      | 0.00   | 30.00     | 30.00     | 0.01 | 0.00    | 574.97 | 574.66 | 8.16                   | 7.55   | 1.04                | 1.04                | 0.75 | N/A                    | 0.00 | 572.99 | 572.50           | 583.06 | 581.77               |  |
| 3+57.99                | 0+69.69            | 288.29      | 0.00          | 6.55       | 0.00       | 0.00     | 5.89     | 0.00                  | 0.50   | 19.30 | 7.08               | 41.72           | 50.72      | N/A         | N/A        | N/A      | 0.00   | 30.00     | 30.00     | 0.01 | 0.00    | 574.66 | 570.24 | 9.24                   | 9.28   | 1.33                | 1.33                | 0.89 | 1.18                   | 0.00 | 572.50 | 568.09           | 581.77 | 581.62               |  |
| 0+69.69                | 0+24.92            | 44.77       | 0.00          | 6.55       | 0.00       | 0.00     | 5.89     | 0.00                  | 0.08   | 19.80 | 7.00               | 41.23           | 50.91      | N/A         | N/A        | N/A      | 0.00   | 30.00     | 30.00     | 0.01 | 0.00    | 570.24 | 569.55 | 9.17                   | 9.17   | 1.31                | 1.31                | 0.75 | 0.98                   | 0.00 | 568.09 | 567.40           | 581.62 | 580.95               |  |
| 0+24.92                | 0+18.50            | 6.46        | 0.00          | 6.55       | 0.00       | 0.00     | 5.89     | 0.00                  | 0.01   | 19.80 | 6.98               | 41.15           | 51.05      | N/A         | N/A        | N/A      | 0.00   | 30.00     | 30.00     | 0.01 | 0.00    | 569.55 | 569.30 | 9.16                   | 9.79   | 1.30                | 1.30                | 0.75 | N/A                    | 0.00 | 567.40 | 567.30           | 580.95 | 580.96               |  |
| 0+18.50                | 0+00.00            | 18.50       | 0.00          | 10.16      | 0.00       | 0.00     | 9.14     | 0.00                  | 0.02   | 19.90 | 6.98               | 63.82           | 58.00      | N/A         | N/A        | N/A      | 0.00   | 30.00     | 30.00     | 0.01 | 2.42    | 566.67 | 566.22 | 13.00                  | 13.00  | 2.63                | 2.63                | 1.00 | 2.63                   | 0.45 | 564.09 | 563.72           | 580.96 | 580.33               |  |
| SD-A1-a                |                    |             |               |            |            |          |          |                       |        |       |                    |                 |            |             |            |          |        |           |           |      |         |        |        |                        |        |                     |                     |      |                        |      |        |                  |        |                      |  |
| 0+10.32                | 0+00.00            | 10.32       | 1.21          | 1.21       | 0.90       | 1.09     | 1.09     | 10.00                 | 0.04   | 10.00 | 9.24               | 10.06           | 100.59     | 3.04        | 13.10      | 0.00     | 10.06  | 21.00     | 21.00     | 0.01 | 0.52    | 578.22 | 574.66 | 5.83                   | 4.18   | 0.53                | 0.27                | 1.00 | N/A                    | 0.05 | 577.04 | 572.88           | 582.04 | 581.77               |  |
| SD-A1-b                |                    |             |               |            |            |          |          |                       |        |       |                    |                 |            |             |            |          |        |           |           |      |         |        |        |                        |        |                     |                     |      |                        |      |        |                  |        |                      |  |
| 0+74.50                | 0+00.00            | 74.50       | 1.03          | 1.03       | 0.90       | 0.93     | 0.93     | 10.00                 | 0.35   | 10.00 | 9.24               | 8.56            | 46.52      | N/A         | N/A        | N/A      | 8.56   | 21.00     | 21.00     | 0.01 | 0.00    | 580.88 | 574.97 | 5.46                   | 3.70   | 0.46                | 0.46                | 1.00 | N/A                    | 0.00 | 579.79 | 573.37           | 585.01 | 583.06               |  |
| SD-A1-d                |                    |             |               |            |            |          |          |                       |        |       |                    |                 |            |             |            |          |        |           |           |      |         |        |        |                        |        |                     |                     |      |                        |      |        |                  |        |                      |  |
| 0+61.22                | 0+22.36            | 38.86       | 0.99          | 0.99       | 0.90       | 0.89     | 0.89     | 10.00                 | 0.19   | 10.00 | 9.24               | 8.23            | 59.24      | 0.00        | 5.19       | 3.04     | 8.23   | 21.00     | 21.00     | 0.01 | 0.00    | 583.27 | 578.64 | 5.38                   | 5.40   | 0.45                | 0.45                | 1.00 | 0.45                   | 0.00 | 582.21 | 577.58           | 586.21 | 584.97               |  |
| 0+22.36                | 0+00.00            | 22.36       | 0.00          | 0.99       | 0.00       | 0.00     | 0.89     | 0.00                  | 0.11   | 10.20 | 9.18               | 8.18            | 59.19      | N/A         | N/A        | N/A      | 0.00   | 21.00     | 21.00     | 0.01 | 0.00    | 578.64 | 576.13 | 5.37                   | 4.60   | 0.45                | 0.45                | 0.75 | N/A                    | 0.00 | 577.58 | 574.92           | 584.97 | 584.73               |  |
| SD-A1-e                |                    |             |               |            |            |          |          |                       |        |       |                    |                 |            |             |            |          |        |           |           |      |         |        |        |                        |        |                     |                     |      |                        |      |        |                  |        |                      |  |
| 0+39.60                | 0+00.00            | 39.60       | 0.66          | 0.66       | 0.90       | 0.59     | 0.59     | 10.00                 | 0.29   | 10.00 | 9.23               | 5.48            | 61.07      | N/A         | N/A        | N/A      | 5.48   | 21.00     | 21.00     | 0.01 | 0.00    | 581.91 | 576.50 | 4.66                   | 2.79   | 0.34                | 0.34                | 1.00 | N/A                    | 0.00 | 581.05 | 575.17           | 586.80 | 585.51               |  |
| SD-A1-f                |                    |             |               |            |            |          |          |                       |        |       |                    |                 |            |             |            |          |        |           |           |      |         |        |        |                        |        |                     |                     |      |                        |      |        |                  |        |                      |  |
| 0+39.60                | 0+00.00            | 39.60       | 0.77          | 0.77       | 0.90       | 0.70     | 0.70     | 10.00                 | 0.25   | 10.00 | 9.24               | 6.44            | 60.23      | N/A         | N/A        | N/A      | 6.44   | 21.00     | 21.00     | 0.01 | 0.00    | 584.55 | 579.16 | 4.92                   | 3.44   | 0.38                | 0.38                | 1.00 | N/A                    | 0.00 | 583.61 | 577.89           | 589.36 | 587.71               |  |
| SD-A1-g                |                    |             |               |            |            |          |          |                       |        |       |                    |                 |            |             |            |          |        |           |           |      |         |        |        |                        |        |                     |                     |      |                        |      |        |                  |        |                      |  |
| 4+47.45                | 2+92.17            | 155.28      | 0.20          | 0.20       | 0.90       | 0.18     | 0.18     | 10.00                 | 2.75   | 10.00 | 9.24               | 1.66            | 7.44       | N/A         | N/A        | N/A      | 1.66   | 18.00     | 18.00     | 0.01 | 0.00    | 580.96 | 580.18 | 3.37                   | 3.39   | 0.18                | 0.18                | 1.00 | 0.18                   | 0.00 | 580.48 | 579.70           | 585.32 | 585.09               |  |
| 2+92.17                | 2+88.24            | 3.92        | 0.00          | 0.20       | 0.00       | 0.00     | 0.18     | 0.00                  | 0.07   | 12.80 | 8.45               | 1.52            | 7.50       | N/A         | N/A        | N/A      | 0.00   | 18.00     | 18.00     | 0.01 | 0.00    | 580.16 | 580.14 | 3.28                   | 3.29   | 0.17                | 0.17                | 0.75 | 0.13                   | 0.00 | 579.70 | 579.68           | 585.09 | 585.24               |  |
| 2+88.24                | 0+64.95            | 223.29      | 0.00          | 0.20       | 0.00       | 0.00     | 0.18     | 0.00                  | 4.07   | 12.80 | 8.43               | 1.52            | 7.44       | N/A         | N/A        | N/A      | 0.00   | 18.00     | 18.00     | 0.01 | 0.00    | 580.14 | 579.16 | 3.28                   | 2.31   | 0.17                | 0.17                | 0.75 | 0.13                   | 0.00 | 579.68 | 578.56           | 585.24 | 585.34               |  |
| 0+64.95                | 0+00.00            | 64.95       | 0.00          | 0.20       | 0.00       | 0.00     | 0.18     | 0.00                  | 1.23   | 16.90 | 7.52               | 1.35            | 7.37       | N/A         | N/A        | N/A      | 0.00   | 18.00     | 18.00     | 0.01 | 0.14    | 579.09 | 579.06 | 2.42                   | 1.37   | 0.09                | 0.03                | 0.75 | 0.07                   | 0.09 | 578.56 | 578.24           | 585.34 | 587.90               |  |
| SD-A2                  |                    |             |               |            |            |          |          |                       |        |       |                    |                 |            |             |            |          |        |           |           |      |         |        |        |                        |        |                     |                     |      |                        |      |        |                  |        |                      |  |
| 4+45.70                | 3+18.71            | 126.989     | 0             | 0.38       | 0.00       | 0.00     | 0.34     | 0.00                  | 2.11   | 10.10 | 9.19               | 3.14            | 15.93      | N/A         | N/A        | N/A      | 0.00   | 24.00     | 24.00     | 0.01 | 0.02    | 577.43 | 577.41 | 1.00                   | 1.00   | 0.02                | 0.02                | 0.89 | 0.01                   | 0.03 | 572.92 | 572.29           | 578.96 | 579.75               |  |
| 3+18.71                | 3+00.60            | 18.116      | 0             | 1.90       | 0.00       | 0.00     | 1.71     | 0.00                  | 0.06   | 12.30 | 8.58               | 14.67           | 15.94      | N/A         | N/A        | N/A      | 0.00   | 24.00     | 24.00     | 0.01 | 0.42    | 577.15 | 577.08 | 4.67                   | 4.67   | 0.34                | 0.34                | 0.75 | 0.25                   | 0.08 | 572.29 | 572.20           | 579.75 | 579.50               |  |
| 3+00.60                | 2+83.58            | 16.97       | 0.00          | 1.90       | 0.00       | 0.00     | 1.71     | 0.00                  | 0.06   | 12.30 | 8.56               | 14.64           | 16.47      | N/A         | N/A        | N/A      | 0.00   | 24.00     | 24.00     | 0.01 | 0.42    | 577.02 | 576.95 | 4.66                   | 4.66   | 0.34                | 0.34                | 0.16 | 0.05                   | 0.07 | 572.20 | 572.11           | 579.50 | 579.29               |  |
| 2+83.58                | 2+49.04            | 34.535      | 0             | 1.90       | 0.00       | 0.00     | 1.71     | 0.00                  | 0.12   | 12.40 | 8.55               | 14.62           | 15.87      | N/A         | N/A        | N/A      | 0.00   | 24.00     | 24.00     | 0.01 | 0.42    | 576.90 | 576.75 | 4.65                   | 4.65   | 0.34                | 0.34                | 0.16 | 0.05                   | 0.14 | 572.11 | 571.94           | 579.29 | 579.01               |  |
| 2+49.04                | 2+23.42            | 25.62       | 0.00          | 2.23       | 0.00       | 0.00     | 2.01     | 0.00                  | 0.08   | 12.50 | 8.52               | 17.09           | 16.11      | N/A         | N/A        | N/A      | 0.00   | 24.00     | 24.00     | 0.01 | 0.57    | 576.35 | 576.20 | 5.44                   | 5.44   | 0.46                | 0.46                | 0.89 | 0.41                   | 0.15 | 571.94 | 571.81           | 579.01 | 579.47               |  |
| 2+23.42                | 2+06.40            | 16.968      | 0             | 2.23       | 0.00       | 0.00     | 2.01     | 0.00                  | 0.05   | 12.60 | 8.50               | 17.05           | 15.53      | N/A         | N/A        | N/A      | 0.00   | 24.00     | 24.00     | 0.01 | 0.57    | 576.13 | 576.03 | 5.43                   | 5.43   | 0.46                | 0.46                | 0.16 | 0.07                   | 0.10 | 571.81 | 571.73           | 579.47 | 579.79               |  |
| 2+06.40                | 0+76.20            | 130.20      | 0.00          | 2.23       | 0.00       | 0.00     | 2.01     | 0.00                  | 0.39   | 12.60 | 8.48               | 17.03           | 16.10      | N/A         | N/A        | N/A      | 0.00   | 24.00     | 24.00     | 0.01 | 0.57    | 575.96 | 575.22 | 5.42                   | 5.42   | 0.46                | 0.46                | 0.16 | 0.07                   | 0.74 | 571.73 | 571.07           | 579.79 | 581.20               |  |
| 0+76.20                | 0+11.26            | 64.94       | 0             | 3.09       | 0.00       | 0.00     | 2.78     | 0.00                  | 0.14   | 13.00 | 8.38               | 23.32           | 15.88      | N/A         | N/A        | N/A      | 0.00   | 24.00     | 24.00     | 0.01 | 1.06    | 574.57 | 573.88 | 7.42                   | 7.42   | 0.86                | 0.86                | 0.75 | 0.64                   | 0.69 | 571.07 | 570.75           | 581.20 | 580.93               |  |
| 0+11.26                | 0+00.00            | 11.26       | 0.00          | 3.61       | 0.00       | 0.00     | 3.25     | 0.00                  | 0.02   | 13.10 | 8.35               | 27.13           | 16.51      | N/A         | N/A        | N/A      | 0.00   | 24.00     | 24.00     | 0.01 | 1.44    | 572.85 | 572.69 | 8.63                   | 8.64   | 1.16                | 1.16                | 0.89 | 1.03                   | 0.16 | 570.75 | 570.69           | 580.93 | 580.96               |  |
| SD-A2-a                |                    |             |               |            |            |          |          |                       |        |       |                    |                 |            |             |            |          |        |           |           |      |         |        |        |                        |        |                     |                     |      |                        |      |        |                  |        |                      |  |
| 0+11.55                | 0+00.00            | 11.55       | 0.52          | 0.52       | 0.90       | 0.47     | 0.47     | 10.00                 | 0.11   | 10.00 | 9.23               | 4.32            | 68.83      | 0.00        | 4.32       | 0.00     | 4.32   | 21.00     | 21.00     | 0.01 | 0.28    | 573.82 | 573.88 | 4.32                   | 1.80   | 0.29                | 0.05                | 1.00 | 0.29                   | 0.03 | 573.06 | 570.88           | 581.06 | 580.93               |  |
| SD-A2-b                |                    |             |               |            |            |          |          |                       |        |       |                    |                 |            |             |            |          |        |           |           |      |         |        |        |                        |        |                     |                     |      |                        |      |        |                  |        |                      |  |
| 1+39.16                | 0+14.14            | 125.02      | 0.86          | 0.86       | 0.90       | 0.77     | 0.77     | 10.00                 | 0.52   | 10.00 | 9.23               | 7.15            | 26.23      | N/A         | N/A        | N/A      | 7.15   | 18.00     | 18.00     | 0.01 | 0.58    | 581.03 | 575.46 | 5.50                   | 4.04   | 0.47                | 0.25                | 1.00 | N/A                    | 0.72 | 580.00 | 572.20           | 585.50 | 581.45               |  |
| 0+14.14                | 0+00.00            | 14.14       | 0.00          | 0.86       | 0.00       | 0.00     | 0.77     | 0.00                  | 0.06   | 10.50 | 9.07               | 7.02            | 26.20      | N/A         | N/A        | N/A      | 0.00   | 18.00     | 18.00     |      |         |        |        |                        |        |                     |                     |      |                        |      |        |                  |        |                      |  |



BGE, INC.  
G:\TNA\Projects\westwood\_residential\0619-00-crossroads\_multifamily\_tract\VD\01\_CADD\01\_Shta\Crossroads m\CG-7.1 UTILITY PLAN.dwg Mar 01, 2023-12:54pm bherreo



**LEGEND**

|     |                                    |
|-----|------------------------------------|
| --- | PROPERTY LINE                      |
| --- | EASEMENT LINE                      |
| --- | EXISTING WATER LINE                |
| --- | EXISTING SEWER LINE                |
| --- | EXISTING MANHOLE                   |
| --- | EXISTING FIRE HYDRANT              |
| --- | PROPOSED WATER LINE                |
| --- | PROPOSED SEWER LINE                |
| --- | PROPOSED MANHOLE                   |
| --- | PROPOSED GATE VALVE                |
| --- | PROPOSED FIRE HYDRANT ASSEMBLY     |
| --- | WATER METER NUMBER                 |
| --- | NOT INCLUDED IN THIS SCOPE OF WORK |

- UTILITY NOTES:**
- CONTRACTOR TO NOTIFY ENGINEER IF EXISTING CONDITIONS VARY FROM THOSE SHOWN.
  - REFER TO MEP AND ARCHITECTURAL PLANS FOR CONNECTION TO DOWNSPOUTS AT BUILDINGS AND FLOWLINES.
  - CONTRACTOR SHALL NOTIFY ENGINEER IF EXISTING FLOWLINE ELEVATIONS DO NOT MATCH THOSE SHOWN ON THE PLAN.
  - CONTRACTOR TO ADJUST MANHOLE RIM ELEVATIONS TO MATCH FINISH GRADE.
  - CONTRACTOR TO REMOVE SILT AND DEBRIS FROM END OF EXISTING STORM SEWER PRIOR TO MAKING CONNECTION.
  - REFER TO MUSTANG SUD CONSTRUCTION DETAILS AND SPECIFICATIONS.
  - ALL UTILITY STUBS SHOWN SHALL BE PLUGGED 5' PAST PROPOSED PAVEMENT EDGE OR 5' OUTSIDE THE BUILDING.
  - REFER TO TCEQ DESIGN GUIDELINES FOR ALL UTILITY CROSSINGS.
  - A 5-FOOT CLEARANCE SHALL BE MAINTAINED AROUND ALL FIRE HYDRANTS.
  - FIRE SPRINKLER LINE SHALL BE SIZED AND INSTALLED BY A STATE LICENSED FIRE SPRINKLER CONTRACTOR.
  - ALL WATER METERS SHALL BE LOCATED IN LANDSCAPE AREAS.
  - WATER AND SEWER TO HAVE A MINIMUM 4" OF COVER.
  - REFER TO TCEQ DESIGN GUIDELINES FOR ALL UTILITY CROSSINGS.

**BENCHMARKS**

|      |                    |               |               |                 |
|------|--------------------|---------------|---------------|-----------------|
| BM#1 | TXDOT MONUMENT GPS | N: 7131899.15 | E: 2432305.32 | ELEV. = 600.40' |
| BM#2 | TXDOT MONUMENT     | N: 7131769.60 | E: 2432927.42 | ELEV. = 580.27' |
| BM#3 | TXDOT ROW MONUMENT | N: 7131518.79 | E: 2434251.75 | ELEV. = 594.53  |

**811**  
Know what's below.  
Call before you dig.  
(@ least 48 hours prior to digging)

**BGE, Inc.**  
777 Main St., Suite 1900  
Fort Worth, TX 76102  
Tel: 972-887-6130 • www.bgeinc.com  
TBPE Registration No. F-1046  
**Contact: David Greer**  
Tel: 817-872-6005  
Copyright 2021

**DEVELOPER**  
**WESTWOOD RESIDENTIAL**  
3198 Parkwood Blvd, Suite 11076  
Frisco, Texas 75034

Contact: Jeff Lindsey  
Tel: 972-292-7656  
jeff.lindsey@westwoodresidential.com

**UTILITY PLAN**

**CROSS ROADS MULTIFAMILY**  
LOT 6R, BLOCK A  
GREENWAY CROSS ROADS ADDITION

13.876 ACRES  
TOWN OF CROSS ROADS ETJ  
DENTON COUNTY, TEXAS

THESE PLANS ARE ISSUED FOR THE PURPOSE OF PRELIMINARY REVIEW AND ARE NOT INTENDED FOR CONSTRUCTION. WHEN ISSUED IN FINAL FORM THEY WILL BE SEALED, SIGNED AND DATED.

RESPONSIBLE ENGINEER:  
BGE, INC.  
TEXAS REGISTERED ENGINEERING FIRM F-1046  
DAVID A. GREER, P.E.  
TEXAS REGISTRATION NO. 109928  
MARCH 01, 2023

**CAUTION !!**  
CONTRACTOR TO VERIFY EXIST LOCATION & DEPTH OF EXIST FACILITIES PRIOR TO ANY CONSTRUCTION ACTIVITIES

**CAUTION !!**  
CONTACT: 1-800-DIG-TESS  
48 HOURS PRIOR TO CONSTRUCTION

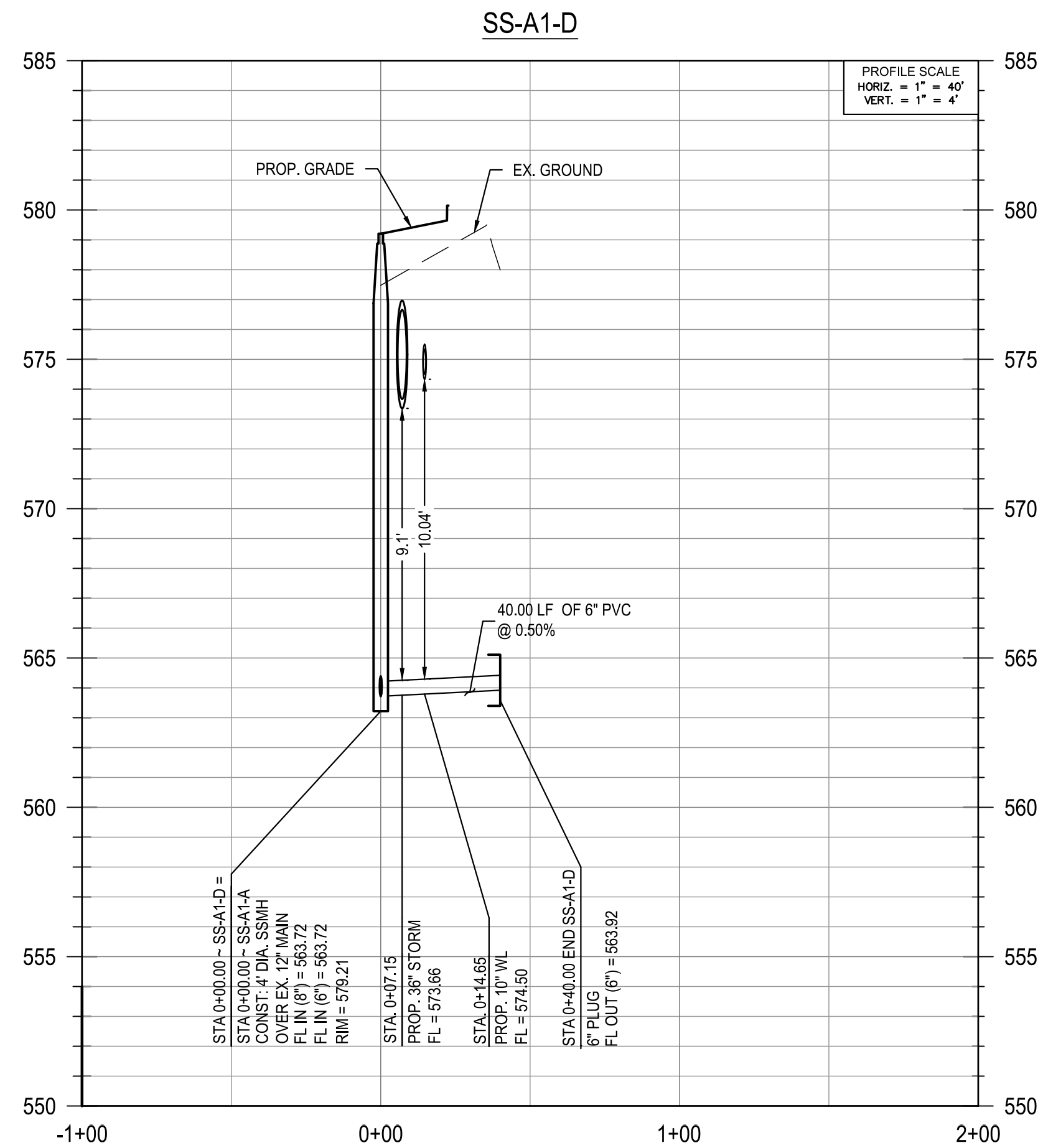
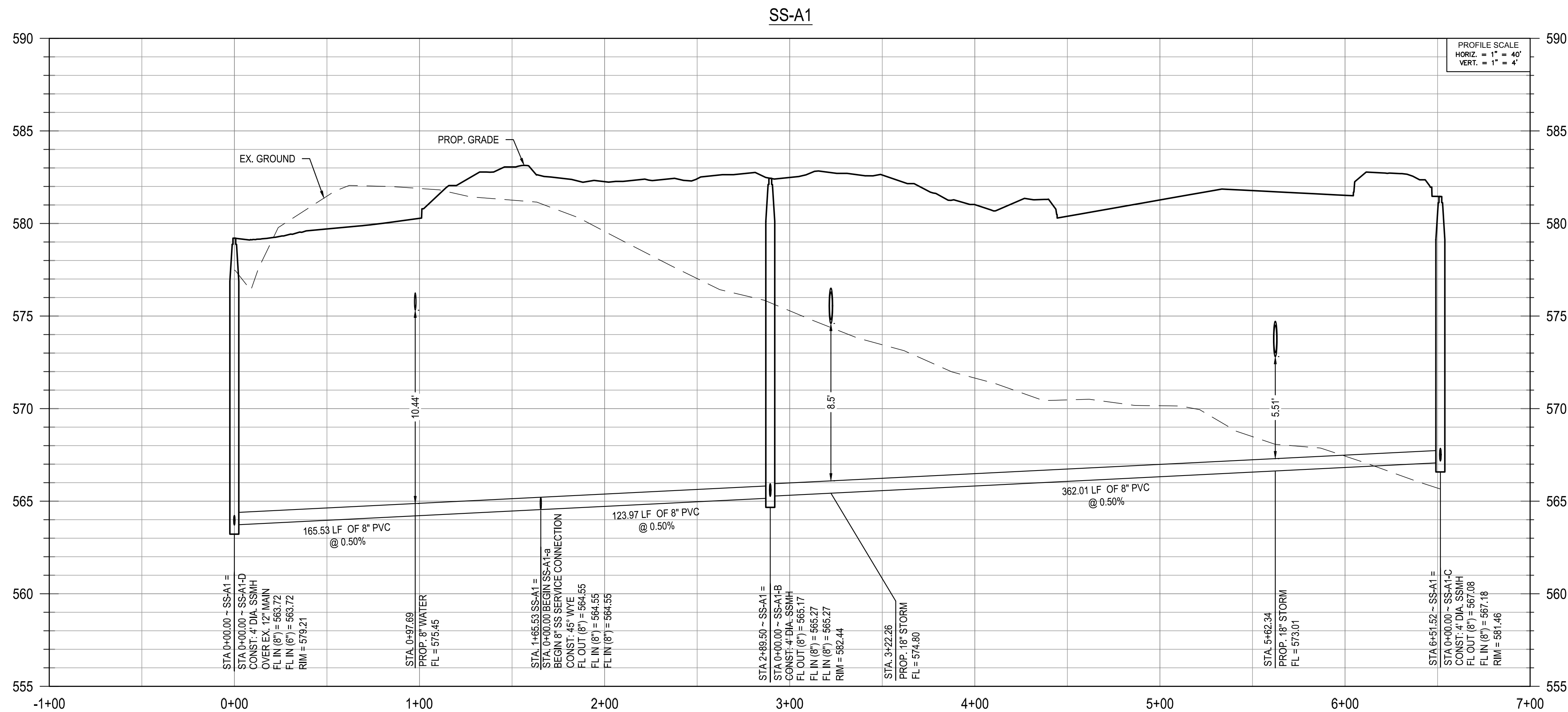
| REV NO. | DATE | DESCRIPTION |
|---------|------|-------------|
|         |      |             |
|         |      |             |
|         |      |             |
|         |      |             |
|         |      |             |

DRAWN BY: BH  
CHECKED BY: DAG  
DATE: 01/12/23  
PROJECT NUMBER: 10619-00

SHEET NO.

**C-7.1**





BENCHMARKS

BM#1  
TXDOT MONUMENT GPS  
N: 7131899.15  
E: 2432305.32  
ELEV. = 600.40'

BM#2  
TXDOT MONUMENT  
N: 7131769.60  
E: 2432927.42  
ELEV. = 580.27'

BM#3  
TXDOT ROW MONUMENT  
N: 7131518.79  
E: 2434251.75  
ELEV. = 594.53



Know what's below.  
Call before you dig.  
(@ least 48 hours prior to digging)



**BGE, Inc.**  
777 Main St., Suite 1900  
Fort Worth, TX 76102  
Tel: 972-887-6130 • www.bgeinc.com  
TBPE Registration No. F-1046  
**Contact: David Greer**  
**Tel: 817-872-6005**  
Copyright 2021

DEVELOPER

**WESTWOOD RESIDENTIAL**  
3198 Parkwood Blvd, Suite 11076  
Frisco, Texas 75034  
  
Contact: Jeff Lindsey  
Tel: 972-292-7656  
jeff.lindsey@westwoodresidential.com

SEWER PROFILES

**CROSS ROADS MULTIFAMILY**  
LOT 6R, BLOCK A  
GREENWAY CROSS ROADS ADDITION  
  
13.876 ACRES  
TOWN OF CROSS ROADS ETJ  
DENTON COUNTY, TEXAS

THESE PLANS ARE ISSUED FOR THE PURPOSE OF PRELIMINARY REVIEW AND ARE NOT INTENDED FOR CONSTRUCTION. WHEN ISSUED IN FINAL FORM THEY WILL BE SEALED, SIGNED AND DATED.

RESPONSIBLE ENGINEER:  
BGE, INC.  
TEXAS REGISTERED ENGINEERING FIRM F-1046  
DAVID A. GREER, P.E.  
TEXAS REGISTRATION NO. 109928  
MARCH 01, 2023

CAUTION !!

CONTRACTOR TO VERIFY EXACT LOCATION & DEPTH OF EXIST FACILITIES PRIOR TO ANY CONSTRUCTION ACTIVITIES

CAUTION !!

CONTACT: 1-800-DIG-TESS  
48 HOURS PRIOR TO CONSTRUCTION

| REVISIONS |      |             |
|-----------|------|-------------|
| REV NO.   | DATE | DESCRIPTION |
|           |      |             |
|           |      |             |
|           |      |             |
|           |      |             |
|           |      |             |

DRAWN BY: BH

CHECKED BY: DAG

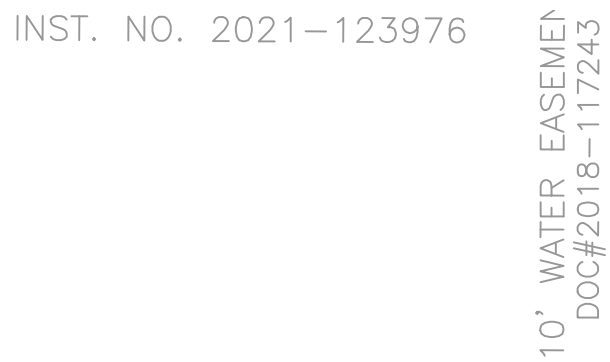
DATE: 01/12/23

PROJECT NUMBER: 10619-00

SHEET NO.

C-7.2





**BGE, Inc.**

Tel: 972-887-6130 • [www.bgeinc.com](http://www.bgeinc.com)

TBPE Registration No. F-1046

**Contact: David Greer**

**Tel: 817-872-6005**

Copyright 2021

DEVELOPER

## WESTWOOD RESIDENTIAL

3198 Parkwood Blvd. Suite 11076

Frisco, Texas 75034

Contact: Jeff Lindsey

Tel: 972-292-7656

jeff.lindsey@westwoodresidential.com

\_\_\_\_\_

## CROSS ROADS MULTIFAMILY

LUI 6R, BLOCK A  
GREENWAY CROSS ROADS ADDITION

13.876 ACRES

TOWN OF CROSSROADS EIJ  
DENTON COUNTY, TEXAS

THESE PLANS ARE ISSUED FOR  
THE PURPOSE OF PRELIMINARY  
REVIEW AND ARE NOT INTENDED  
FOR CONSTRUCTION.  
WHEN ISSUED IN  
FINAL FORM THEY WILL BE  
SEALED, SIGNED AND DATED.

RESPONSIBLE ENGINEER:  
BGE, INC.  
TEXAS REGISTERED ENGINEERING  
FIRM F-1046  
DAVID A. GREER, P.E.  
TEXAS REGISTRATION NO. 109928  
MARCH 01, 2023

!!CAUTION !!

CONTRACTOR TO VERIFY EXACT LOCATION &  
DEPTH OF EXIST FACILITIES PRIOR TO ANY  
CONSTRUCTION ACTIVITIES

**!! CAUTION !!**

CONTACT: 1-800-DIG-TESS  
48 HOURS PRIOR TO CONSTRUCTION

[illegible]

DRAWN BY: BH

CHECKED BY: DAG

DATE: 01/12/23

PROJECT NUMBER: 10619-00

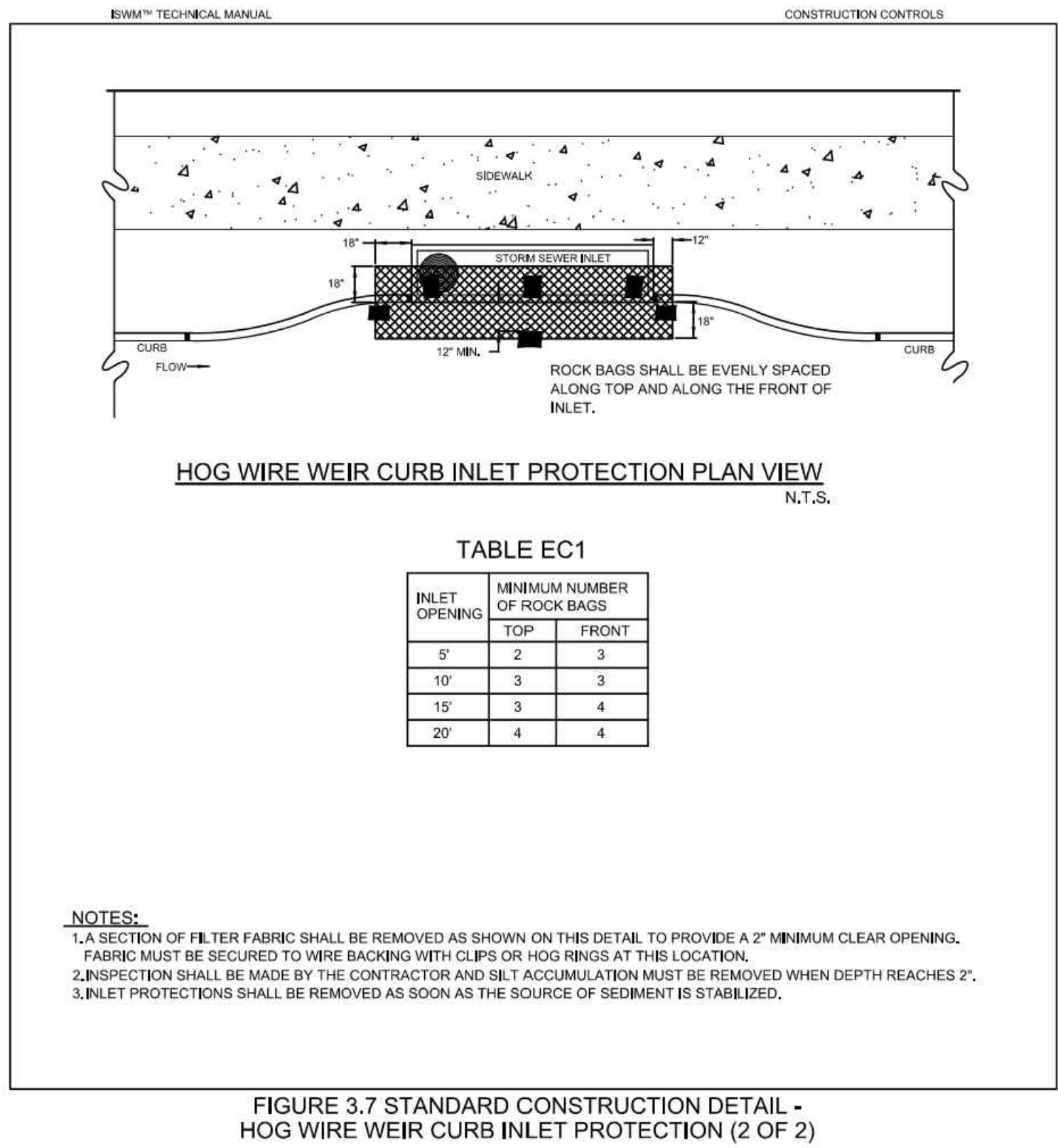
SHEET NO.

C-8.1

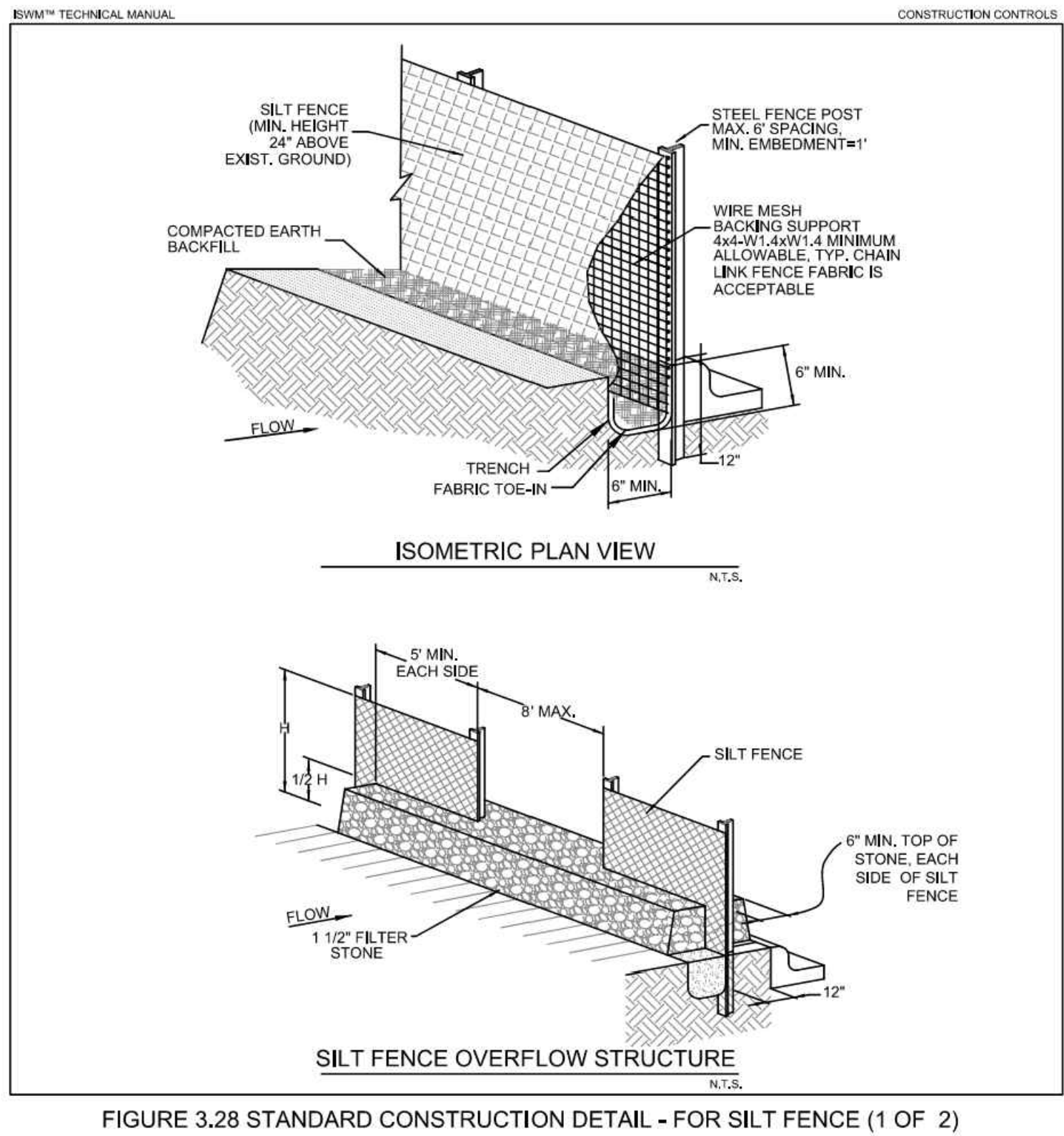


BGE, INC.  
G:\TNA\Projects\westwood\_residential\10619-00-crossroads\_multifamily\_inet\LD\01\_CADD\01\_Shts\crossroads m\VC-8.1 EROSION CONTROL PLAN.dwg Mar 01, 2023-12:54pm bherro

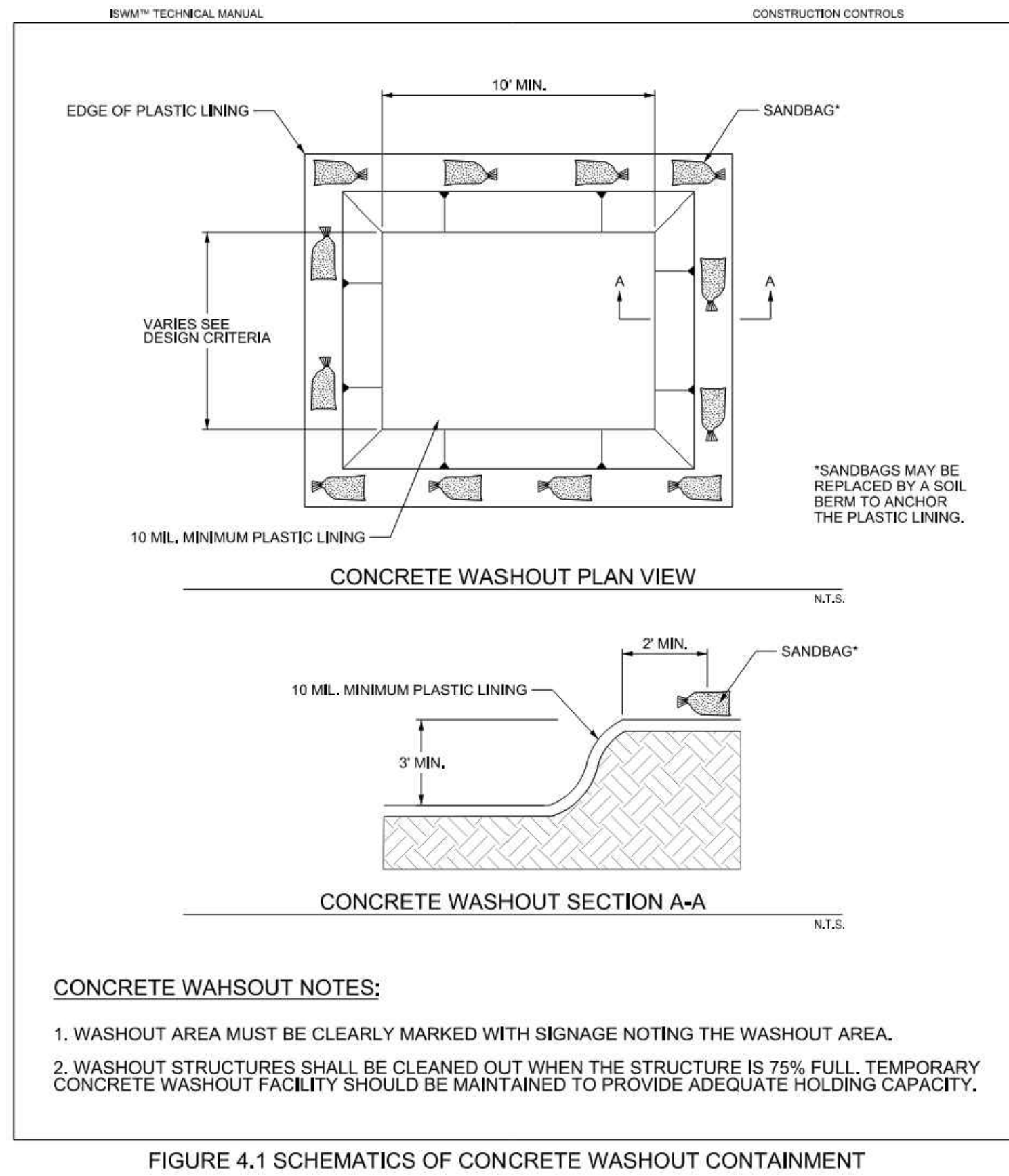
REVISED IN 2018



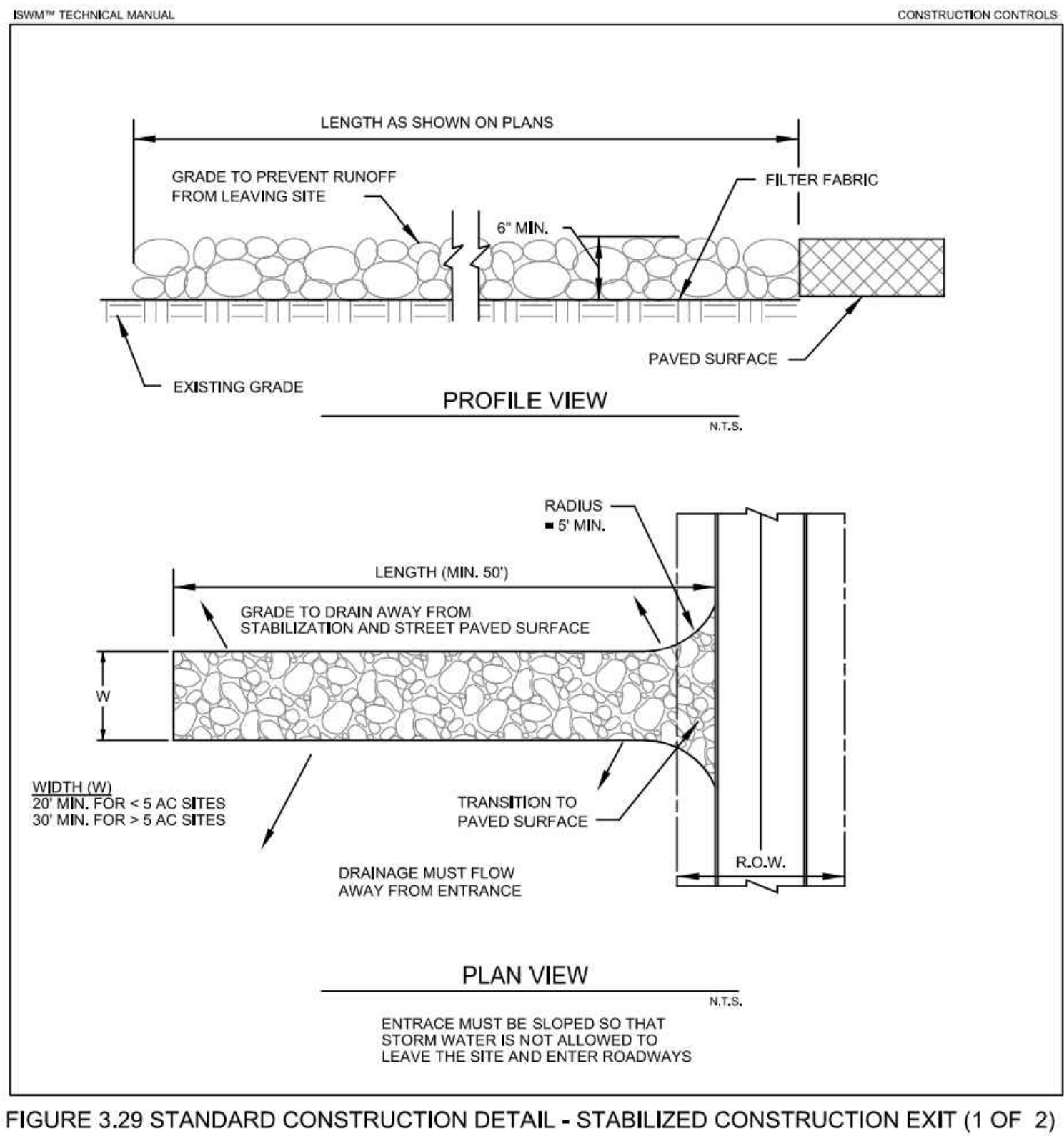
REVISED IN 2018



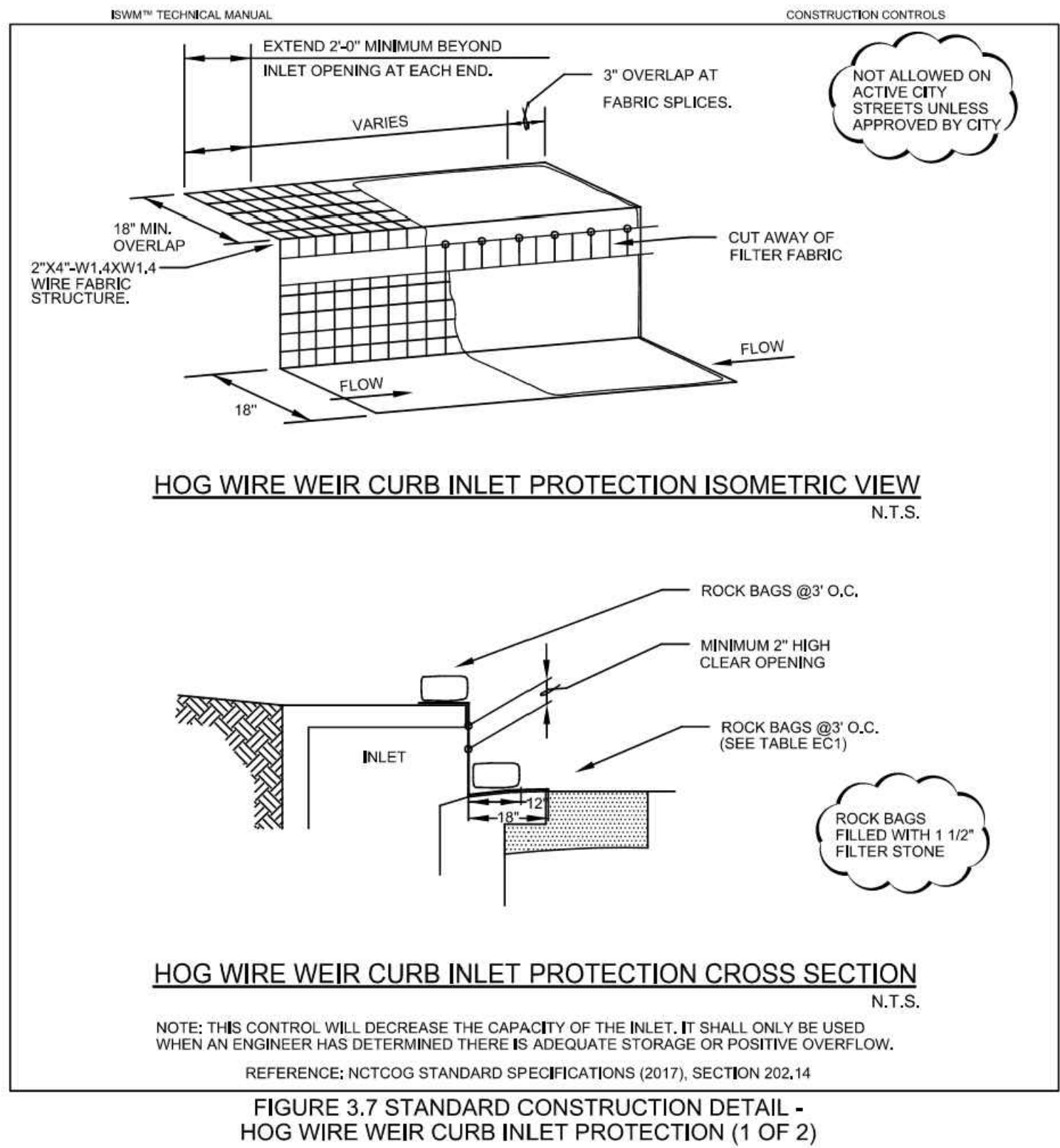
REVISED IN 2019



REVISED IN 2018



REVISED IN 2018



**BGE, Inc.**  
777 Main St., Suite 1900  
Fort Worth, TX 76102  
Tel: 972-887-6130 • www.bgeinc.com  
TBPE Registration No. F-1046  
**Contact: David Greer**  
**Tel: 817-872-6005**  
Copyright 2021

**DEVELOPER**  
**WESTWOOD RESIDENTIAL**  
3198 Parkwood Blvd, Suite 11076  
Frisco, Texas 75034  
  
Contact: Jeff Lindsey  
Tel: 972-292-7656  
jeff.lindsey@westwoodresidential.com

**EROSION CONTROL DETAILS**  
**CROSS ROADS MULTIFAMILY**  
LOT 6R, BLOCK A  
GREENWAY CROSS ROADS ADDITION  
  
13.876 ACRES  
TOWN OF CROSS ROADS ETJ  
DENTON COUNTY, TEXAS

THESE PLANS ARE ISSUED FOR THE PURPOSE OF PRELIMINARY REVIEW AND ARE NOT INTENDED FOR CONSTRUCTION. WHEN ISSUED IN FINAL FORM THEY WILL BE SEALED, SIGNED AND DATED.

RESPONSIBLE ENGINEER:  
BGE, INC.  
TEXAS REGISTERED ENGINEERING FIRM F-1046  
DAVID A. GREER, P.E.  
TEXAS REGISTRATION NO. 109928  
MARCH 01, 2023

**!! CAUTION !!**  
CONTRACTOR TO VERIFY EXACT LOCATION & DEPTH OF EXIST FACILITIES PRIOR TO ANY CONSTRUCTION ACTIVITIES

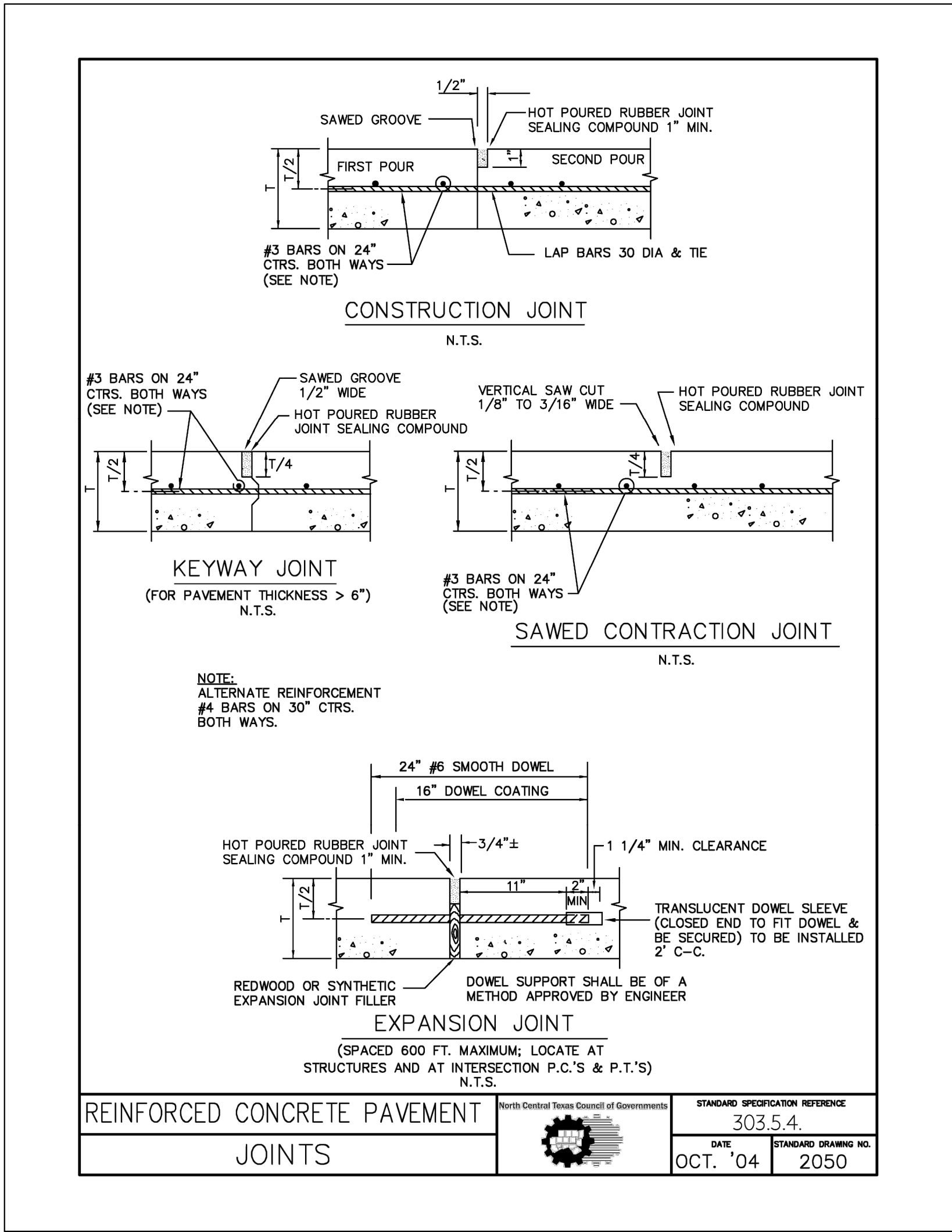
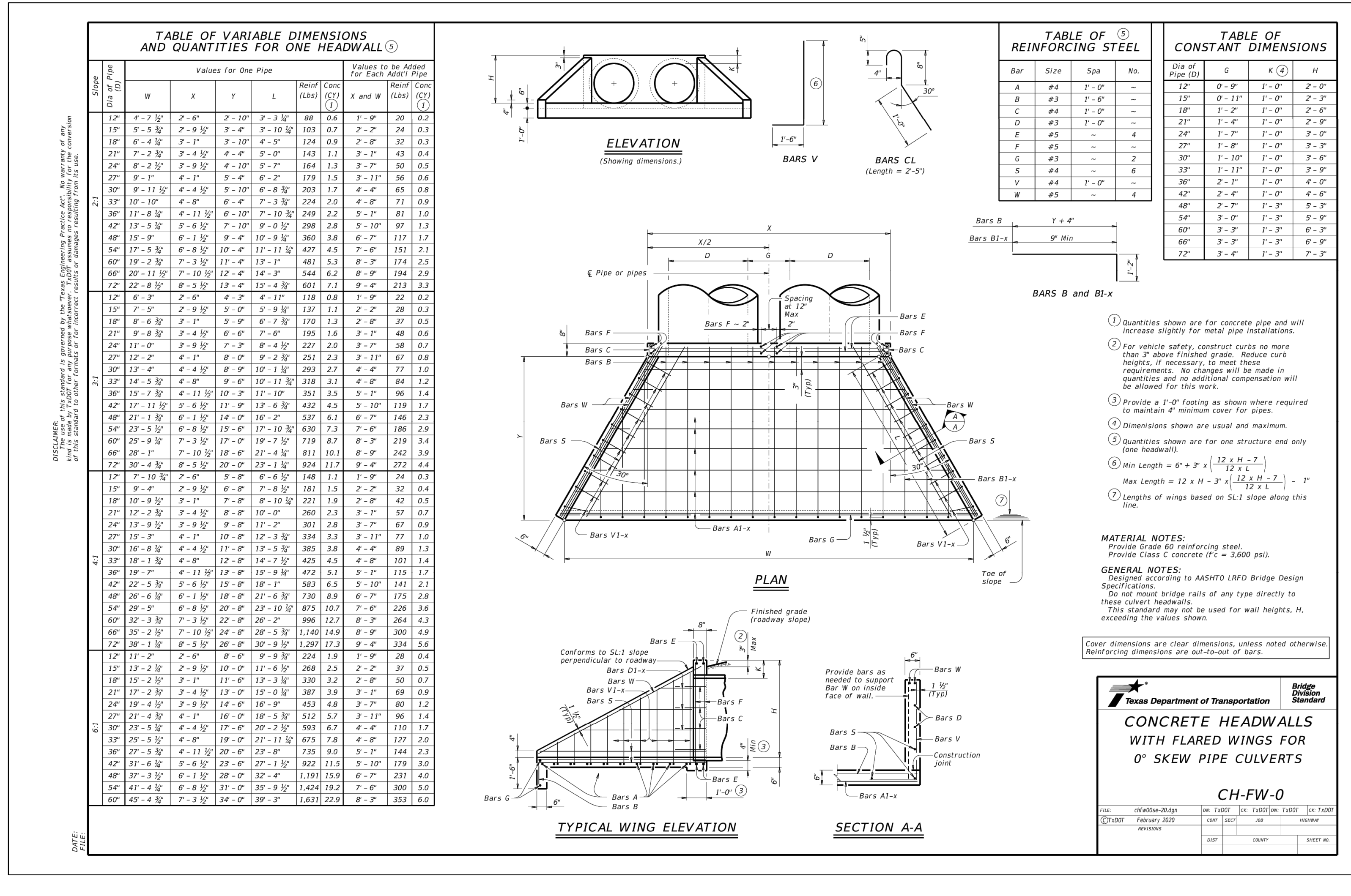
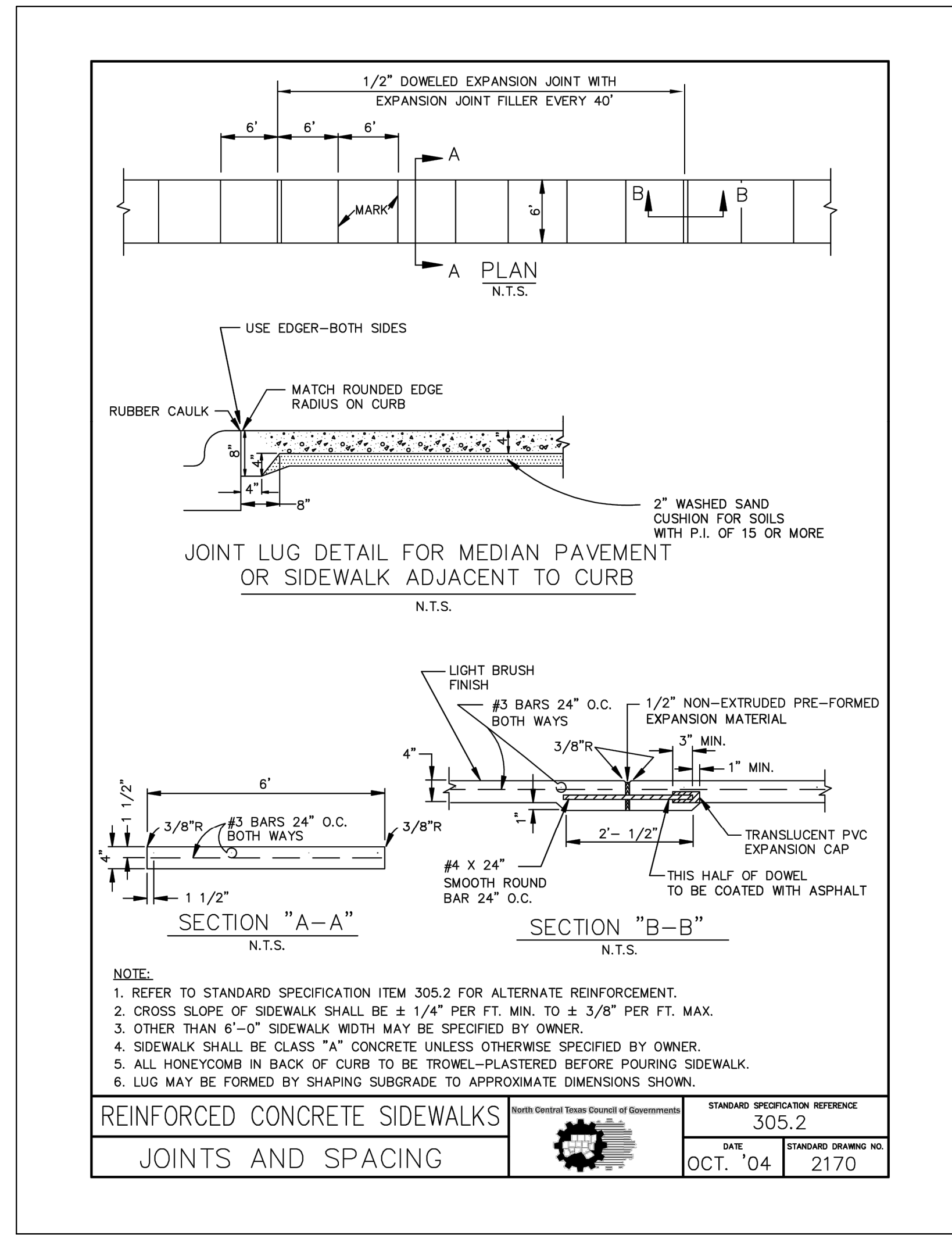
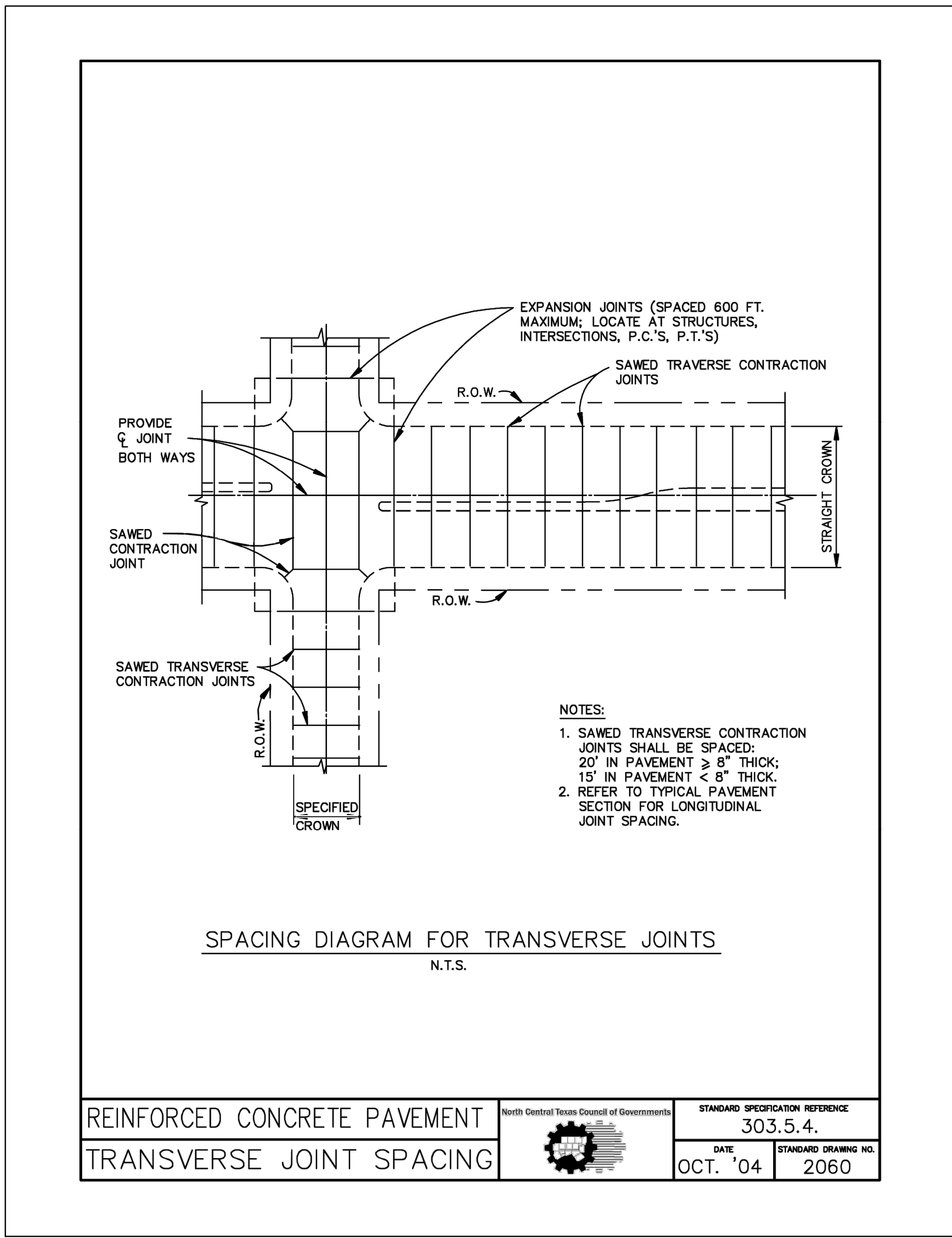
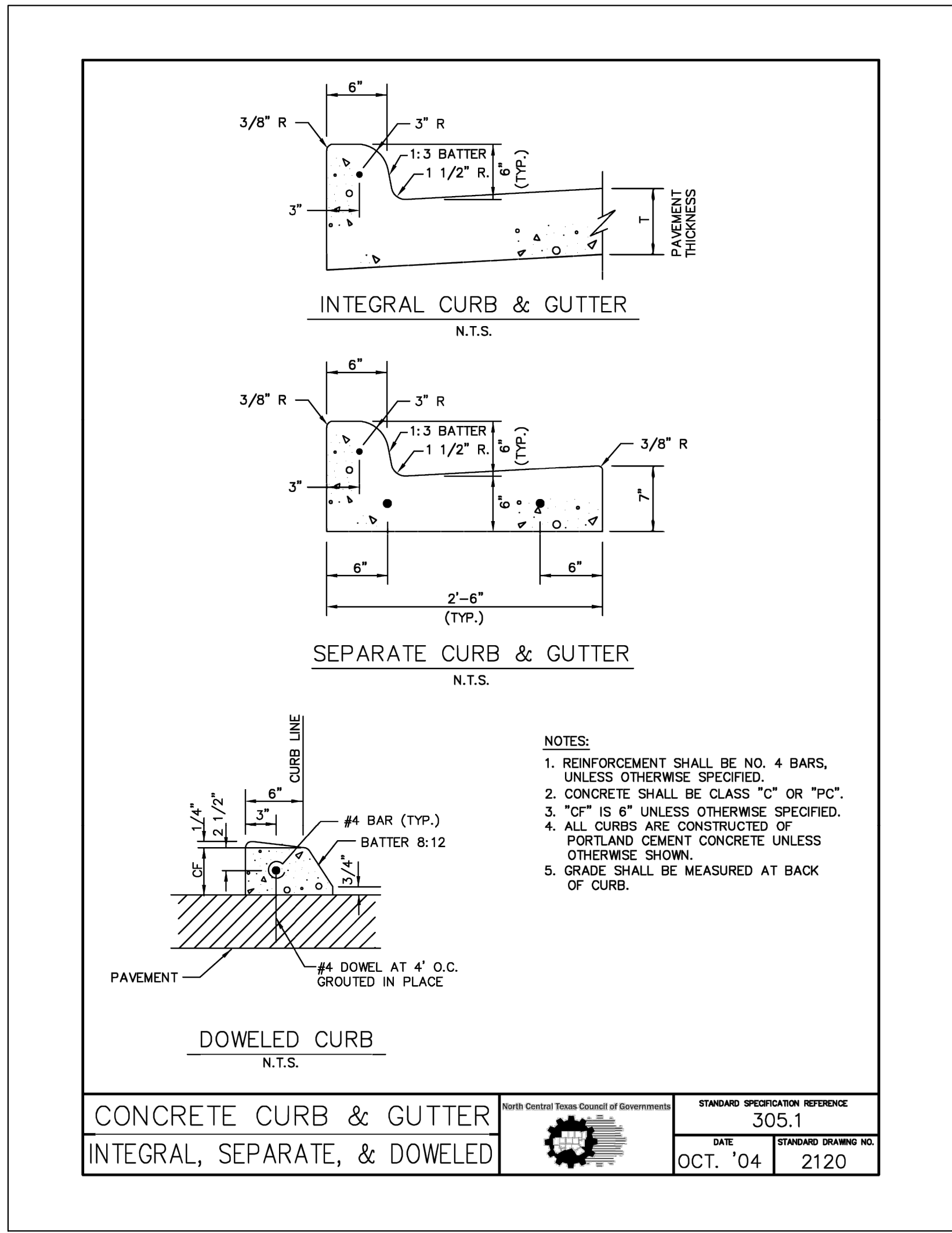
**!! CAUTION !!**  
CONTACT: 1-800-DIG-TESS  
48 HOURS PRIOR TO CONSTRUCTION

| REVISIONS |      |             |
|-----------|------|-------------|
| REV NO.   | DATE | DESCRIPTION |
|           |      |             |
|           |      |             |
|           |      |             |
|           |      |             |
|           |      |             |

DRAWN BY: BH  
  
CHECKED BY: DAG  
  
DATE: 01/12/23  
  
PROJECT NUMBER: 10619-00

SHEET NO.  
  
**C-8.2**





**BGE, Inc.**  
777 Main St., Suite 1900  
Fort Worth, TX 76102  
Tel: 972-887-6130 • www.bgeinc.com  
TBPE Registration No. F-1046  
Contact: David Greer  
Tel: 817-872-6005  
Copyright 2021

**DEVELOPER**  
**WESTWOOD RESIDENTIAL**  
3198 Parkwood Blvd, Suite 11076  
Frisco, Texas 75034  
Contact: Jeff Lindsey  
Tel: 972-292-7656  
jeff.lindsey@westwoodresidential.com

**STANDARD DETAILS**  
**CROSS ROADS MULTIFAMILY**  
LOT 6R, BLOCK A  
GREENWAY CROSS ROADS ADDITION  
13.876 ACRES  
TOWN OF CROSS ROADS/ETJ  
DENTON COUNTY, TEXAS

THESE PLANS ARE ISSUED FOR THE PURPOSE OF PRELIMINARY REVIEW AND ARE NOT INTENDED FOR CONSTRUCTION. WHEN ISSUED IN FINAL FORM THEY WILL BE SEALED, SIGNED AND DATED.

RESPONSIBLE ENGINEER:  
BGE, INC.  
TEXAS REGISTERED ENGINEERING FIRM F-1046  
DAVID A. GREER, P.E.  
TEXAS REGISTRATION NO. 109928  
MARCH 06, 2023

**CAUTION !!**  
CONTRACTOR TO VERIFY EXACT LOCATION & DEPTH OF EXIST FACILITIES PRIOR TO ANY CONSTRUCTION ACTIVITIES

**CAUTION !!**  
CONTACT: 1-800-DIG-TESS  
48 HOURS PRIOR TO CONSTRUCTION

| REVISIONS |      |             |
|-----------|------|-------------|
| REV NO.   | DATE | DESCRIPTION |
|           |      |             |
|           |      |             |
|           |      |             |
|           |      |             |
|           |      |             |
|           |      |             |

DRAWN BY: BH  
CHECKED BY: DAG  
DATE: 01/12/23  
PROJECT NUMBER: 10619-00

SHEET NO.

**C-9.1**







MSUD GENERAL NOTES

- All construction shall be in accordance with the standard specifications of Mustang Special Utility District, which has also adopted the latest edition of the "Standard Specifications For Public Works Construction - North Central Texas" herein referred to as "NCTCOG" specifications. Copies may be obtained from the North Central Texas Council of Governments, 616 Six Flags Drive, Suite 200, Arlington, Texas 76011.
- Where specified name brands are indicated, products of equal or better may be considered for approval upon submittal of all supporting data to the MSUD Engineer for review.
- The contractor shall provide for temporary 3" Cold Mix Asphaltic Concrete as per NCTCOG Item 302.3 to be placed over all vehicular traveled areas until the final repairs/improvements are made.
- All newly installed pipes and fittings must conform to American National Standards Institute/National Sanitation Foundation (ANSI/NSF) Standard 61 and must be certified by an organization accredited by ANSI.
- The existence and locations of all underground utilities shown on the drawings were obtained from available records and are approximate. Neither the owner nor the engineer assumes any responsibility for utilities not shown or not in the location shown. The contractor shall determine the depth and location of existing underground utilities prior to trenching and shall be required to take any precautionary measures to protect all lines shown and/or any other underground utilities not of record or not shown on the plans.
- Any contractor/subcontractor performing work on this project shall familiarize himself with the site and shall be solely responsible for any damage to existing facilities resulting directly or indirectly from operations. Said existing improvements shall include but not be limited to berms, ditches, fences, plants, irrigation. Any removal or damage to existing improvements shall be replaced or repaired by the contractor at his expense and shall be approved by the engineer.
- Contractor shall shore all trenches and conduct all construction and operations in accordance with Occupation Safety and Health Administration (OSHA) requirements.
- All construction and materials shall comply with Mustang SUD specifications. Any construction and/or materials not covered in Mustang SUD specifications shall be in accordance with NCTCOG specifications or the AWWA.
- It shall be the contractor's responsibility to provide adequate record drawings to the engineer/Mustang SUD immediately after construction.
- It shall be contractor's responsibilities to verify location, elevation and dimensions of adjacent and/or conflicting utilities in advance of construction in order that adjustments can be made to provide adequate clearance, if required. The contractor shall preserve and protect public utilities at all times during construction. Any damage to utilities resulting from the contractor's operation shall be restored at his expense. The engineer shall be notified when proposed facility's grades conflict with existing utility's grades.
- All materials for water and wastewater shall be domestic. Any exceptions made will be at Mustang's or the Engineer's discretion.

MSUD WATER NOTES:

GENERAL:

- All water lines and appurtenances shall be constructed in accordance with TCEQ requirements Chapter 290.
- All water lines shall be designed, manufactured, and installed in accordance with current Mustang SUD water standards details.
- All pipes and appurtenances shall conform to American National Standards Institute/National Sanitation Foundation (ANSI/NSF) Standard 61 and must be certified by ANSI.
- All pipes and appurtenances shall be installed in accordance with manufacturer's instruction.
- Contractor to provide a curve in waterline to avoid storm drain inlets at all locations.
- Franchise Utility Note: Other utilities such as gas, electric, telephone, cable, etc. shall not be installed in the same trench as water service lines. Other utilities such as gas, electric, telephone, cable, etc. may share the wastewater service line trench provided such utilities are offset a minimum of 5' from the wastewater service line.

PIPE:

- All PVC water pipe shall be BLUE in color for potable and PURPLE in color for non-potable.
- All PVC pipe shall be installed with metallic detector tape.
- Water mains up to and including 12" diameter shall be AWWA C900-16 DR18 (Pressure Class 235). Mustang SUD reserves the right to require AWWA C900-16 DR14 (Pressure Class 305) for higher pressure applications as determined by Mustang SUD's Engineer. Water mains greater than 12" diameter may be AWWA C900-16 DR18 (Pressure Class 235) OR one of the following:
  - Reinforced Concrete Cylinder Pipe (RCCP) C303 pressure class 150 or greater as specified by the Engineer.
  - Ductile iron pipe with Polywrap and cement mortar lining (AWWA C104), thickness class 51 or greater.
- Embedment: For Pipe sizes 12" and smaller, the Embedment shall be as per the MSUD "Pipe Embedment Detail".
- Cover
  - The following minimum covers over the waterline is required:
    - 48" of cover over waterlines up to and including 12" diameter.
    - 60" to 72" of cover over waterlines larger than 12" in diameter.
  - Water mains buried with over 72" of cover shall be approved by the MSUD Engineer.
  - The minimum cover over all Water mains is 4 feet, unless approved otherwise by the MSUD Engineer. Approved mains with less than 3.5 feet of cover shall be capped as per the MSUD "Cap Detail".
- Storage: PVC water pipe is allowed to be stored a maximum of six (6) months without cover. Thereafter all pipe should be covered or kept away from sunlight and to be protected from other elements.
- The Contractor is responsible to install the pipe in a way that the writing on the pipe is installed on the side up and is readable from the top of the ditch.
- All ductile iron pipe, fittings and restraints shall be manufactured domestically.
- All ductile iron pipe, fittings, valves, etc. shall be encased with polyethylene wrap 8 mils thick.
- The pipe shall have beveled or chamfered ends according to manufacturer recommendations when using in MJ fittings.
- When PVC water pipe is installed in casing, casing spacers must be used to prevent damage to the pipe and bell during installation. PVC pipe shall not rest on the Bells. Plastic spacers such as RACI or approved equal shall be used.
- Pipe shall be handled so as to protect pipe and pipe joints and carefully bedded to provide continuous bearing and prevent uneven settlement. Pipe shall be protected against flotation at all times. Open ends of installed pipe shall be sealed at all times when construction is not in progress.

FITTINGS:

- The Contractor shall use cast iron or ductile iron fittings, complete with Polywrap.
- All fittings shall be MJ unless specified otherwise.
- All fittings shall be blocked per the MSUD Water Standard Details.
- Tapping sleeves shall be ductile iron and manufactured by Mueller, Tyler Union or approved equal.
- Please also refer to NCTCOG Item 502.5.2 specifications.
- The use of 90° bends in water mains is prohibited without approval of MSUD Engineer. Two 45° bends are allowed.
- Install 12"x12"x3" concrete block under fittings installed on PVC pipe.
- Restrained joints such as Mega-Lug or equal are required at all fittings.
- All ductile iron fittings and restraints shall manufactured domestically.

VALVES:

- Valves installed on waterlines 12" in diameter or less shall be vertical gate valves.
- Valves installed on waterlines larger than 12" in diameter shall be butterfly valves. An offset vault shall be installed at the butterfly valve operator.
- All gate valves shall have non-rising stems and resilient sealed wedge.
- All potable-water pipe air release valve stabilization poles shall be painted blue in color.
- All valves and fire hydrants shall be in line with the property line, where possible.
- All valve locations shall be marked with "V" stamped or cut on the curb.
- Install 12"x12"x3" concrete block under valves installed on PVC pipe.
- Contractor to provide extensions for all valve stacks and fire hydrant leads/risers for all water lines deeper than 48" depth.

TESTING:

- Hydrostatic test as per NCTCOG Item 506.5 specifications shall be performed
- Water system shall be disinfected in accordance with American Water Works Association (AWWA) C651 (current edition) and then flushed and sampled before being placed in service. Samples shall be collected in accordance with Mustang SUD testing requirements.
- All temporary test points to have corporation stops at the main. All temporary testing & chlorination points shall be removed at the corporation stop prior to final acceptance.
- The Contractor shall take a sample of water from a tap on a sterilized main in the presence of a MSUD Representative and submit the sample(s) to an approved Testing Laboratory for analysis. After receiving approved sample, the Contractor, along with MSUD Representative, shall place sterilized lines into service.
- All fire hydrants shall be flow and pressure tested and marked (tag and color coded paint) in accordance with NFPA 291 "Recommended Practice for Fire Flow Testing and Marking of Hydrants", latest edition. Copies of each test report for each fire hydrant, including a map showing the location of the fire hydrant being flow tested and the location of the pressure hydrant, shall be provided to Mustang SUD prior to acceptance of the system and the beginning of service. See WATER STANDARD DETAILS (1 OF 2) for Fire Hydrant Flow Test Report form.

MSUD WASTEWATER NOTES:

GENERAL:

- All wastewater lines and appurtenances shall be constructed in accordance with TCEQ requirements Chapter 217.
- All wastewater lines shall be designed, manufactured, and installed per Mustang SUD wastewater standard details.
- All pipes and appurtenances shall be installed in accordance with manufacturer's instruction.
- Wastewater system shall be tested in accordance with TCEQ for allowable leakage and pipe deflection before being placed in service. Test results shall be provided to Mustang SUD.
- All wastewater manholes, drop manholes, wet wells, and force-main-to-gravity transition manholes shall be lined with Quadex ultra-high build epoxy or approved equal.
- All force main ductile iron pipe and fittings shall be lined with Protecto 401 (P401) ceramic epoxy or approved equal.
- Franchise Utility Note: Other utilities such as gas, electric, telephone, cable, etc. may share the wastewater service line trench provided such utilities are offset a minimum of 5' from the wastewater service line.
- All curvature shall be accomplished by the manual bending of the pipe lengths in the trench. Mechanical means will not be allowed to accomplish design radii. No deflection of joints will be allowed.
- All ductile iron pipe, fittings, valves, etc. shall be encased with polyethylene wrap 8 mils thick.
- All ductile iron pipe, fittings and restraints shall be manufactured domestically.
- All gravity main fittings shall be rubber gasket push on type.

PIPE:

- All PVC pipe shall be installed with metallic detector tape.
- All PVC gravity or pressure wastewater pipe shall be green in color.
- Wastewater mains shall be Polyvinyl Chloride PVC SDR-35 for depths of burial up to 11.5'. Wastewater mains placed deeper than 11.5' shall be PVC SDR-26 unless specified and approved otherwise by the MSUD Engineer.
- For creek crossings, the pipe shall be Ductile Iron Class 52.
- Nominal diameter for sanitary sewer pipeline shall be 8" minimum. Residential and commercial service lines are excluded from this requirement.
- Embedment shall be as per the "Wastewater Pipe Embedment Detail" on this sheet.
- The minimum cover over all Wastewater mains is 4 feet, unless approved otherwise by the MSUD Engineer. Approved mains with less than 3.5 feet of cover shall be capped as per the "Cap Detail" on this sheet.
- Clay cut-off walls shall be constructed as per the details and specifications on this sheet.
- PVC wastewater pipe is allowed to be stored a maximum of six (6) months without cover. Thereafter all pipe should be covered or kept away from sunlight and protected from other elements.
- When PVC wastewater pipe is installed in casing, casing spacers shall be used to prevent damage to the pipe and bell during installation. PVC pipe shall not rest on the bells. Plastic spacers such as RACI or approved equal shall be used.
- Pipe shall be handled so as to protect pipe and pipe joints and carefully bedded to provide continuous bearing and prevent uneven settlement. Pipe shall be protected against flotation at all times. Open ends of installed pipe shall be sealed at all times when construction is not in progress.

WASTEWATER SERVICE NOTES:

- All properly corners shall be staked with iron pins prior to the installation of any wastewater services. The locations of the wastewater service shall be staked according to the plans.
- Wastewater services to be marked with "I" stamped or cut in the curb and painted green.
- Contractor shall install locator pads or balls on the end of sewer services.

TESTING:

- The following tests shall be performed and a written report provided to Mustang SUD:
- Televising as per NTCOG Item 507.5.2 specifications. Camera shall pan around to show service connections.
  - Low pressure air testing as per TCEQ 31 TAC 217.57.
  - Mandrel deflection test as per TCEQ 31 TAC 217.57
  - Infiltration/Exfiltration test as per TCEQ 31 TAC 217.57.
  - Manholes shall be tested per TCEQ 31 TAC 217.58.
  - Provide final air test and clean prior to project acceptance or final walk-through.

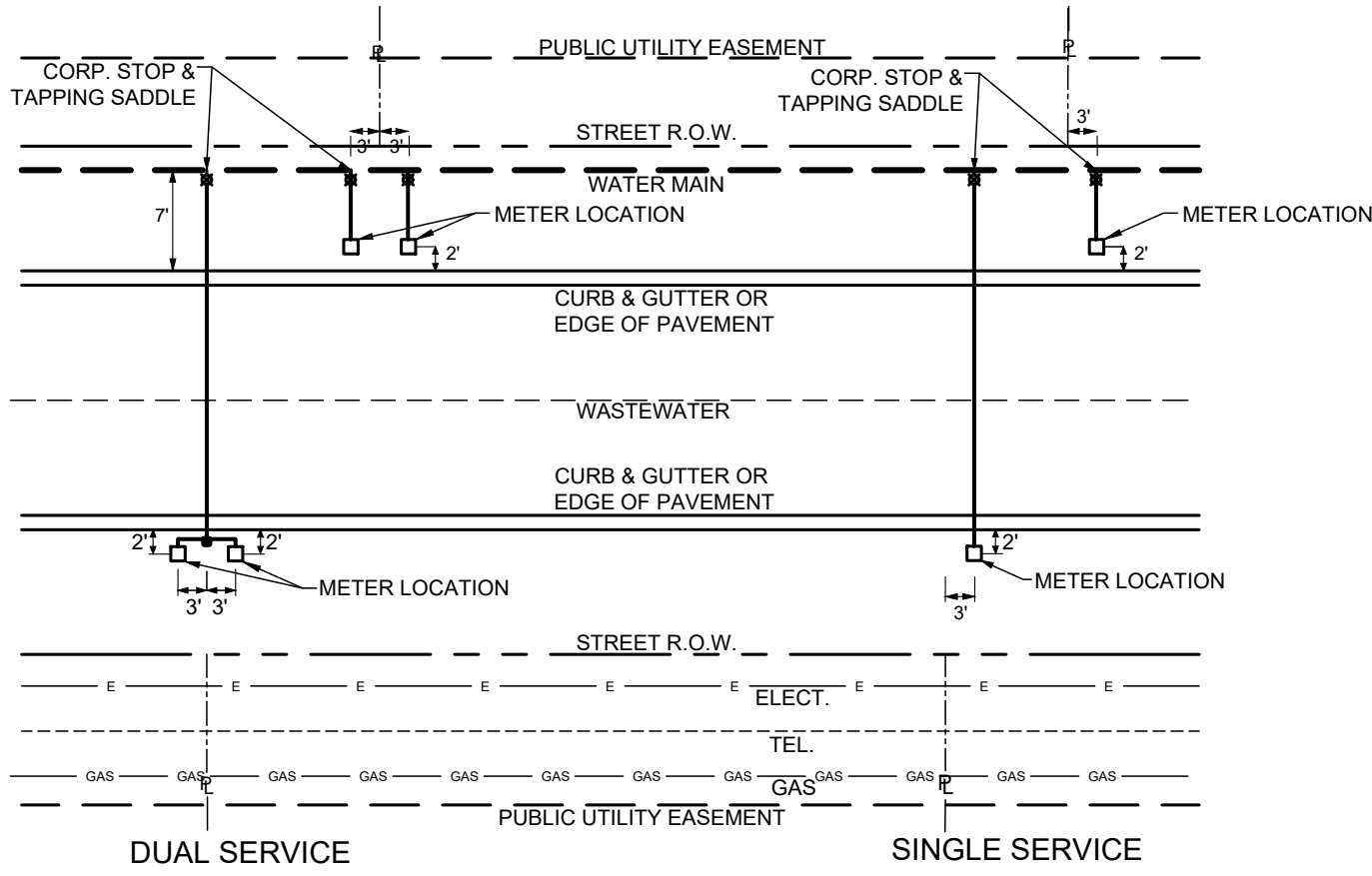
SYSTEM DESIGN VALUES:

WATER:

Average Day Demand = 288 GPD/Connection  
Maximum Day Demand = 0.6 gpm  
Peak Hour Demand = 1.032 gpm  
Single-family Residential = 3.2 people per unit  
Multi-family Residential = 2.25 people per unit

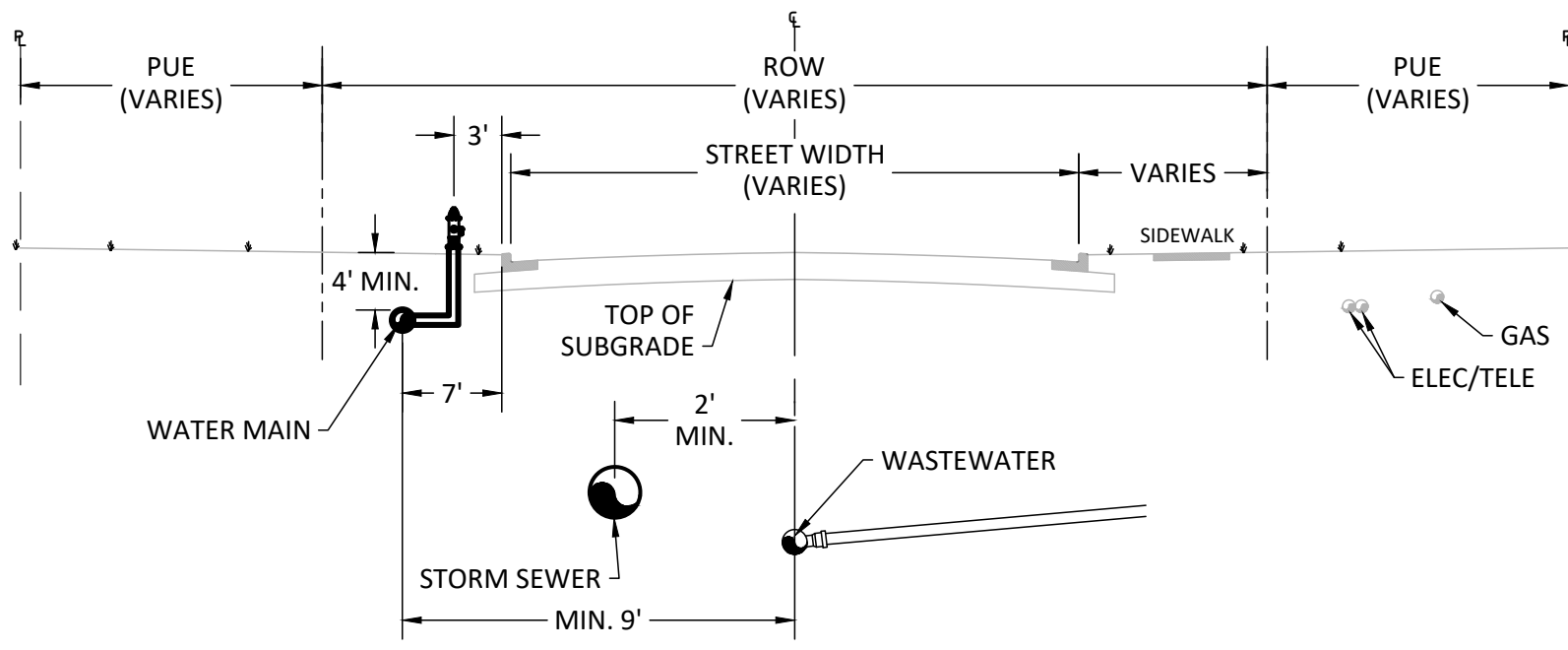
WASTEWATER:

SF Average Day Generation = 250 gpd/connection  
MF Average Day Generation = 175 gpd/connection  
SF Maximum Day Generation = 1000 gpd/connection  
MF Maximum Day Generation = 700 gpd/connection  
Single-family Residential = 3.2 people per unit  
Multi-family Residential = 2.25 people per unit



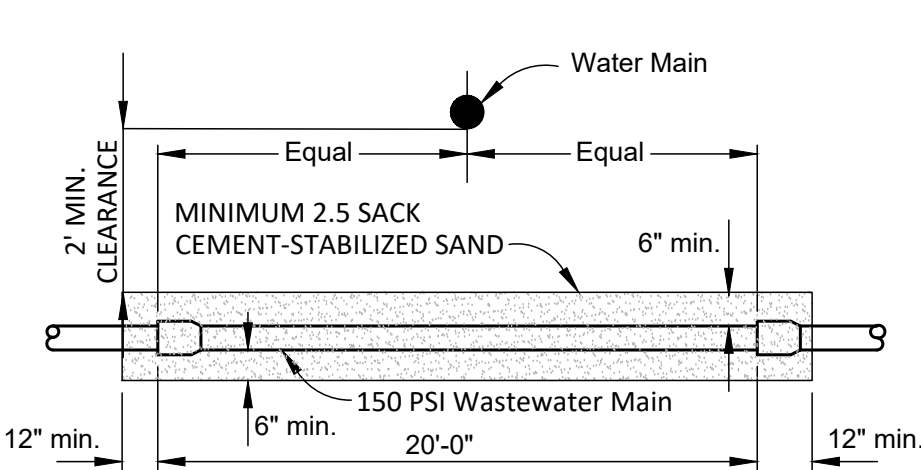
TYPICAL WATER LINE/SERVICE LOCATION LAYOUT DETAIL

N.T.S.



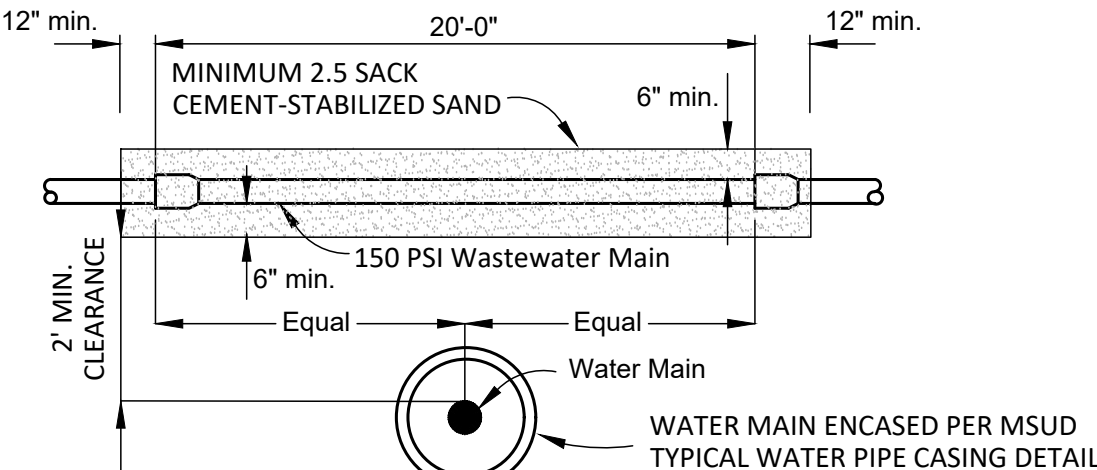
TYPICAL UTILITY PROFILE  
CURB & GUTTER ROAD SECTION

N.T.S.



WATER OVER WASTEWATER CROSSING

N.T.S.



WATER UNDER WASTEWATER CROSSING

N.T.S.

NOTES:

- WHERE A WATER MAIN CROSSES A WASTEWATER MAIN OR LATERAL AND NINE-FOOT SEPARATION CANNOT BE ACHIEVED, A FULL JOINT (20') OF PRESSURE-RATED PVC PIPE (150 PSI MIN.) SHALL BE USED ON THE WASTEWATER MAIN OR LATERAL, CENTERED ABOUT THE WATER MAIN.
- ADDITIONALLY, WHERE A WASTEWATER MAIN CROSSES OVER A WATER MAIN, AND NINE-FOOT SEPARATION CANNOT BE ACHIEVED, THE WATER MAIN SHALL BE ENCASED IN AN 18-FOOT (OR LONGER) SECTION OF PIPE CENTERED ABOUT THE WASTEWATER MAIN.

| NO. | REVISION | BY | DATE |
|-----|----------|----|------|
|     |          |    |      |
|     |          |    |      |
|     |          |    |      |
|     |          |    |      |



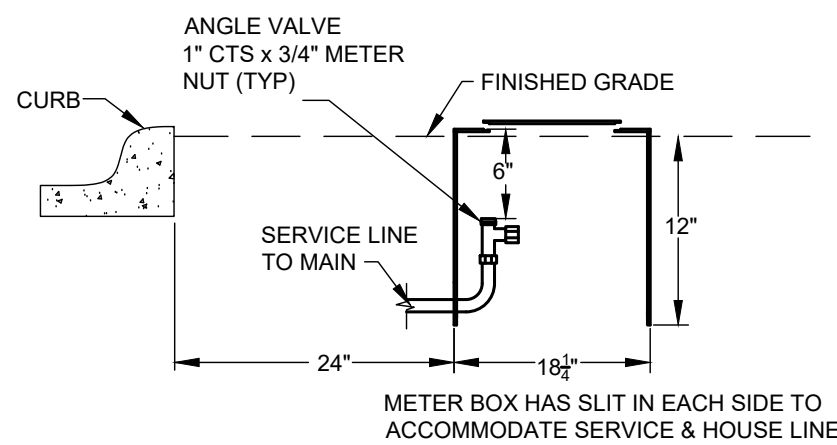
MUSTANG SPECIAL  
UTILITY DISTRICT

APPROVED BY MSUD  
GENERAL MANAGER: C. BOYD      DATE: 2020-09-14

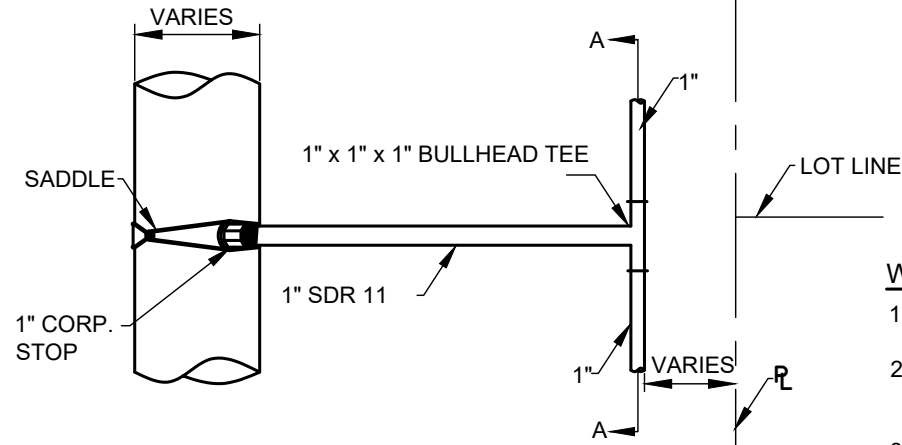
GENERAL NOTES

CERTIFICATION:  
THIS MUSTANG SPECIAL UTILITY DISTRICT STANDARD DETAIL SHEET IS AUTHORIZED FOR USE IN THIS PROJECT BY THE ENGINEER WHOSE SEAL APPEARS ON THIS SHEET. THIS ENGINEER IS ALSO CERTIFYING THAT THE CONTENT OF THE DETAILS AND NOTES ON THIS SHEET HAVE NOT BEEN ALTERED FROM THAT RECEIVED FROM MUSTANG SPECIAL UTILITY DISTRICT.

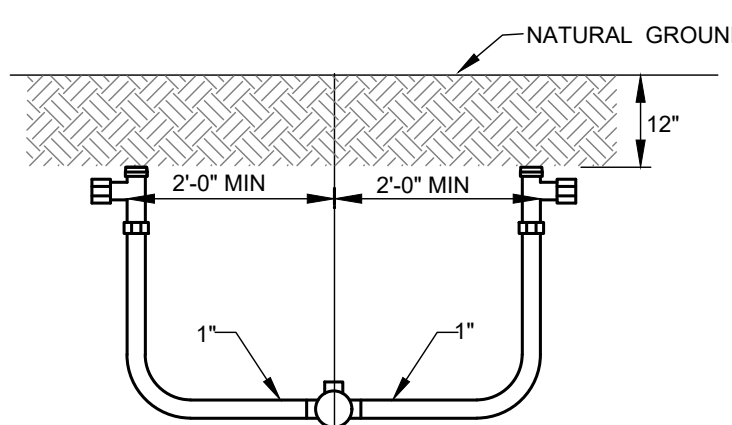




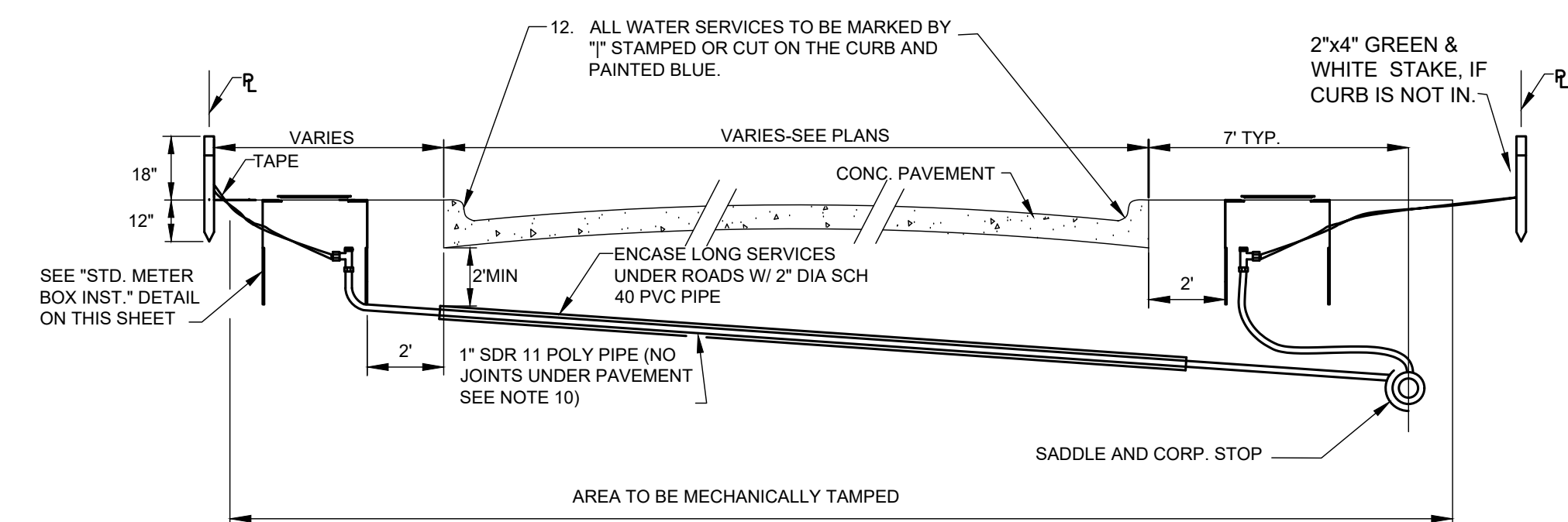
**STD. METER BOX INST.**  
N.T.S.



**DETAIL OF 1" SERVICE WITH BULLHEAD TEE**



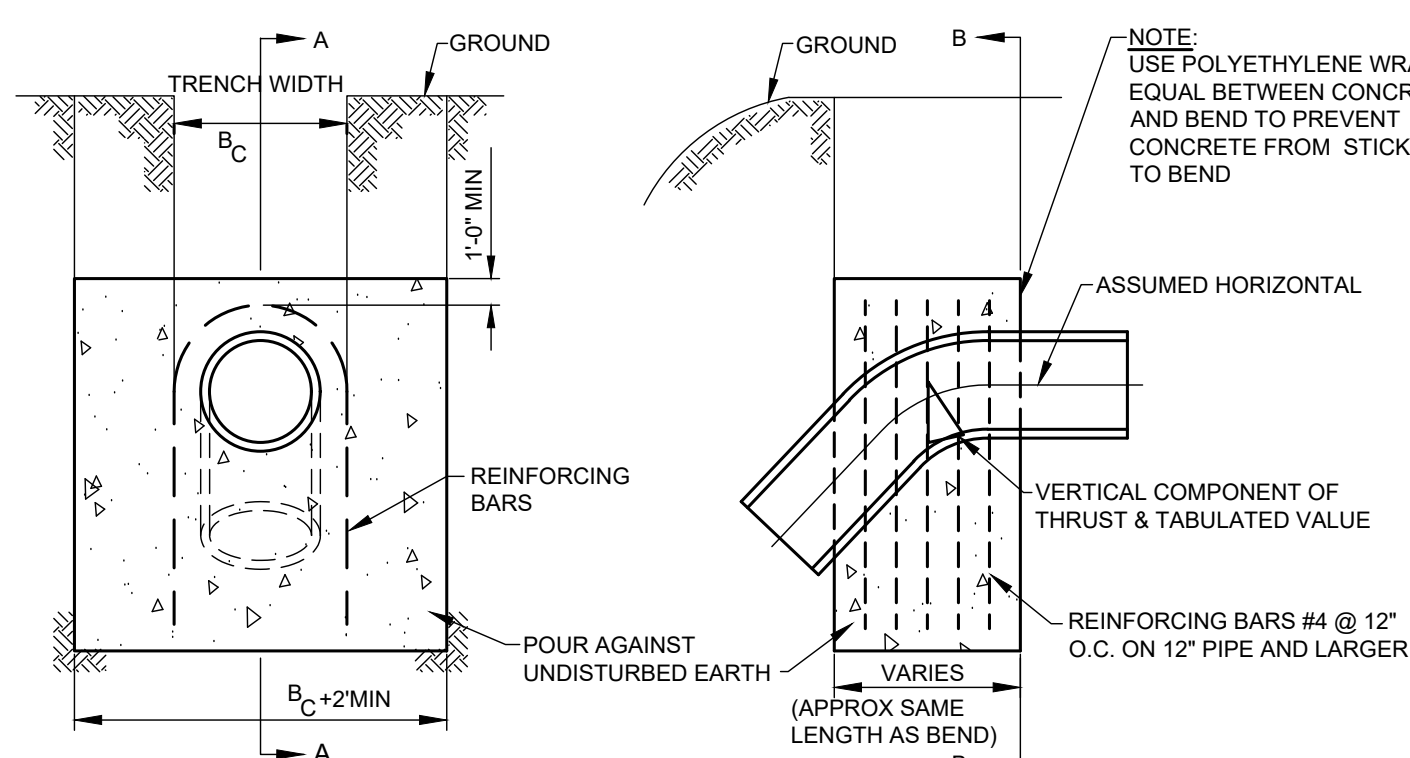
**SECTION 'A - A' (ROTATED 90°)**



**URBAN WATER SERVICE DETAIL**  
N.T.S.

**WATER SERVICE NOTES:**

1. ALL PROPERTY CORNERS SHALL BE STAKED WITH IRON RODS PRIOR TO THE INSTALLATION OF WATER SERVICES. THE LOCATIONS OF SERVICES SHALL BE STAKED ACCORDING TO THE PLANS.
2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FURNISH AND INSTALL THE CORPORATION STOP, WATER SERVICE PIPE, ANGLE VALVE, CONNECTOR PIPE, AND METER BOX AS PER THE DETAILS ON THIS SHEET.
3. DIRECT TAPS ARE NOT ALLOWED. STAINLESS STEEL EPOXY COATED TAP SADDLES WITH IP THREADS SHALL BE USED FOR 1" TO 2" TAPS.
5. ALL TAPS LARGER THAN 2" SHALL BE MADE USING TAPPING TEES.
6. CUTTER FOR TAPS TO BE OF THE DOUBLE SLOTTED TYPE.
7. 1" TO 2" TAPS SHALL BE A MINIMUM OF 1' APART WITH TAPS NO CLOSER THAN 1' FROM THE END OF THE PIPE.
8. HOUSE SERVICES ON COMMON LOT LINES SHALL BE 1" WITH BULLHEAD.
9. CONTRACTOR MAY USE EITHER FLARED OR COMPRESSION FITTINGS WITH RESTRAINED UNIONS.
10. NO SPLICES OF WATER SERVICES SHALL BE PERMITTED UNDER PAVEMENT UNLESS APPROVED BY THE MSUD ENGINEER.
11. METER BOX SHALL BE SET 2 FT BEHIND CURB, OUTSIDE OF DRIVEWAYS AND PAVED AREAS.
12. ALL METERS 2" AND SMALLER SHALL HAVE A BFP INSTALLED WITH THE METER ASSEMBLY. ALL WATER METER ASSEMBLIES ARE SUPPLIED BY MSUD.
13. SERVICE TO BE STAKED BEFORE PAVING. METER BOX TO BE STAKED AFTER PAVING.
14. ALL RESIDENTIAL METERS SHALL BE BADGER E SERIES.
15. ALL SERVICE BRASS COMPONENTS SHALL BE FORD WATER PRODUCTS (OR APPROVED EQUAL) AND 150-PSI PRESSURE RATED.



**ELEVATION B-B**

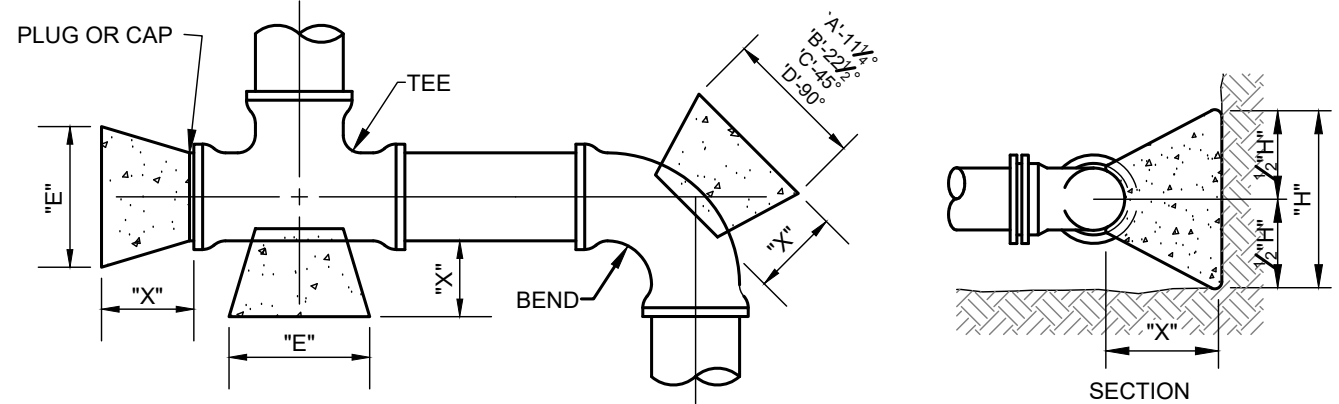
**ELEVATION A-A**

**VERTICAL THRUST BLOCK NOTES:**

1. CALCULATIONS ARE BASED ON INTERNAL PRESSURE OF 200 P.S.I. FOR 24" I.D. PIPE AND SMALLER AND 150 P.S.I. ON 30" I.D. AND LARGER.
2. CALCULATIONS ARE BASED ON WEIGHT OF CONCRETE OF 140 LBS PER CUBIC FOOT. SAFETY FACTOR OF 1.5 AND AN ALLOWABLE SOIL BEARING VALUE OF 2,500 POUNDS PER SQUARE FOOT.
3. VOLUMES OF VERTICAL BEND THRUST BLOCKS ARE NET VOLUMES OF CONCRETE TO BE FURNISHED. THE CORRESPONDING WEIGHT OF THE CONCRETE IS EQUAL TO OR GREATER THAN THE VERTICAL COMPONENT OF THRUST ON THE VERTICAL BEND.
4. CONCRETE FOR BLOCKING SHALL BE 2500 P.S.I. CONCRETE AT 28 DAYS.
5. DIMENSIONS MAY BE VARIED AS REQUIRED BY FIELD CONDITIONS WHERE AND AS DIRECTED BY THE ENGINEER. THE VOLUME OF CONCRETE BLOCKING SHALL NOT BE LESS THAN SHOWN HERE.
6. ALL CONCRETE THRUST BLOCKS SHALL BEAR AGAINST UNDISTURBED TRENCH WALLS.
7. KEEP CONCRETE CLEAR OF ALL JOINTS & ACCESSORIES. INSTALL 12 MIL POLYETHYLENE SHEETING AROUND FITTINGS. SECURE ENDS TO PREVENT INFILTRATION OF SOIL BETWEEN SHEETING AND PIPE FITTING PRIOR TO POURING THRUST BLOCK. PROTECT MECHANICAL JOINTS, FOLLOWERS, AND BOLTS FROM CONCRETE WITH TEMPORARY FORMS AND POLYETHYLENE.
8. ALL CONCRETE THRUST BLOCKS SHALL BEAR AGAINST UNDISTURBED TRENCH WALLS.

**DIMENSIONS OF CONCRETE FOR VERTICAL THRUST BLOCKS AT FITTINGS**

| Δ          | 11½"      | 22½"      | 45"       |
|------------|-----------|-----------|-----------|
| I.D. (IN.) | VOL. C.Y. | VOL. C.Y. | VOL. C.Y. |
| 4          | 0.3       | 0.5       | 1.0       |
| 6          | 0.6       | 1.1       | 2.1       |
| 8          | 1.0       | 2.0       | 3.6       |
| 10         | 1.5       | 2.9       | 5.4       |
| 12         | 2.1       | 4.2       | 7.7       |
| 14         | 2.8       | 5.6       | 10.3      |
| 16         | 3.7       | 7.2       | 13.3      |
| 18         | 4.6       | 9.1       | 16.8      |
| 20         | 5.7       | 11.1      | 20.6      |
| 24         | 8.1       | 15.9      | 29.3      |
| 30         | 9.3       | 18.3      | 33.9      |
| 36         | 13.4      | 26.2      | 48.5      |

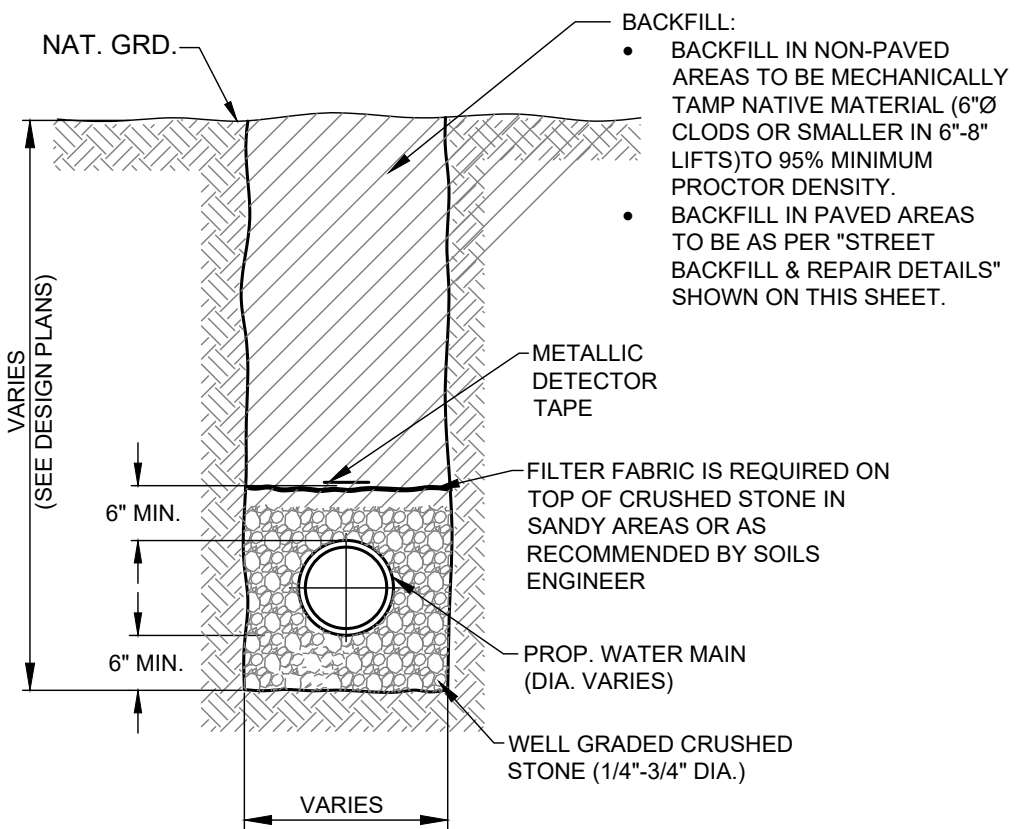


| PIPE SIZE | "X" FT. | "H" FT. | 11 1/2" |           | 22 1/2" |           | 45°     |           | 90°     |           | TEE & PLUG |           |
|-----------|---------|---------|---------|-----------|---------|-----------|---------|-----------|---------|-----------|------------|-----------|
|           |         |         | "A" FT. | MIN. AREA | "B" FT. | MIN. AREA | "C" FT. | MIN. AREA | "D" FT. | MIN. AREA | "E" FT.    | MIN. AREA |
| 4"        | 1.5     | 1.2     | 1.2     | 1.4       | 1.2     | 1.4       | 1.2     | 1.4       | 1.9     | 2.3       | 1.4        | 1.7       |
| 6"        | 1.5     | 1.3     | 1.3     | 1.7       | 1.3     | 1.7       | 2.0     | 2.6       | 3.7     | 4.8       | 2.6        | 3.4       |
| 8"        | 1.5     | 1.3     | 1.3     | 1.7       | 1.8     | 2.3       | 3.4     | 4.4       | 6.3     | 8.2       | 4.5        | 5.9       |
| 10"       | 1.5     | 1.4     | 1.4     | 2.0       | 2.4     | 3.4       | 4.8     | 6.7       | 8.8     | 12.3      | 6.2        | 8.7       |
| 12"       | 1.5     | 1.6     | 1.6     | 2.6       | 3.0     | 4.8       | 5.9     | 9.4       | 10.9    | 17.4      | 7.7        | 12.3      |
| 14"       | 1.5     | 1.8     | 1.8     | 3.2       | 3.6     | 6.5       | 7.1     | 12.8      | 13.0    | 23.4      | 9.2        | 16.5      |
| 16"       | 2.0     | 2.1     | 2.1     | 4.4       | 4.0     | 8.4       | 7.8     | 16.4      | 14.5    | 30.5      | 10.2       | 21.4      |
| 18"       | 2.0     | 2.3     | 2.3     | 5.3       | 4.6     | 10.6      | 9.0     | 20.7      | 16.5    | 38.0      | 11.7       | 26.9      |
| 20"       | 2.0     | 2.6     | 2.6     | 6.8       | 5.0     | 13.0      | 9.7     | 25.2      | 18.0    | 46.8      | 12.7       | 33.0      |
| 24"       | 2.0     | 3.1     | 3.1     | 9.6       | 6.0     | 18.6      | 11.6    | 36.0      | 21.2    | 65.7      | 15.2       | 47.1      |
| 30"       | 2.5     | 3.8     | 3.8     | 14.4      | 7.5     | 28.5      | 14.6    | 55.5      | 27.0    | 102.6     | 19.1       | 72.6      |
| 36"       | 2.5     | 4.5     | 4.5     | 20.3      | 9.0     | 40.5      | 17.7    | 79.7      | 32.6    | 146.7     | 23.1       | 104.0     |

**HORIZONTAL THRUST BLOCK NOTES:**

1. RETAINER GLANDS OR OTHER RESTRAINING DEVICES MAY BE REQUIRED AS NEEDED.
2. CALCULATIONS ARE BASED ON A TEST PRESSURE OF 150 PSI. WEIGHT OF CONCRETE OF 140 LBS PER CUBIC FOOT. SAFETY FACTOR OF 1.5 AND AN ALLOWABLE SOIL BEARING VALUE OF 2,500 POUNDS PER SQUARE FOOT. FOR OTHER PRESSURES AND SOIL STRENGTHS, AREAS AND VOLUMES MUST BE ADJUSTED ACCORDINGLY.
3. 2500 PSI CONCRETE AT 28 DAYS SHALL BE USED FOR ALL BLOCKING.
4. ALL MINIMUM AREAS ARE IN SQUARE FEET.
5. ALL CONCRETE THRUST BLOCKS SHALL BEAR AGAINST UNDISTURBED TRENCH WALLS. THE DISTANCE FROM PIPE FITTINGS TO TRENCH WALL SHALL BE A MINIMUM OF 12" AT THRUST BLOCK.
6. KEEP CONCRETE CLEAR OF ALL JOINTS & ACCESSORIES. INSTALL 12 MIL POLYETHYLENE SHEETING AROUND FITTINGS. SECURE ENDS TO PREVENT INFILTRATION OF SOIL BETWEEN SHEETING AND PIPE FITTING PRIOR TO POURING THRUST BLOCK. PROTECT MECHANICAL JOINTS, FOLLOWERS, AND BOLTS FROM CONCRETE WITH TEMPORARY FORMS AND POLYETHYLENE.
7. ALL CONCRETE THRUST BLOCKS SHALL BEAR AGAINST UNDISTURBED TRENCH WALLS.
8. ALL JOINTS SHALL BE TEMPORARILY JACKED WHEN POURING THRUST BLOCKS.
9. CONCRETE THRUST BLOCKS SHALL APPLY TO ALL PIPE FITTINGS.

**DIMENSIONS OF CONCRETE FOR HORIZONTAL THRUST BLOCKS AT FITTINGS**



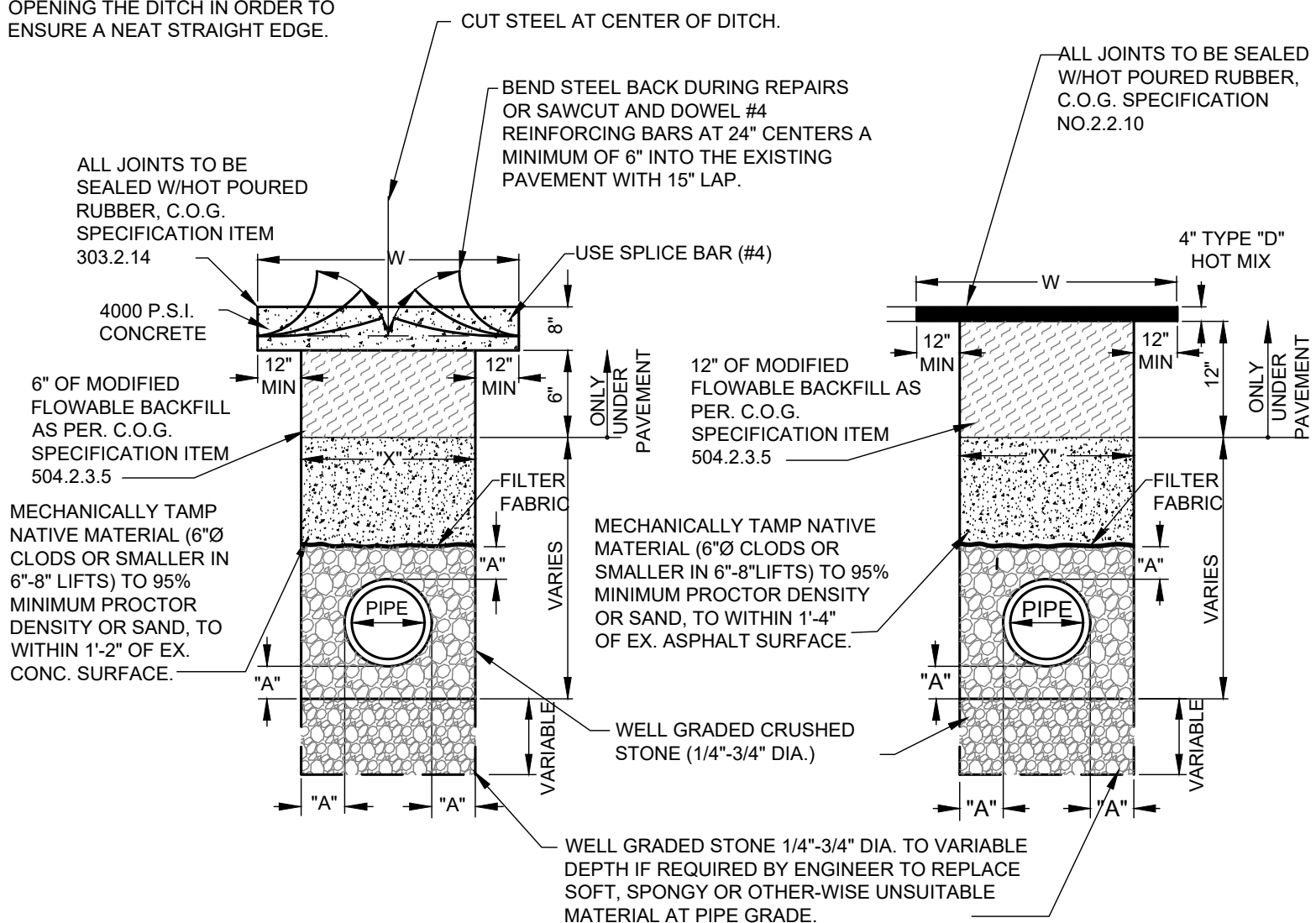
**PIPE EMBEDMENT DETAIL**  
N.T.S.

**TABLE OF DIMENSIONS FOR WIDTH OF TRENCH AND PAVEMENT REPLACEMENT**

| NORMAL SIZE OF PIPE IN INCHES | O.D. OF PIPEBELL IN INCHES (PVC-DR18) | MINIMUM TRENCH WALL CLEARANCE "A" IN INCHES | WIDTH OF TRENCH (X) IN INCHES |                      | WIDTH OF P.V.M.T. REPLACEMENT * |
|-------------------------------|---------------------------------------|---|-------------------------------|----------------------|---------------------------------|
|                               |                                       |   | MAXIMUM ** IN INCHES          | MINIMUM ** IN INCHES | (W) CONC & ASPHALT **           |
| 6                             | 6.9                                   | 6   | 24                            | 19                   | 48                              |
| 8                             | 9.05                                  | 6   | 24                            | 21                   | 48                              |
| 10                            | 11.10                                 | 6   | 28                            | 24                   | 48                              |
| 12                            | 13.20                                 | 6   | 30                            | 26                   | 50                              |
| 16+                           | VARIES                                | 8   | *                             | *                    | *                               |

NOTE: \* REFER TO THE PLANS FOR SPECIFIED WIDTH OF REPLACEMENT.  
\*\* RECOMMENDED WIDTHS - VARIES BASED ON DEPTH AND SOIL MATERIAL.

NOTE: SAWCUT TO REPAIR ASPHALT OR CONCRETE PAVEMENT PRIOR TO OPENING THE DITCH IN ORDER TO ENSURE A NEAT STRAIGHT EDGE.

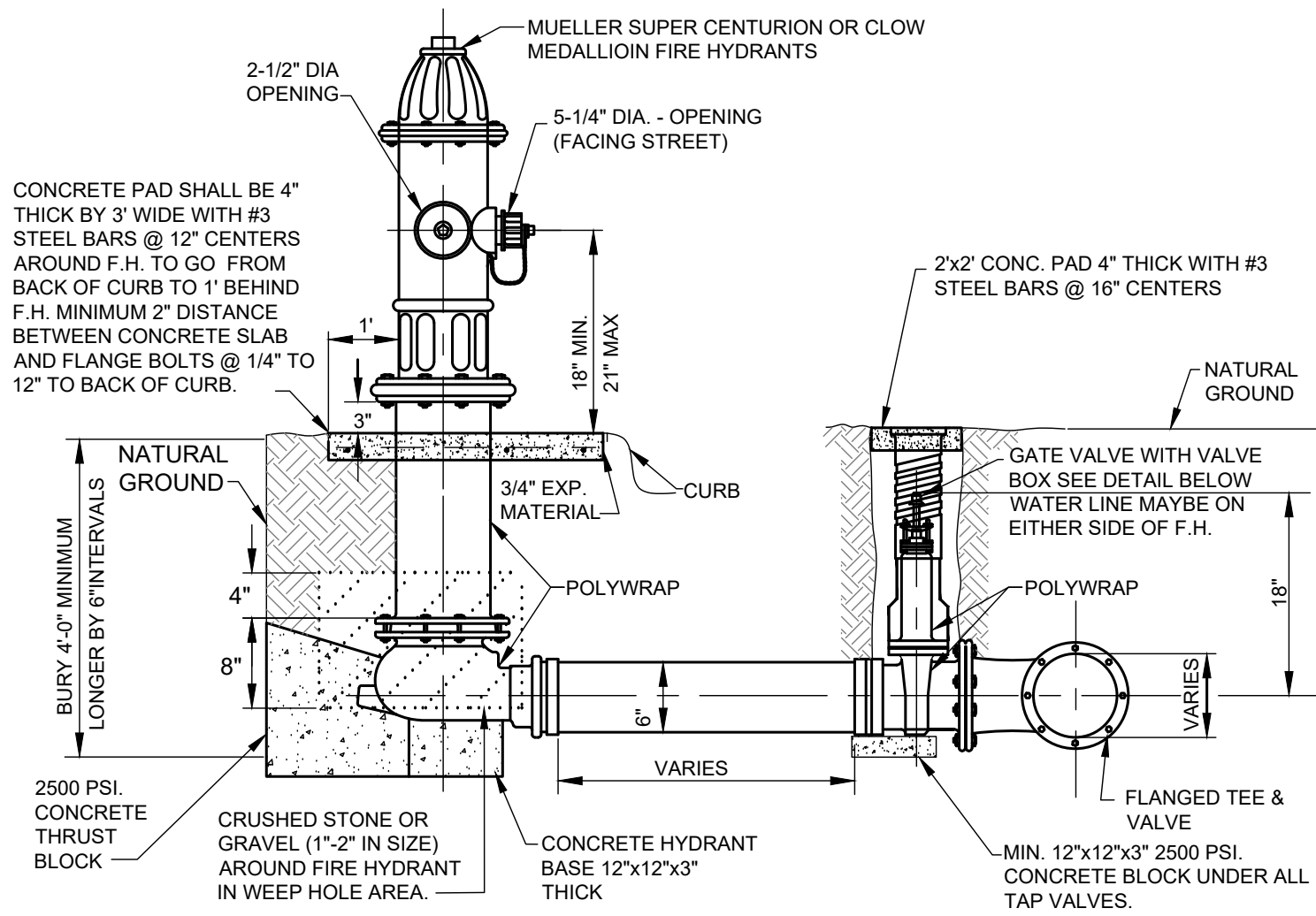


**CONCRETE STREET REPAIR**

**ASPHALT STREET REPAIR**

**STREET BACKFILL & REPAIR**

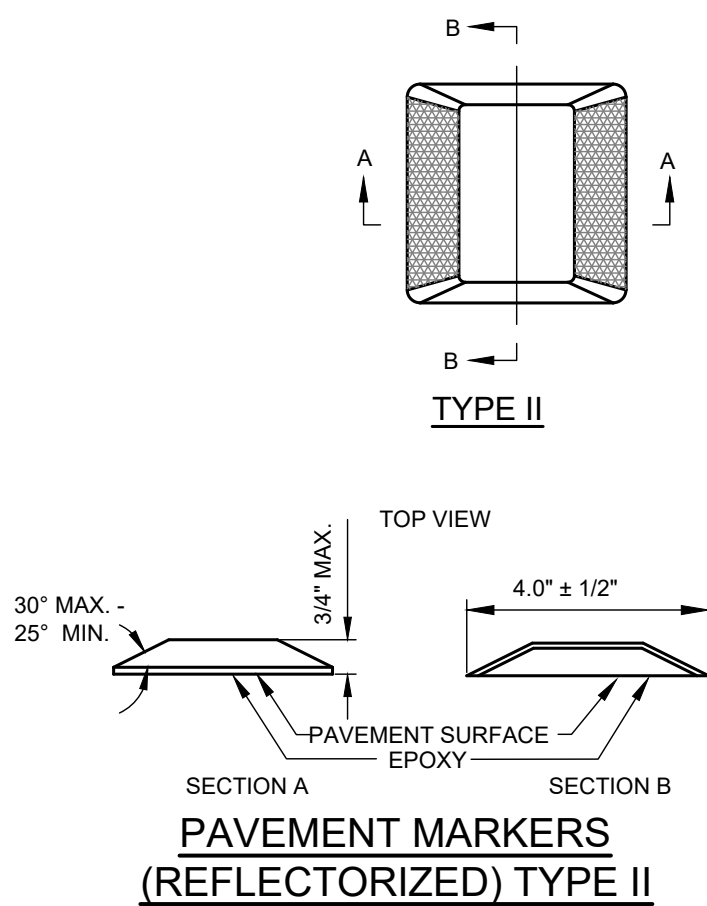
N.T.S.



**STANDARD FIRE HYDRANT DETAIL AND TRACER WIRE DETAIL**  
N.T.S.

**FIRE HYDRANT NOTES:**

1. FIRE HYDRANTS SHALL BE LOCATED 3' OFF BACK OF CURB IN RESIDENTIAL & 4' OFF BACK OF CURB IN INDUSTRIAL.
2. FIRE HYDRANTS SHALL BE COATED WITH KEM-LUSTRAL OR AN EQUIVALENT COATING.
3. FIRE HYDRANT LOCATION WILL BE MARKED BY PLACING A TYPE II PAVEMENT MARKER REFLECTORIZED BLUE 4" OFF OF THE TRAFFIC LANE BUTTONS. THE MARKER WILL BE IN THE LANE NEAREST TO THE FIRE HYDRANT. ALL MARKERS AT INTERSECTIONS SHOULD BE 10 FEET BACK FROM THE INTERSECTION. HYDRANT MARKERS SHOULD BE PLACED 4" OFF THE CENTER STRIPE OR OTHER TRAFFIC BUTTONS AS PER DRAWINGS.
4. FIRE HYDRANT LEAD SHALL BE NO LONGER THAN 10' IN LENGTH.



**Sample Fire Hydrant Flow Test Report**  
**Fire Hydrant Flow Test Report (NFPA 291)**

Location \_\_\_\_\_ Date \_\_\_\_\_  
Test Performed By \_\_\_\_\_ Time \_\_\_\_\_ M.  
Representative of \_\_\_\_\_  
Mustang SUD Witness \_\_\_\_\_  
Purpose of Test \_\_\_\_\_

If Pumps Affect Test, Indicate Pumps Operating \_\_\_\_\_

| Fire Hydrant                           | A <sub>1</sub> | A <sub>2</sub> | A <sub>3</sub> | A <sub>4</sub> |
|--|----------------|----------------|----------------|----------------|
| Nozzle Size                            |                |                |                |                |
| Pilot Reading                          |                |                |                |                |
| Elev. Difference from Test Hydrant (B) |                |                |                |                |
| Discharge Coeff.                       |                |                |                |                |
| Flow (gpm)                             |                |                |                |                |

Static B \_\_\_\_\_ psi Residual B \_\_\_\_\_ psi  
Projected Results @ 20 psi Residual \_\_\_\_\_ gpm; or @ \_\_\_\_\_ psi Residual \_\_\_\_\_ gpm

Remarks \_\_\_\_\_

Location map: Show line sizes and distance to next distribution system intersection. Show valves and hydrant branch size. Indicate north. Show flowing hydrants - Label A<sub>1</sub>, A<sub>2</sub>, A<sub>3</sub>, A<sub>4</sub>. Show location of static and residual - Label B.

Indicate B Hydrant \_\_\_\_\_ Sprinkler \_\_\_\_\_ Other (identify) \_\_\_\_\_

NOTE: Mail, hand-deliver or otherwise provide this completed report to the Mustang Special Utility District prior to acceptance of the system and beginning of service.

| NO. | REVISION | BY | DATE |
|-----|----------|----|------|
|     |          |    |      |
|     |          |    |      |



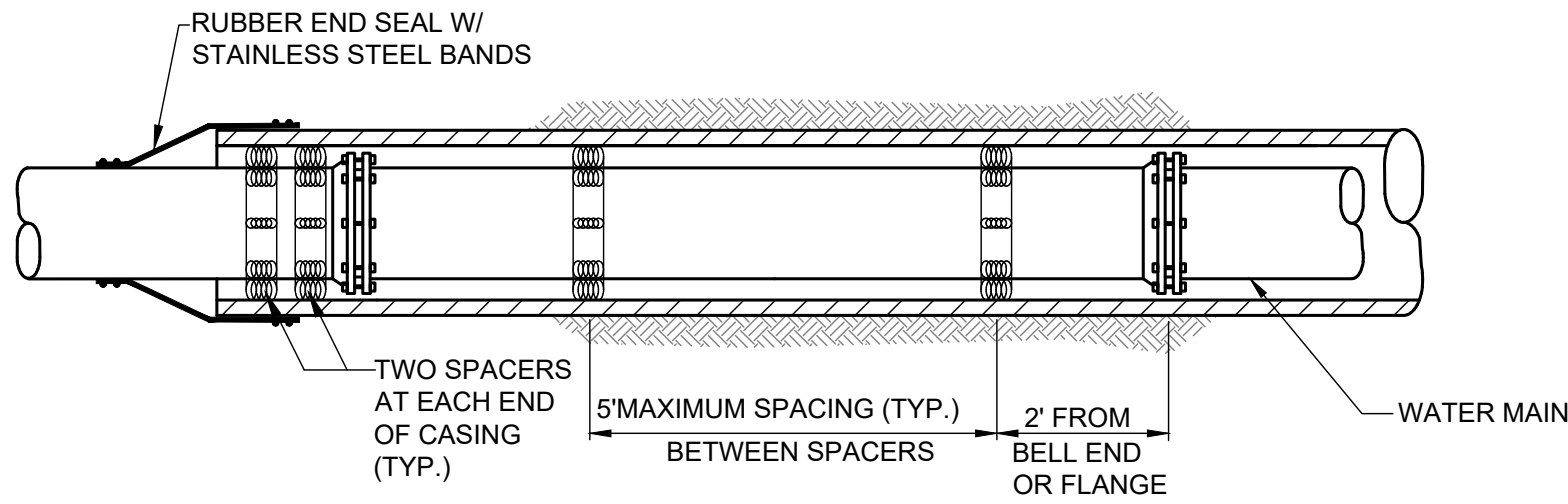
**MUSTANG SPECIAL UTILITY DISTRICT**

APPROVED BY MSUD GENERAL MANAGER: Chris Boyd DATE: 7/27/2020

**WATER STANDARD DETAILS (1 OF 2)**

CERTIFICATION: THIS MUSTANG SPECIAL UTILITY DISTRICT STANDARD DETAIL SHEET IS AUTHORIZED FOR USE IN THIS PROJECT BY THE ENGINEER WHOSE SEAL APPEARS ON THIS SHEET. THIS ENGINEER IS ALSO CERTIFYING THAT THE CONTENT OF THE DETAILS AND NOTES ON THIS SHEET HAVE NOT BEEN ALTERED FROM THAT RECEIVED FROM MUSTANG SPECIAL UTILITY DISTRICT.

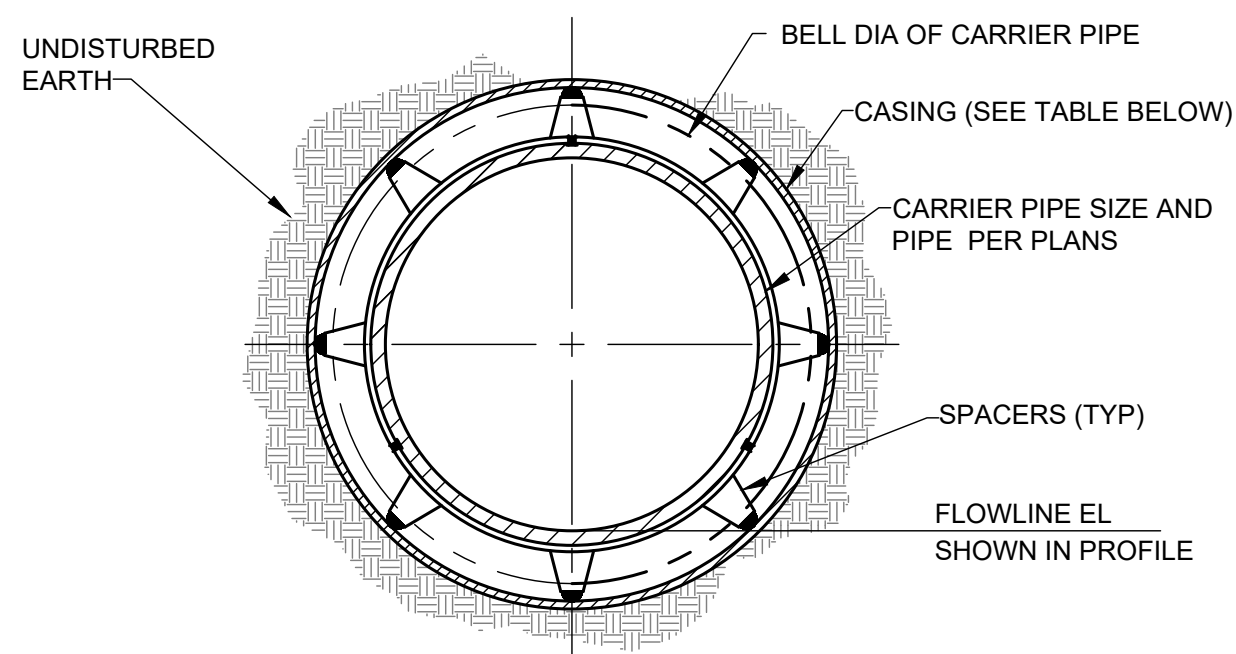




CASING NOTES:

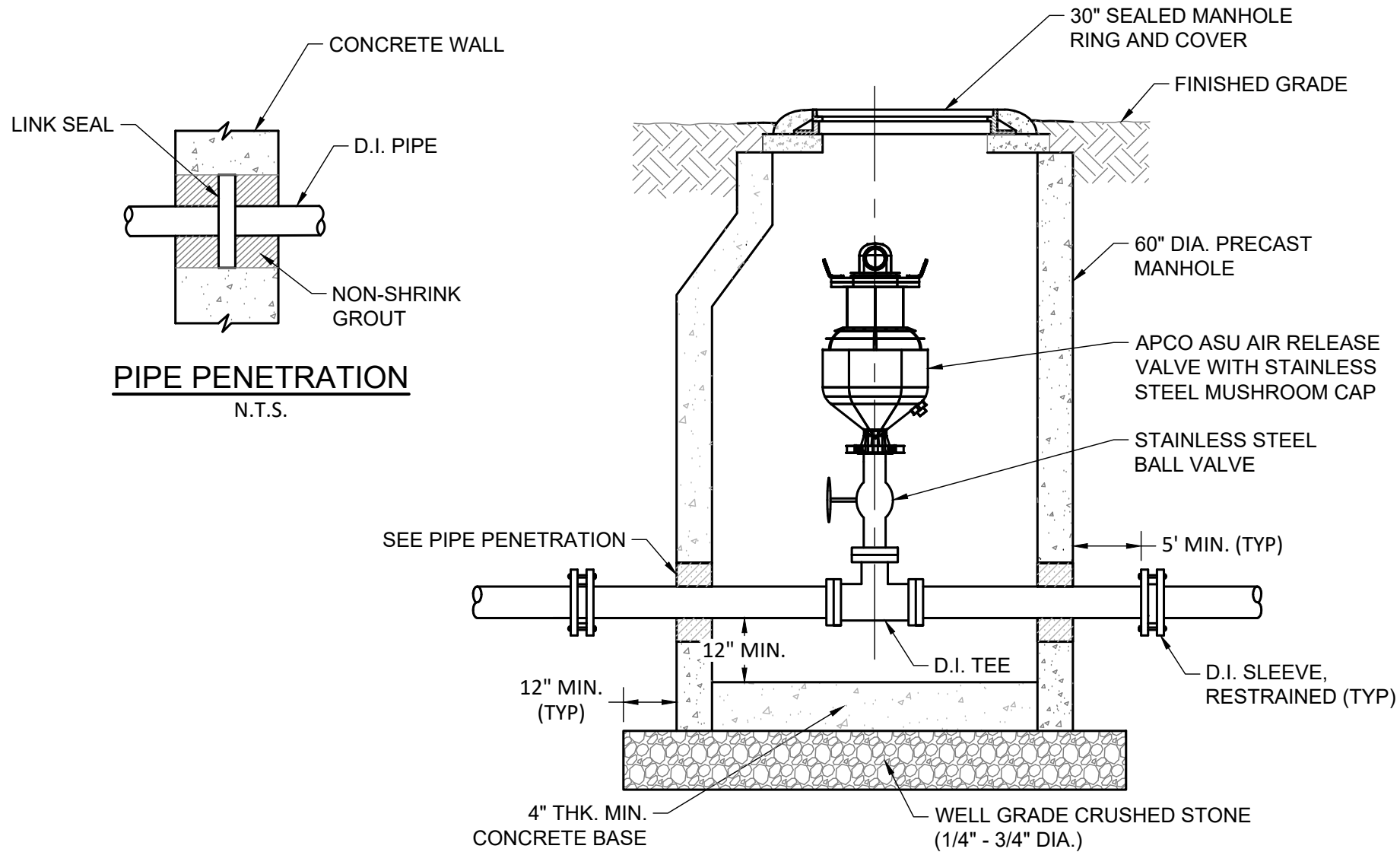
1. CASING MATERIAL SHALL BE STEEL PER TxDOT REQUIREMENTS AT ALL TxDOT ROAD CROSSINGS.
2. CASING MATERIAL SHALL BE SDR-26/PS115 PVC AT ALL OTHER CROSSINGS UNLESS SPECIFICALLY REQUIRED BY MSUD ENGINEER.
3. CASING SIZE SHALL BE PER THE TABLE PROVIDED HEREON.
4. CASING SPACERS SHALL BE USED TO INSTALL CARRIER PIPE INSIDE THE ENCASEMENT PIPE. TO PROVIDE SUPPORT AROUND THE PERIPHERY OF THE PIPE SHOULD THE PIPE TWIST AS IT IS PUSHED THROUGH THE CASING, THE SPACERS SHALL BE OF A PROJECTION TYPE THAT HAS A MINIMUM NUMBER OF PROJECTIONS AROUND THE CIRCUMFERENCE TOTALING THE NUMBER OF DIAMETER INCHES. FOR EXAMPLE, 8" PIPE SHALL HAVE A MINIMUM OF 8 PROJECTIONS AND 18" PIPE SHALL HAVE A MINIMUM NUMBER OF 18 PROJECTIONS.
5. CASING SPACERS SHALL HAVE A MAXIMUM SPACING SPAN OF 5 FEET. THE SPAN BETWEEN SPACERS SHOULD RESULT IN CONSERVATIVE LONG-TERM SAFETY FACTOR PROVIDED TOTAL LOAD PER SPACERS DOES NOT EXCEED THE MAXIMUM LOAD FOR PIPE FULL OF LIQUID PER SPACER LISTED IN THE LITERATURE FOR CLASS SPACER USED. SPACERS SHALL HAVE A MINIMUM HEIGHT THAT CLEARS THE PIPE BELL OR AS OTHERWISE INDICATED ON PLANS. CASING SPACERS SHALL USE DOUBLE BACKED TAPE PROVIDED WITH THE SPACERS, TO FASTEN TIGHTLY ONTO THE CARRIER PIPE, SO THAT THE SPACERS DO NOT MOVE DURING INSTALLATION.
6. SPACERS SHALL BE RACI HIGH DENSITY POLYETHYLENE OR AS APPROVED BY MSUD ENGINEER.

TYPICAL WATER PIPE CASING DETAIL  
(AT ROADWAYS AND/OR STORM DRAIN CROSSINGS)  
N.T.S.



TYPICAL SECTION WITH CASING INSULATING SPACERS  
N.T.S.

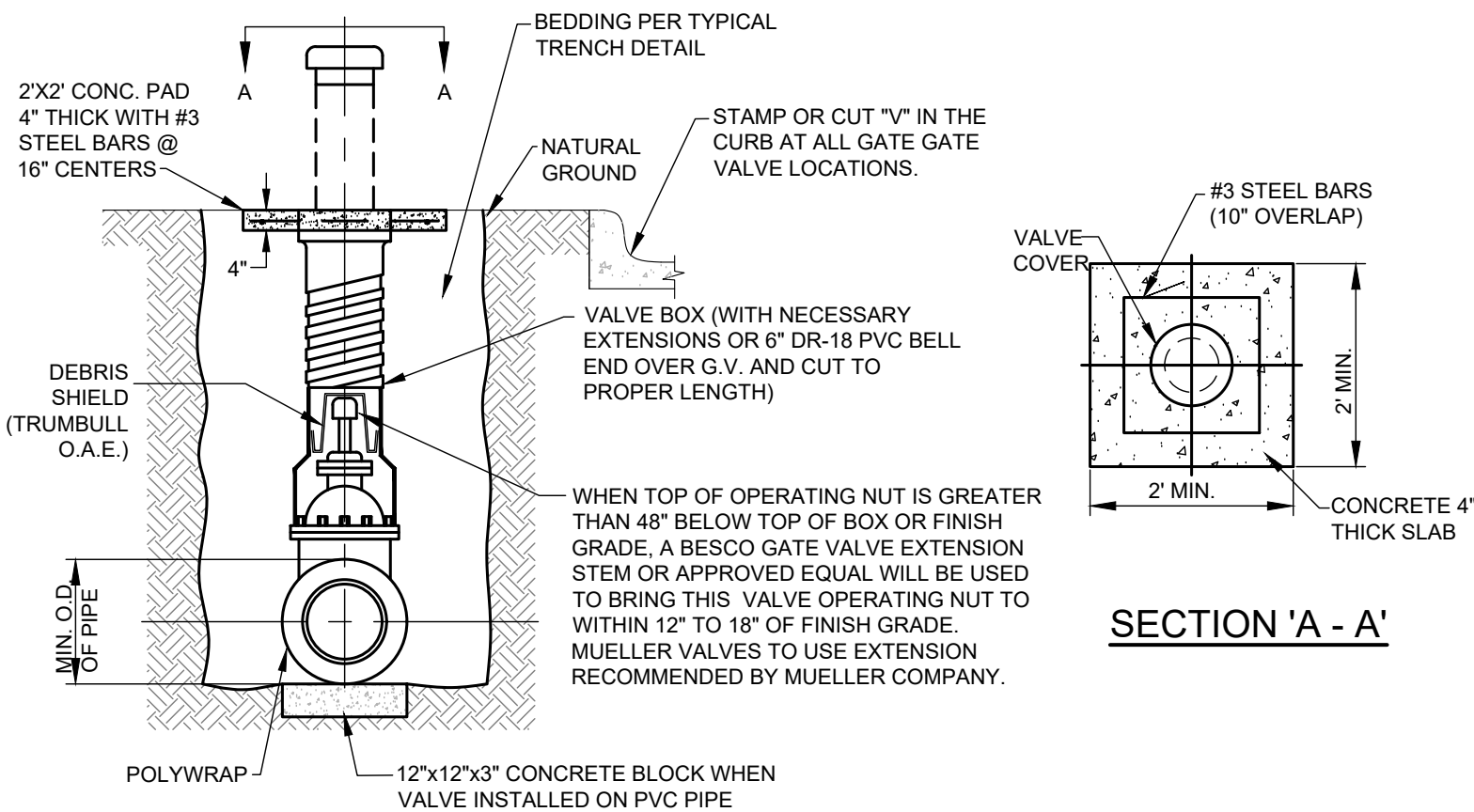
| CASING SCHEDULE                 |                             |
|---------------------------------|-----------------------------|
| WATER LINE<br>NOMINAL SIZE (IN) | CASING NOMINAL<br>SIZE (IN) |
| 2                               | 4                           |
| 4                               | 6                           |
| 6                               | 8                           |
| 8                               | 12                          |
| 10                              | 16                          |
| 12                              | 18                          |
| 14 & 16                         | 24                          |
| 18                              | 30                          |
| 20                              | 30                          |
| 24                              | 36                          |
| 27                              | 36                          |
| 30                              | 42                          |
| 36                              | 48                          |



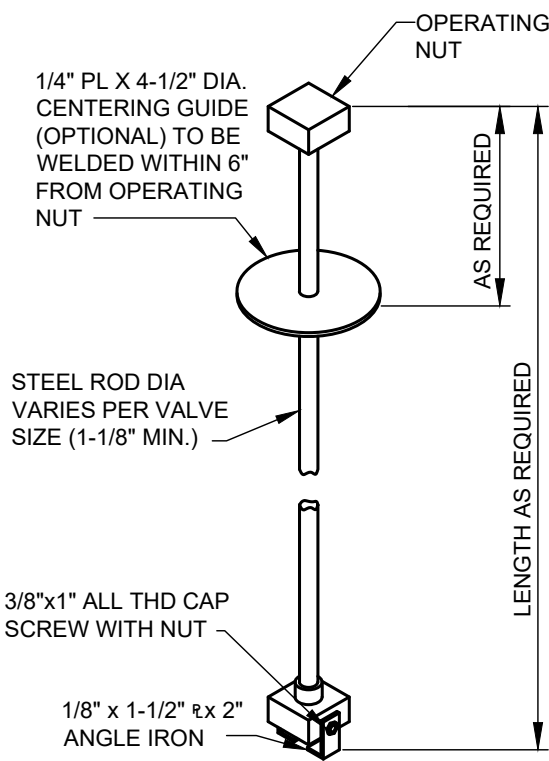
NOTES:

1. ALL PIPING, EXCEPT AS NOTED, TO BE DUCTILE IRON WITH FLANGED JOINTS AND STAINLESS STEEL BOLTS AND NUTS.
2. RIM ELEVATION SHALL BE SET 12" ABOVE FINISHED GRADE UNLESS INSTALLED IN PAVED AREA

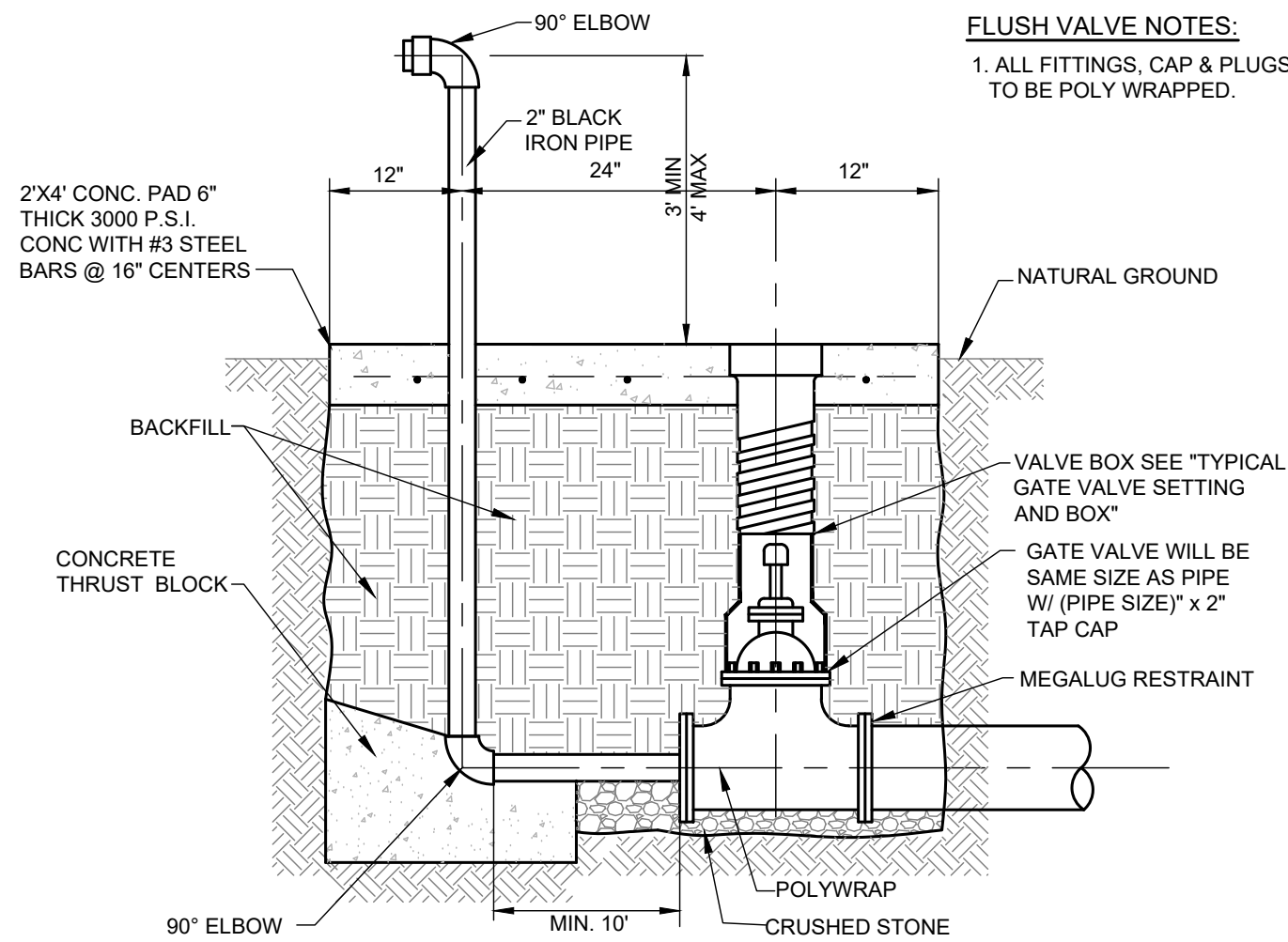
COMBINATION AIR RELEASE VALVE AND VAULT DETAIL  
N.T.S.



TYPICAL VALVE SETTING AND BOX  
N.T.S.



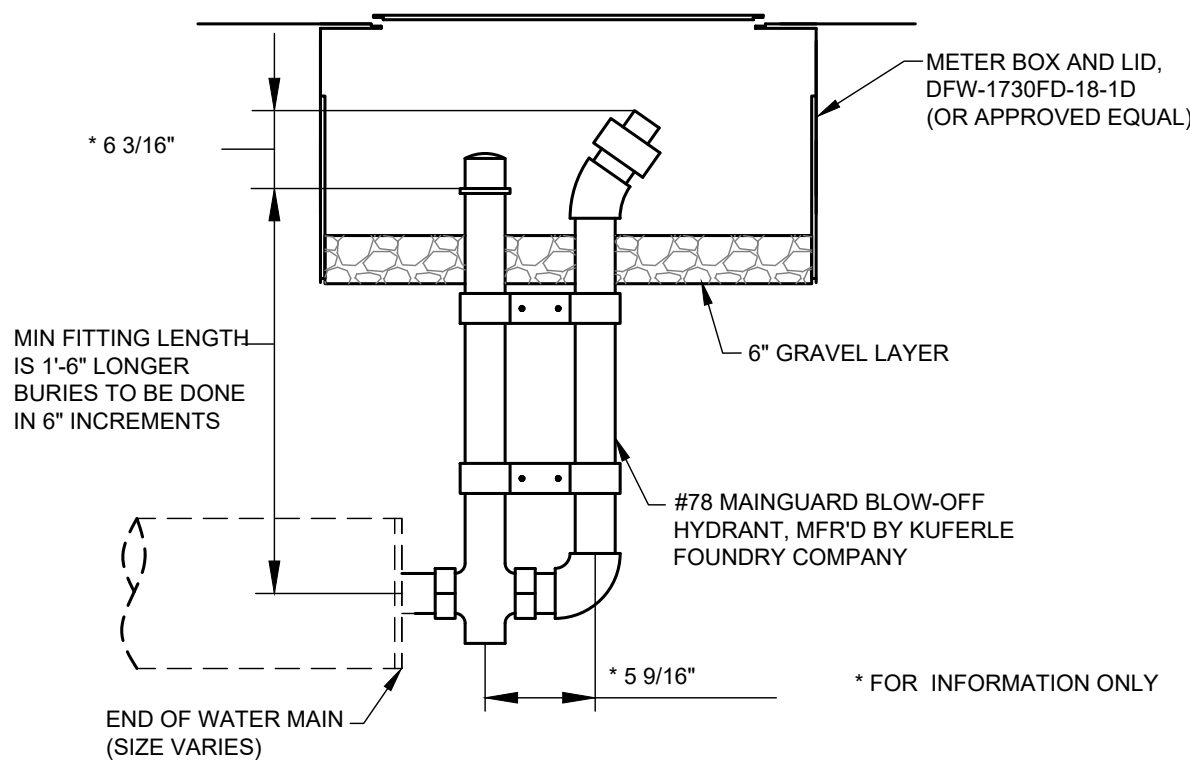
VALVE EXTENSION STEM  
N.T.S.



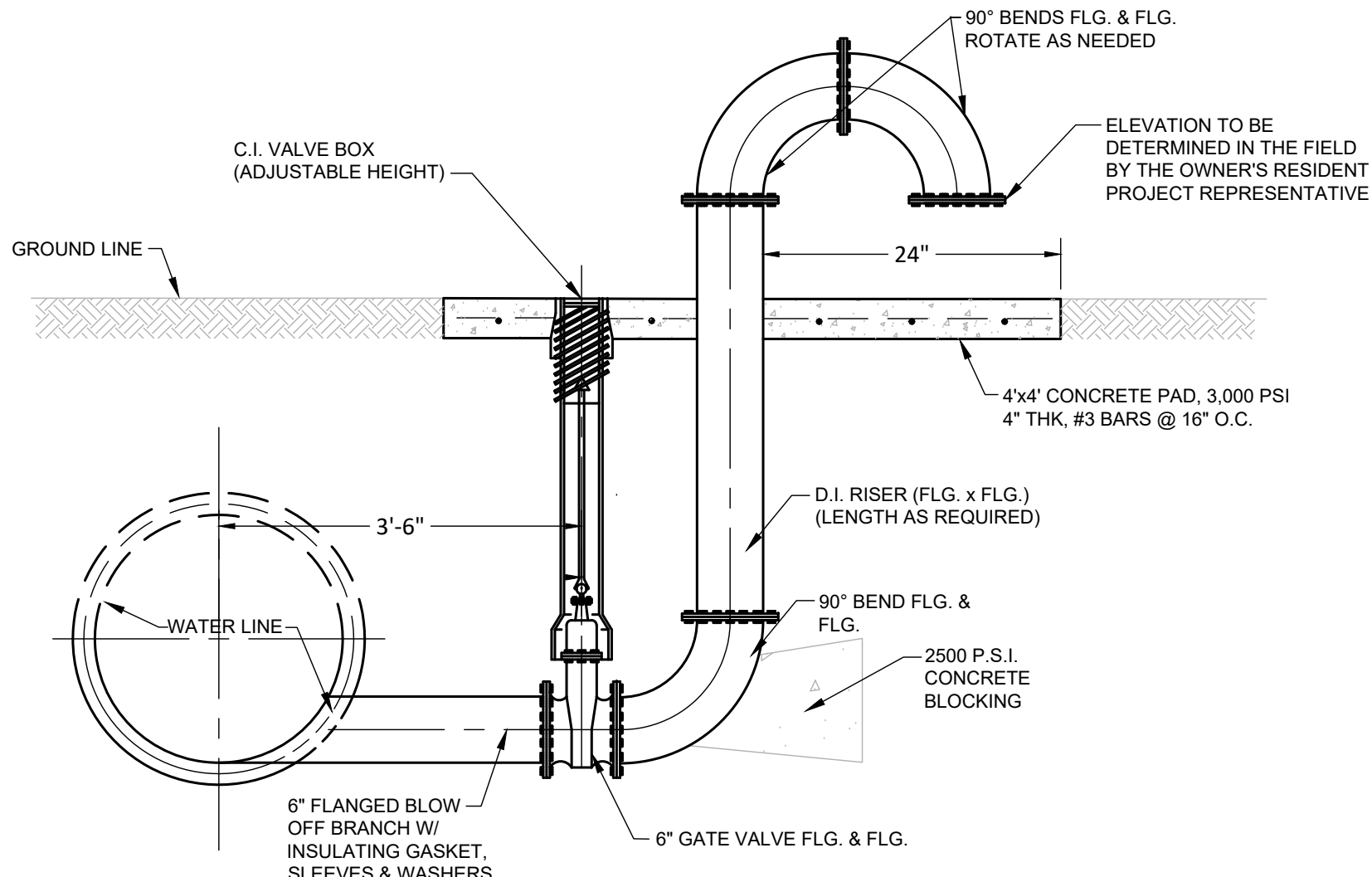
END-OF-LINE/TEMPORARY FLUSH VALVE  
N.T.S.

FLUSH VALVE NOTES:

1. ALL FITTINGS, CAP & PLUGS TO BE POLY WRAPPED.



RESIDENTIAL FLUSH VALVE  
N.T.S.



MAIN LINE FLUSH VALVE  
N.T.S.

| NO. | REVISION | BY | DATE |
|-----|----------|----|------|
|     |          |    |      |
|     |          |    |      |
|     |          |    |      |



MUSTANG SPECIAL  
UTILITY DISTRICT

APPROVED BY MSUD  
GENERAL MANAGER: C. BOYD DATE: 2020-09-14

WATER DETAILS (2 OF 2)

CERTIFICATION:  
THIS MUSTANG SPECIAL UTILITY DISTRICT STANDARD DETAIL SHEET IS AUTHORIZED FOR USE IN THIS PROJECT BY THE ENGINEER WHOSE SEAL APPEARS ON THIS SHEET. THIS ENGINEER IS ALSO CERTIFYING THAT THE CONTENT OF THE DETAILS AND NOTES ON THIS SHEET HAVE NOT BEEN ALTERED FROM THAT RECEIVED FROM MUSTANG SPECIAL UTILITY DISTRICT.





- NOTES:
1. ALL WORK NOT SPECIFICALLY IDENTIFIED AS BEING SUPPLIED BY MUSTANG S.U.D. SHALL BE COMPLETED AT OWNER'S EXPENSE.
  2. SIZE ON SIZE HOT TAPS SHALL NOT BE ALLOWED.
  3. CONCRETE VAULTS SHALL BE EQUAL TO THAT AS DESIGNED AND MANUFACTURED BY CAPITAL PRECAST, INC.
  4. CONCRETE VAULT LID AND HATCHES SHALL BE TRAFFIC RATED.
  5. VAULT HATCHES SHALL BE 42"x42" ALUMINUM WITH LIFT ASSIST AND SLAM LOCK.
  6. MASTER METER SHALL BE BADGER RECORDALL.
  7. MASTER METER SHALL BE EQUIPPED WITH AN AMR/AMI REMOTE METER READING SYSTEM AS MANUFACTURED BY BADGER METER COMPATIBLE FOR USE WITH THE SPECIFIED METER. THE CONTRACTOR SHALL PROVIDE ALL EQUIPMENT, ELECTRICAL AND SERVICE REQUIRED FOR A COMPLETE, OPERATING SYSTEM.
  8. DOUBLE CHECK VALVE ASSEMBLY SHALL BE WATTS 775 OR APPROVED EQUAL.
  9. CONCRETE VAULT SHALL HAVE NO BOTTOM.
  10. VAULT SHALL BE SET ON 12" OF 1"-2" Ø WASHED GRAVEL.
  11. VAULT SHALL BE MINIMUM 72" DEEP AND INCLUDE AN ALUMINUM OR STAINLESS STEEL LADDER WITH SAFETY EXTENSION.
  12. VAULTS LIDS SHALL BE 6" TO 12" ABOVE FINISHED GRADE IN UNPAVED AREAS.
  13. CLEARANCE BETWEEN PIPING AND VAULT FLOOR SHALL BE 12" MINIMUM.
  14. ADJUSTABLE PIPE SUPPORTS SHALL BE PROVIDED UNDER THE MASTER METER AND CHECK VALVE ASSEMBLY.
  15. ALL MECHANICAL JOINT FITTINGS SHALL BE MECHANICALLY RESTRAINED WITH MEGA-LUG OR EQUAL.
  16. ALL PIPING THROUGH THE VAULT SHALL BE DUCTILE IRON.

MASTER METER WITH DOUBLE CHECK INSTALLATION  
N.T.S.



- NOTES:
1. ALL WORK NOT SPECIFICALLY IDENTIFIED AS BEING SUPPLIED BY MUSTANG S.U.D. SHALL BE COMPLETED AT OWNER'S EXPENSE.
  2. CONCRETE VAULTS SHALL BE EQUAL TO THAT AS DESIGNED AND MANUFACTURED BY CAPITAL PRECAST, INC.
  3. VAULT SIZE MAY VARY DEPENDING UPON METER SIZE.
  4. MUSTANG S.U.D. SHALL SUPPLY METERS UP TO 2".
  5. MUSTANG S.U.D. SHALL SUPPLY A CHECK VALVE FOR RESIDENTIAL METERS ONLY.
  6. MUSTANG S.U.D. DOES NOT SUPPLY ANY TYPE OF DOUBLE CHECK DETECTOR ASSEMBLY (DCDA).
  7. ALL MECHANICAL JOINT FITTINGS SHALL BE MECHANICALLY RESTRAINED WITH MEGA-LUG OR EQUAL.
  8. SIZE ON SIZE HOT TAPS SHALL NOT BE ALLOWED.
  9. VAULT HATCHES SHALL BE 42"x42" ALUMINUM WITH LIFT ASSIST AND SLAM LOCK.
  10. VAULTS LIDS SHALL BE 6" TO 12" ABOVE FINISHED GRADE IN UNPAVED AREAS.
  11. CLEARANCE BETWEEN PIPING AND VAULT FLOOR SHALL BE 12" MINIMUM.
  12. DCDA VAULT SHALL BE MINIMUM 72" DEEP AND INCLUDE AN ALUMINUM OR STAINLESS STEEL LADDER WITH SAFETY EXTENSION.
  13. CONCRETE VAULTS SHALL HAVE NO BOTTOM.
  14. VAULT SHALL BE SET ON 12" OF 1"-2" Ø WASHED GRAVEL.
  15. ALL PIPING THROUGH DCDA VAULT SHALL BE DUCTILE IRON.

DOUBLE CHECK DETECTOR ASSEMBLY, IRRIGATION AND  
COMMERCIAL DOMESTIC METER INSTALLATION  
N.T.S.

| NO. | REVISION | BY | DATE |
|-----|----------|----|------|
|     |          |    |      |
|     |          |    |      |
|     |          |    |      |
|     |          |    |      |



MUSTANG SPECIAL  
UTILITY DISTRICT

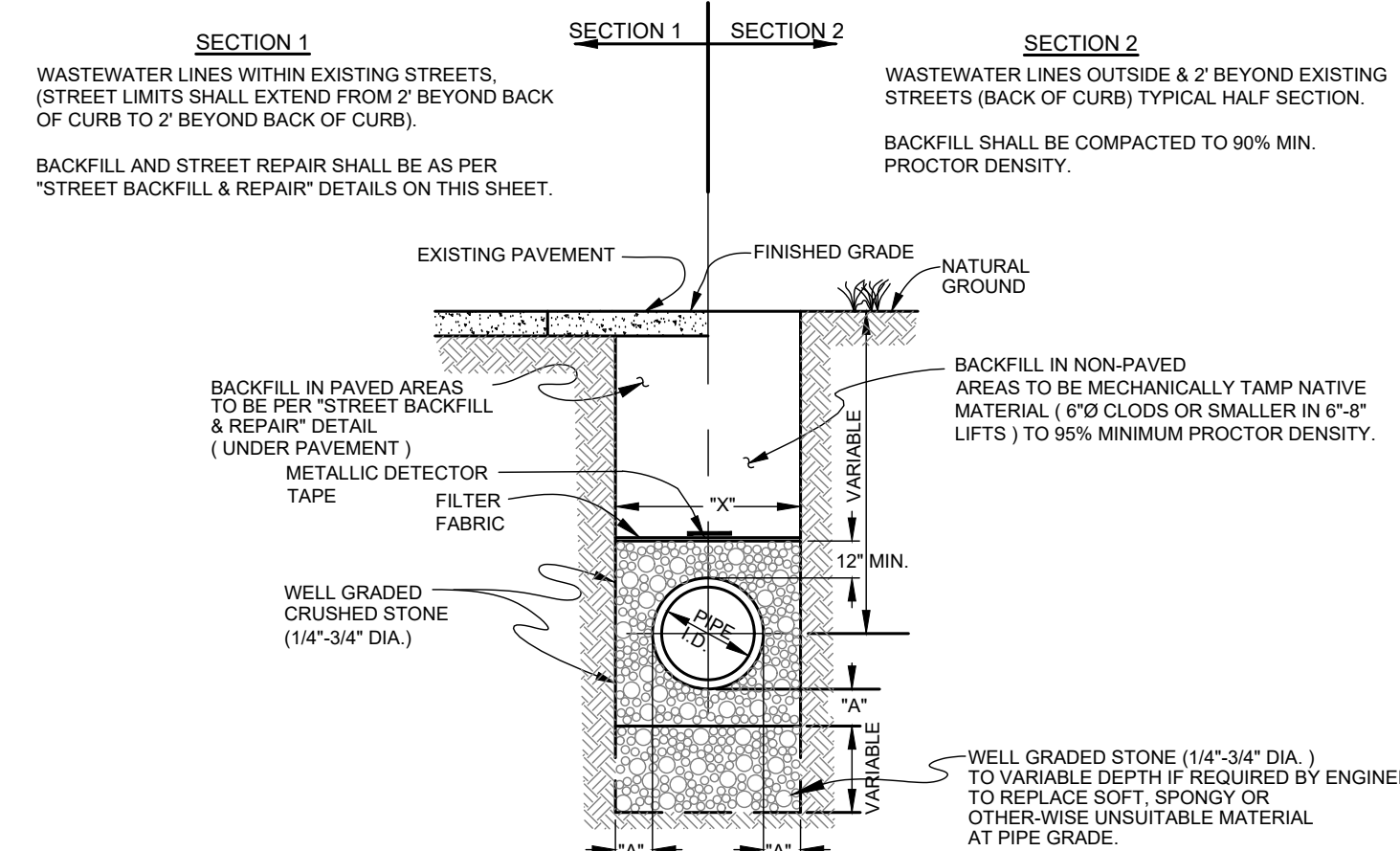
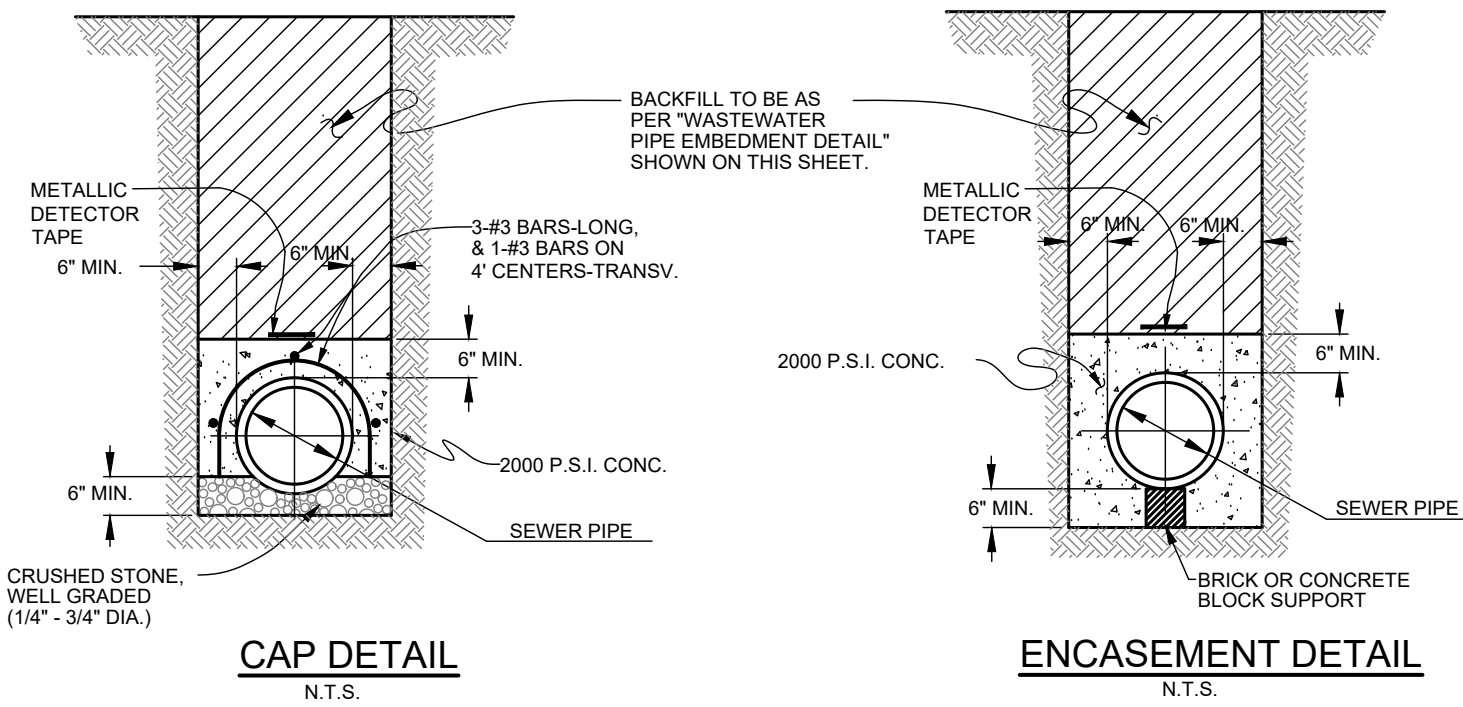
APPROVED BY MSUD  
GENERAL MANAGER: C. BOYD

DATE: 2020-09-14

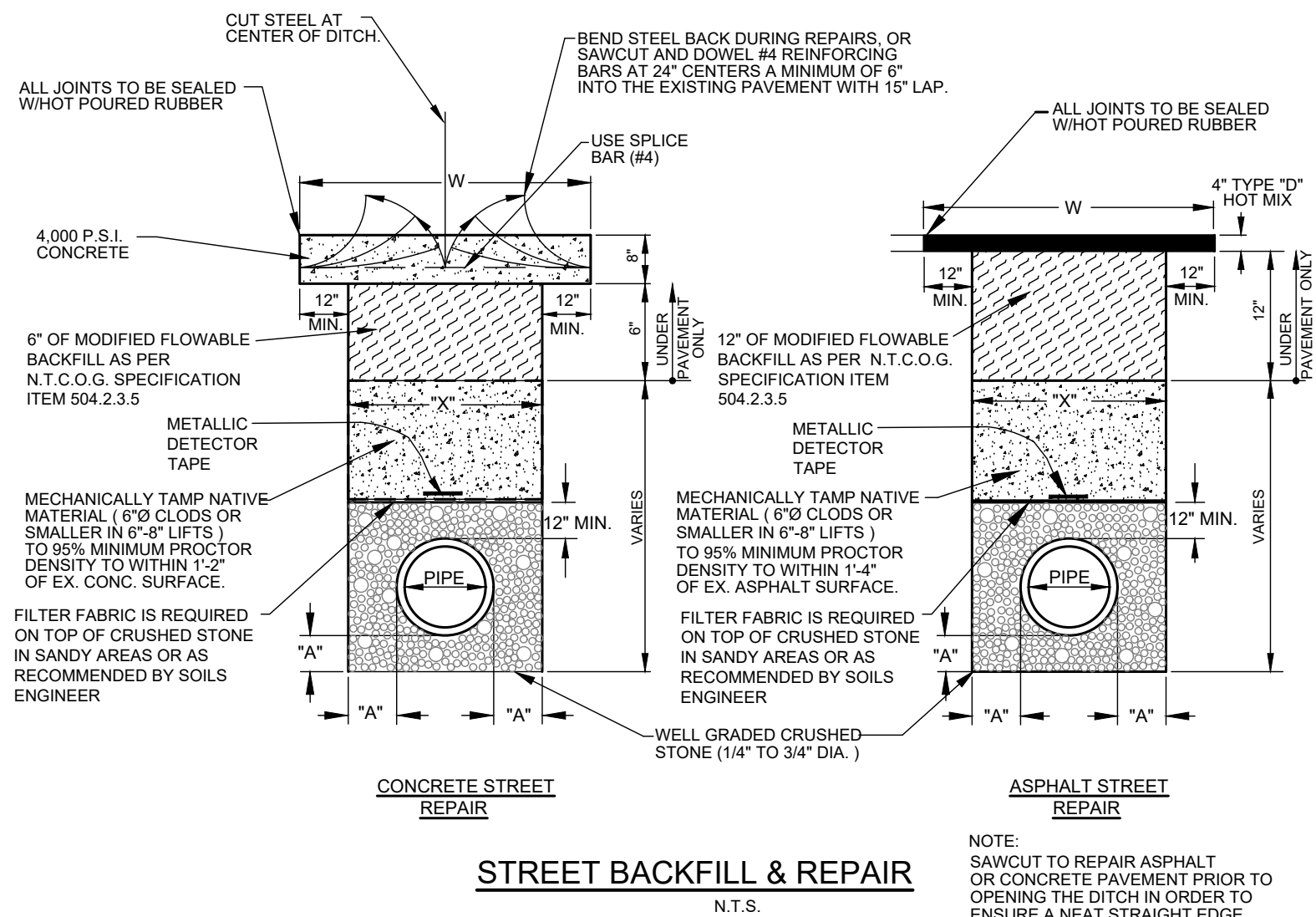
## COMMERCIAL AND DCDA DETAILS

CERTIFICATION:  
THIS MUSTANG SPECIAL UTILITY DISTRICT STANDARD DETAIL SHEET IS AUTHORIZED FOR USE IN THIS PROJECT BY THE ENGINEER WHOSE SEAL APPEARS ON THIS SHEET. THIS ENGINEER IS ALSO CERTIFYING THAT THE CONTENT OF THE DETAILS AND NOTES ON THIS SHEET HAVE NOT BEEN ALTERED FROM THAT RECEIVED FROM MUSTANG SPECIAL UTILITY DISTRICT.





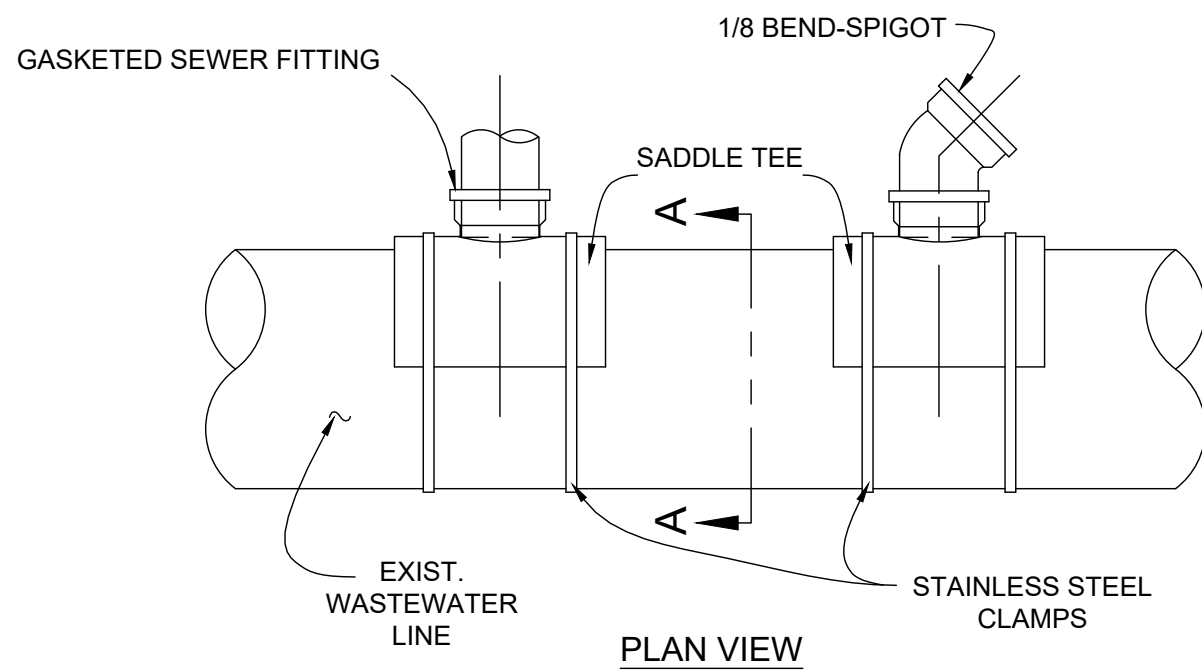
**WASTEWATER PIPE LINE EMBEDMENT  
DETAIL PVC SDR-26 & SDR-35**  
N.T.S.



| NORMAL SIZE OF PIPE IN INCHES | O.D. OF PIPE BELL IN INCHES (PVC-SDR35) | MINIMUM TRENCH WALL CLEARANCE "A" IN INCHES | WIDTH OF TRENCH (X') |                      | WIDTH OF PVMT. REPLACEMENT * (W) CONC. & ASPHALT ** |
|-------------------------------|---|---|----------------------|----------------------|---|
|                               |   |   | MAXIMUM ** IN INCHES | MINIMUM ** IN INCHES |   |
| 4                             | 4.67                                    | 6   | 24                   | 18                   | 42  |
| 6                             | 6.74                                    | 6   | 24                   | 19                   | 48  |
| 8                             | 8.99                                    | 6   | 24                   | 21                   | 48  |
| 10                            | 11.27                                   | 6   | 28                   | 24                   | 48  |
| 12                            | 13.27                                   | 6   | 30                   | 26                   | 50  |
| 15                            | 16.45                                   | 8   | 37                   | 33                   | 57  |
| 18                            | 20.73                                   | 8   | 41                   | 37                   | 61  |
| 21                            | 24.42                                   | 8   | 45                   | 41                   | 65  |
| 24                            | 27.21                                   | 8   | 48                   | 44                   | 68  |
| 27                            | 30.61                                   | 8   | 51                   | 47                   | 71  |

NOTE: \* REFER TO THE PLANS FOR SPECIFIED WIDTH OF REPLACEMENT.  
\*\* RECOMMENDED WIDTHS - VARIES BASED ON DEPTH, AND SOIL MATERIAL.

**TABLE OF DIMENSIONS FOR WIDTH OF TRENCH  
AND PAVEMENT REPLACEMENT**

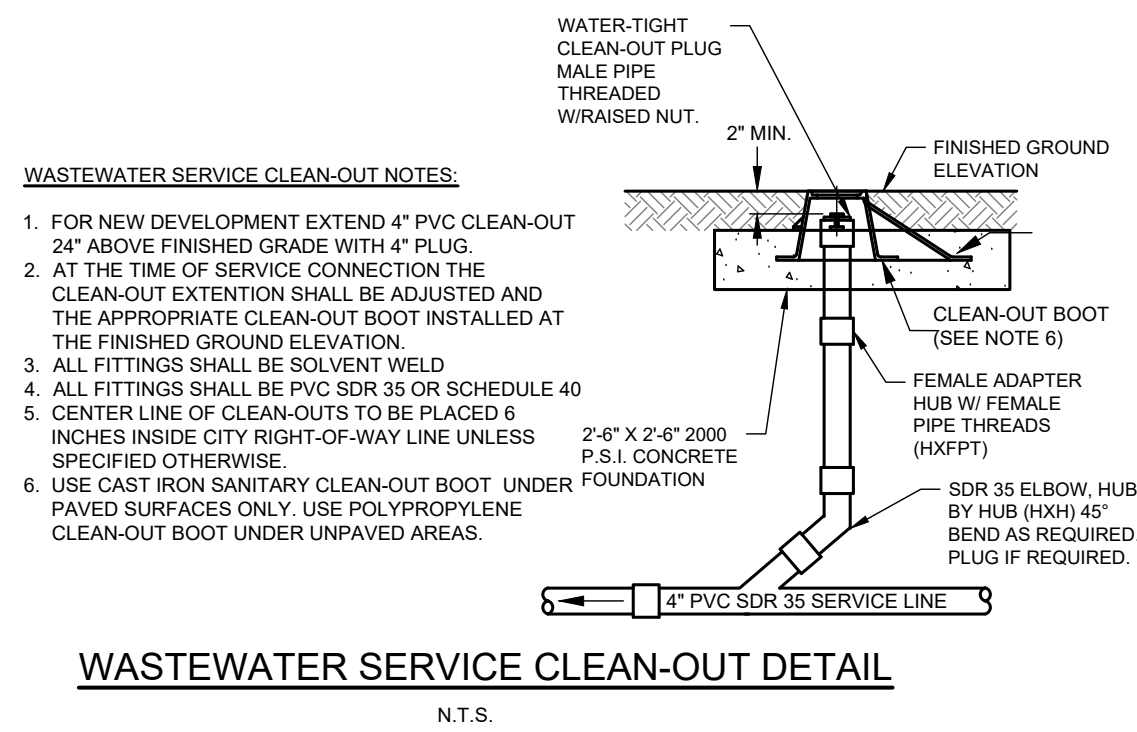
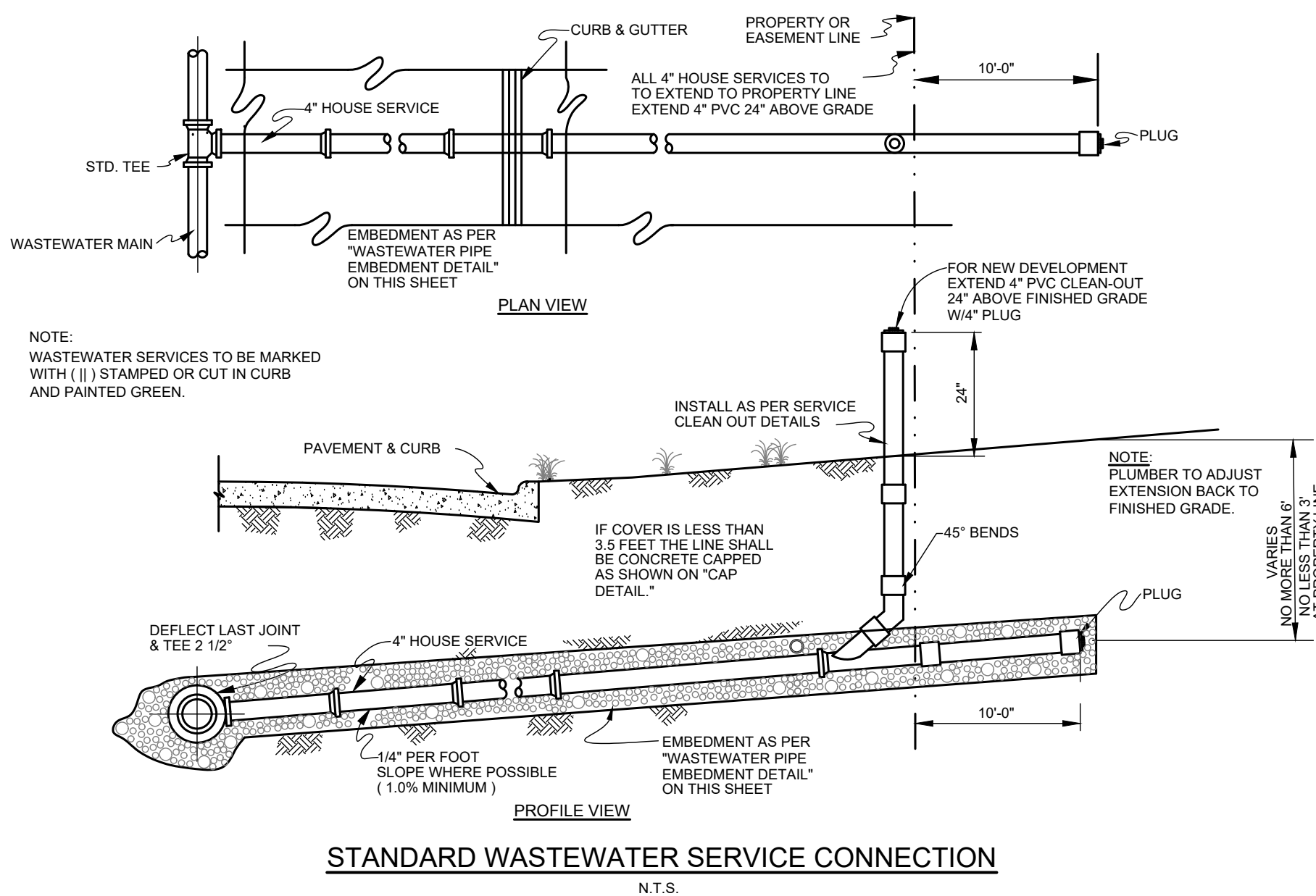


| SADDLE TEE |       |       |       |       |
|------------|-------|-------|-------|-------|
| PART NO.   | SIZE  | L1    | H     | P     |
| 52635      | 8"X6" | 5.625 | 5.659 | 1.448 |

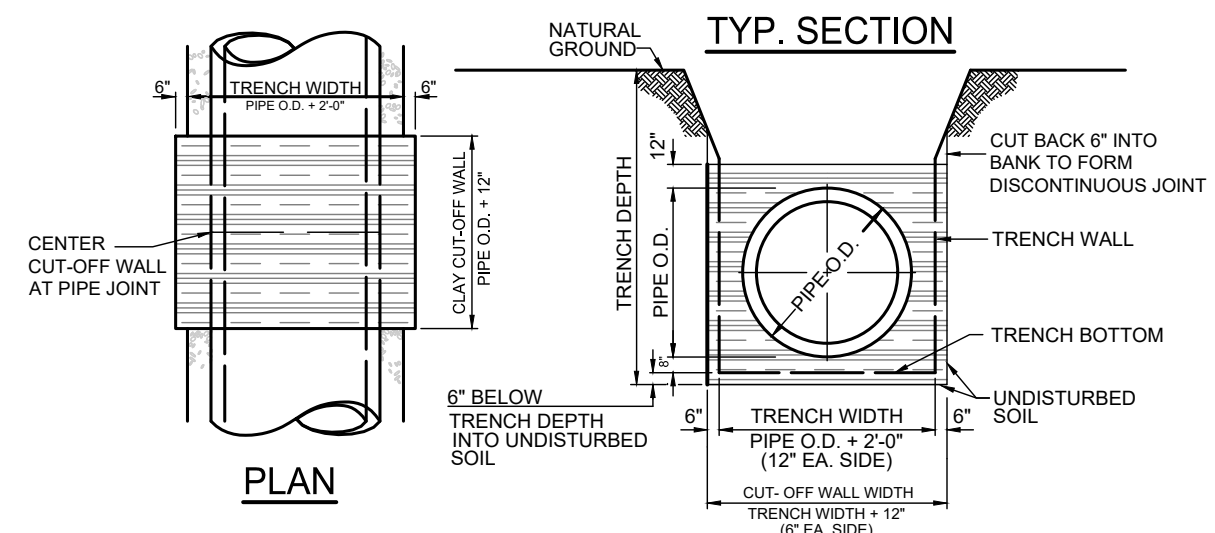
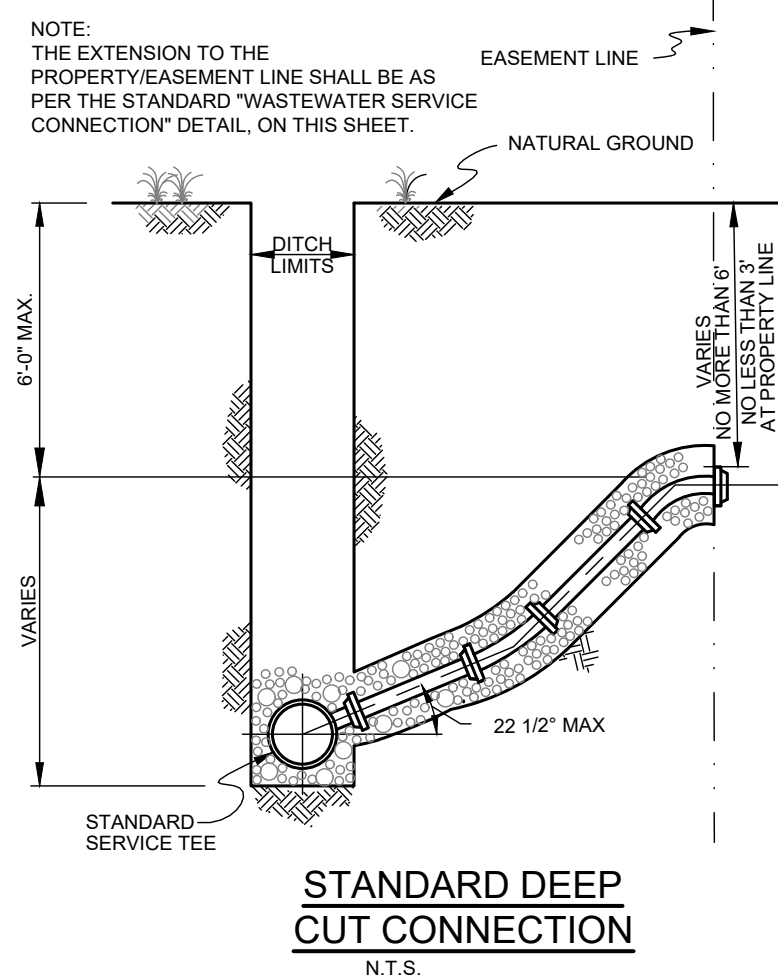
| PLASTIC TRENDS INC. - 1/8 BEND - SPIGOT |      |        |       |       |       |
|---|------|--------|-------|-------|-------|
| PART NO.                                | SIZE | A      | B     | C     | D     |
| G 406                                   | 6    | 11.270 | 6.146 | 1.870 | 6.090 |

**GASKETED SEWER FITTING FOR SEWER  
SERVICE CONNECTIONS TO EXISTING MAINS**  
N.T.S.

- NOTES:
1. FLEXIBLE SADDLE TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS.
  2. SADDLE TEE SHALL BE ORIENTATED 45° TO MAIN.
  3. EXCAVATE AROUND EXISTING 8-INCH PIPE, EXPOSING SUFFICIENT ROOM FOR S.S. CLAMPS.
  4. THOROUGHLY CLEAN AND DRY THE MATING SURFACE WITH RAG OR PAPER TOWEL MAKE SURE THEY ARE FREE OF DUST AND MOISTURE.
  5. MARK THE SIZE OF THE HOLE TO BE CUT USING THE GASKET SKIRT OR THE SADDLE ITSELF AS THE TEMPLATE.
  6. SAW OUT THE SECTION OF THE PIPE WHERE THE SADDLE WILL BE LOCATED, WITH A SABER OR KEY HOLE SAW.
  7. TEST TO MAKE SURE SADDLE FITS HOLE PROPERLY.
  8. SERVICE PIPE SHALL NOT EXTEND MORE THAN ONE-HALF INCH INTO THE MAIN.
  9. PLACE GASKET SKIRT AND SADDLE OVER OPENING AND TIGHTEN BAND CLAMPS EVENLY UNTIL SADDLE IS FIRMLY ATTACHED TO THE PIPE. APPLY PRESSURE ON THE SADDLE AGAINST THE PIPE WHILE TIGHTENING THE CLAMPS AS INDICATED ABOVE. DO NOT OVER TIGHTEN. DO NOT STRIP THREAD.
  10. REPLACE THE BEDDING AND BACKFILL IN ACCORDANCE WITH THE TRENCH EMBEDMENT DETAIL.



- WASTEWATER SERVICE CLEAN-OUT NOTES:**
1. FOR NEW DEVELOPMENT EXTEND 4" PVC CLEAN-OUT 24" ABOVE FINISHED GRADE WITH 4" PLUG.
  2. AT THE TIME OF SERVICE CONNECTION THE CLEAN-OUT EXTENSION SHALL BE ADJUSTED AND THE APPROPRIATE CLEAN-OUT BOOT INSTALLED AT THE FINISHED GROUND ELEVATION.
  3. ALL FITTINGS SHALL BE SOLVENT WELD
  4. ALL FITTINGS SHALL BE PVC SDR 35 OR SCHEDULE 40
  5. CENTER LINE OF CLEAN-OUTS TO BE PLACED 6 INCHES INSIDE CITY RIGHT-OF-WAY LINE UNLESS SPECIFIED OTHERWISE.
  6. USE CAST IRON SANITARY CLEAN-OUT BOOT UNDER PAVED SURFACES ONLY. USE POLYPROPYLENE CLEAN-OUT BOOT UNDER UNPAVED AREAS.



- CLAY CUT-OFF WALL NOTES:**
1. CLAY CUT-OFF WALLS SHALL BE CONSTRUCTED AT 250 FOOT INTERVALS ALONG ALL WASTEWATER MAIN INSTALLATIONS BETWEEN MANHOLES.
  2. THE CLAY CUT-OFF WALL SHALL BE PLACED AT THE MID POINT OF THE LENGTH OF THE PIPE BEING PLACED, BUT NOT AT A LOCATION WHERE A LATERAL OR SERVICE CONNECTS TO THE MAIN. THE MINIMUM CLEARING IS 10 FEET.
  3. MATERIAL FOR CLAY CUT-OFF WALL TO BE CLEAN MATERIAL WITH NO LUMPS LARGER THAN 3". CLAY TO HAVE P.L. OF 30 TO 40. MATERIAL TO BE PLACED IN 6" LIFTS, MOISTENED TO OPTIMUM MOISTURE CONTENT AND COMPACTED WITH HAND HELD MECHANICAL TAMPERS, WITHOUT DAMAGING THE PIPE.

**CLAY CUT-OFF WALL**  
N.T.S.

| NO. | REVISION | BY | DATE |
|-----|----------|----|------|
|     |          |    |      |
|     |          |    |      |
|     |          |    |      |



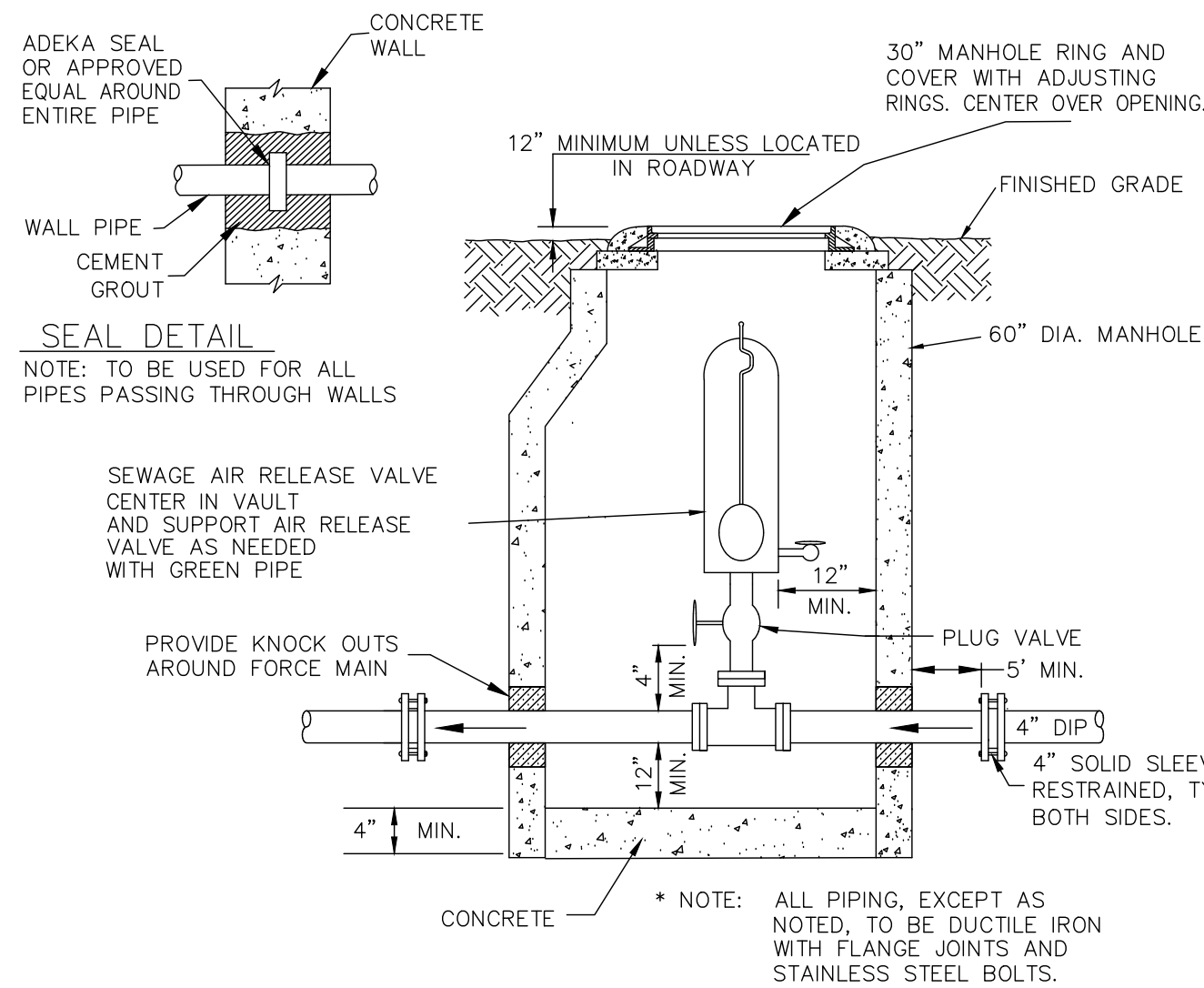
**MUSTANG SPECIAL  
UTILITY DISTRICT**

APPROVED BY MSUD GENERAL MANAGER: Chris Boyd DATE: 7/27/2020

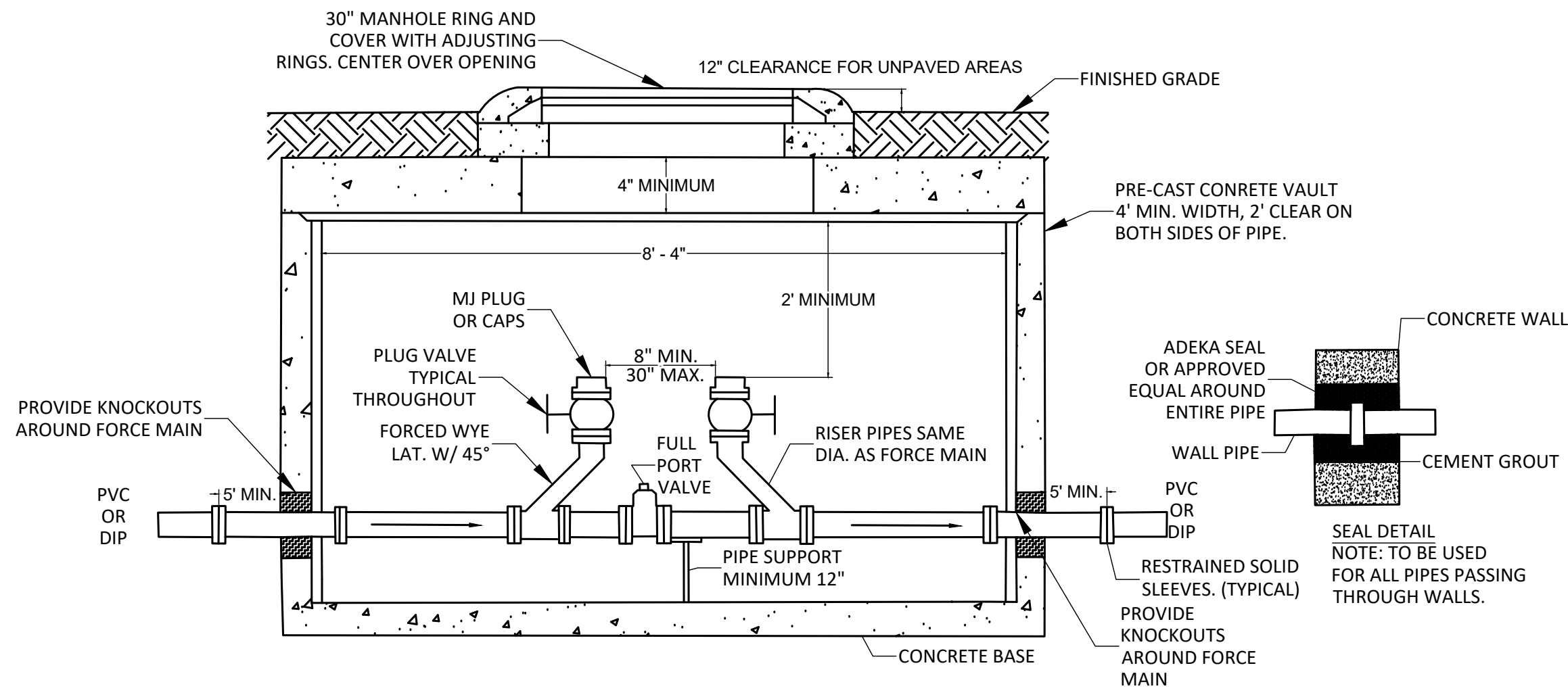
**WASTEWATER STANDARD DETAILS (1 OF 2)**

CERTIFICATION:  
THIS MUSTANG SPECIAL UTILITY DISTRICT STANDARD DETAIL SHEET IS AUTHORIZED FOR USE IN THIS PROJECT BY THE ENGINEER WHOSE SEAL APPEARS ON THIS SHEET. THIS ENGINEER IS ALSO CERTIFYING THAT THE CONTENT OF THE DETAILS AND NOTES ON THIS SHEET HAVE NOT BEEN ALTERED FROM THAT RECEIVED FROM MUSTANG SPECIAL UTILITY DISTRICT.



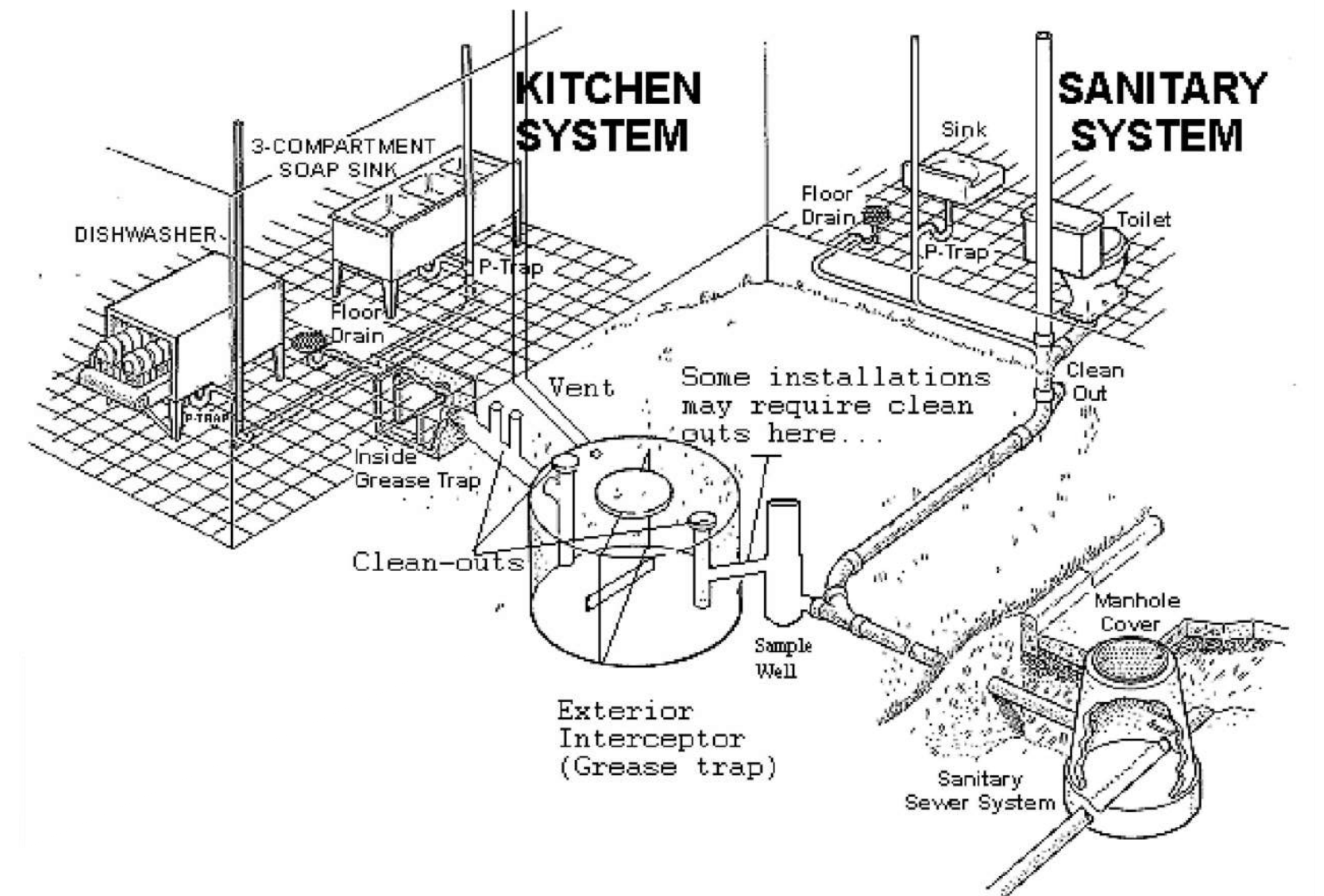


**SEWER AIR RELEASE VALVE**  
N.T.S.



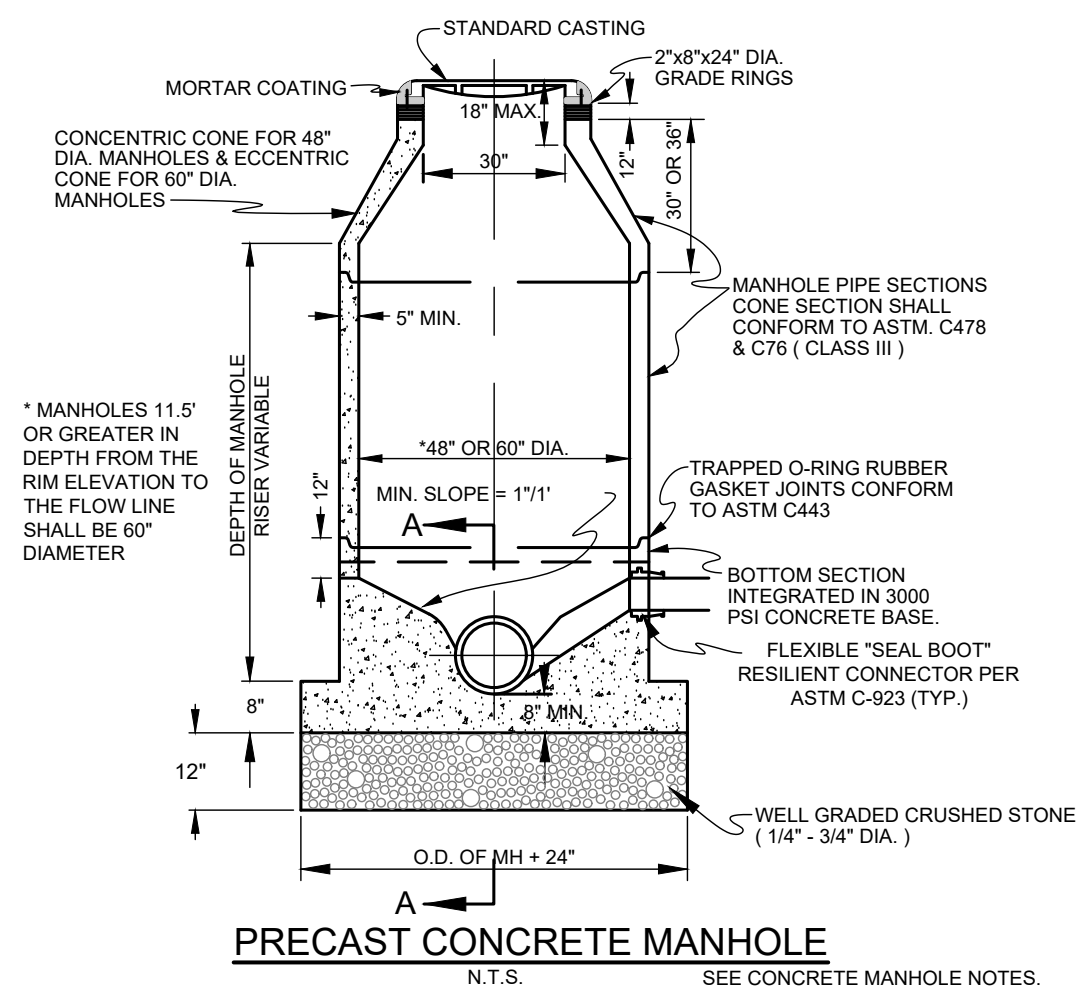
- NOTES:
1. ALL PIPING 4" AND LARGER IN CLEAN-OUT CHAMBER, EXCEPT AS NOTED, TO BE DUCTILE IRON CONNECTED WITH FLANGED JOINTS AND STAINLESS STEEL BOLTS.
  2. ALL VAULTS DEEPER THAN 5' MUST HAVE STAINLESS STEEL LADDER BOLTED IN PLACE.

**TWO-WAY FORCE MAIN CLEAN-OUT**  
N.T.S.

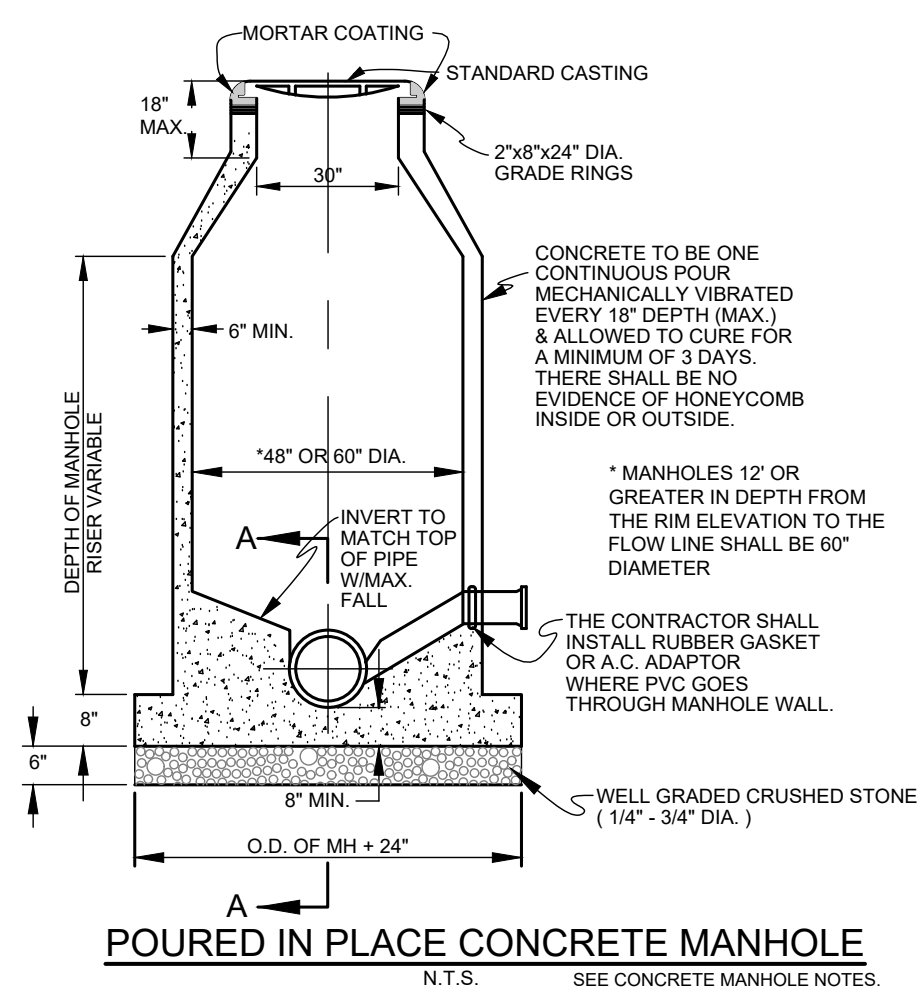


**Typical Plumbing Layout**  
N.T.S.

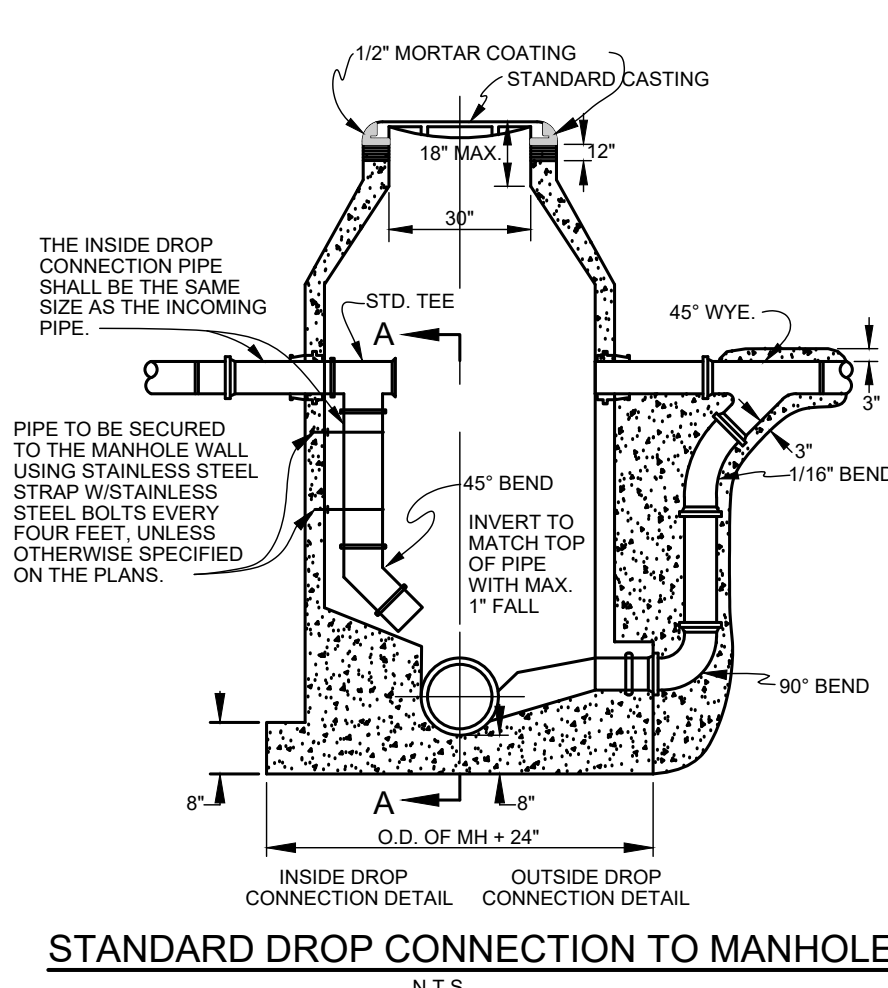
NOTE: MUSTANG SPECIAL UTILITY DISTRICT REQUIRES RESTAURANTS, FOOD PROCESSING FACILITIES, AUTOMOTIVE REPAIR FACILITIES, CAR WASHES, COMMERCIAL LAUNDRIES, AND ALL OTHER FACILITIES THAT THE DISTRICT DEEMS NECESSARY TO INSTALL AND MAINTAIN GREASE OR GRIT TRAPS. IT IS THE RESPONSIBILITY OF THE GENERATORS TO ENSURE THAT THEIR GREASE TRAPS, AND THE WASTEWATER DISCHARGED FROM THEM, ARE IN COMPLIANCE WITH ALL DISTRICT REQUIREMENTS.



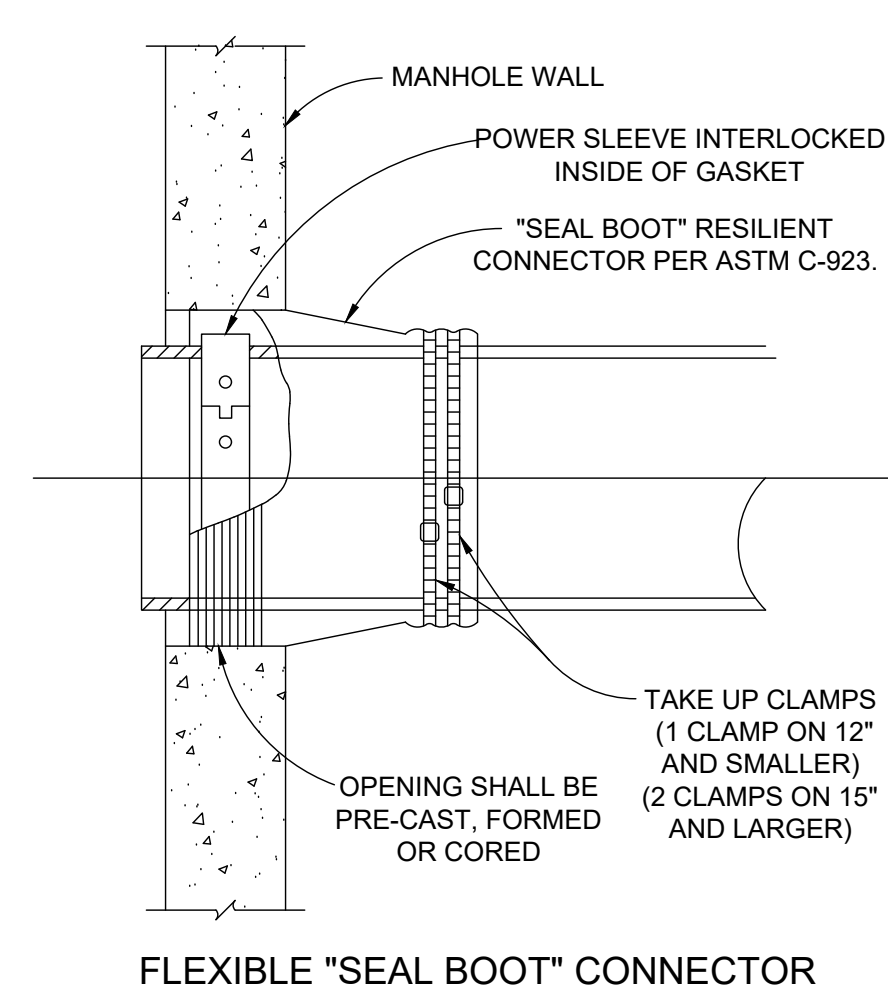
**PRECAST CONCRETE MANHOLE**  
N.T.S. SEE CONCRETE MANHOLE NOTES.



**POURED IN PLACE CONCRETE MANHOLE**  
N.T.S. SEE CONCRETE MANHOLE NOTES.



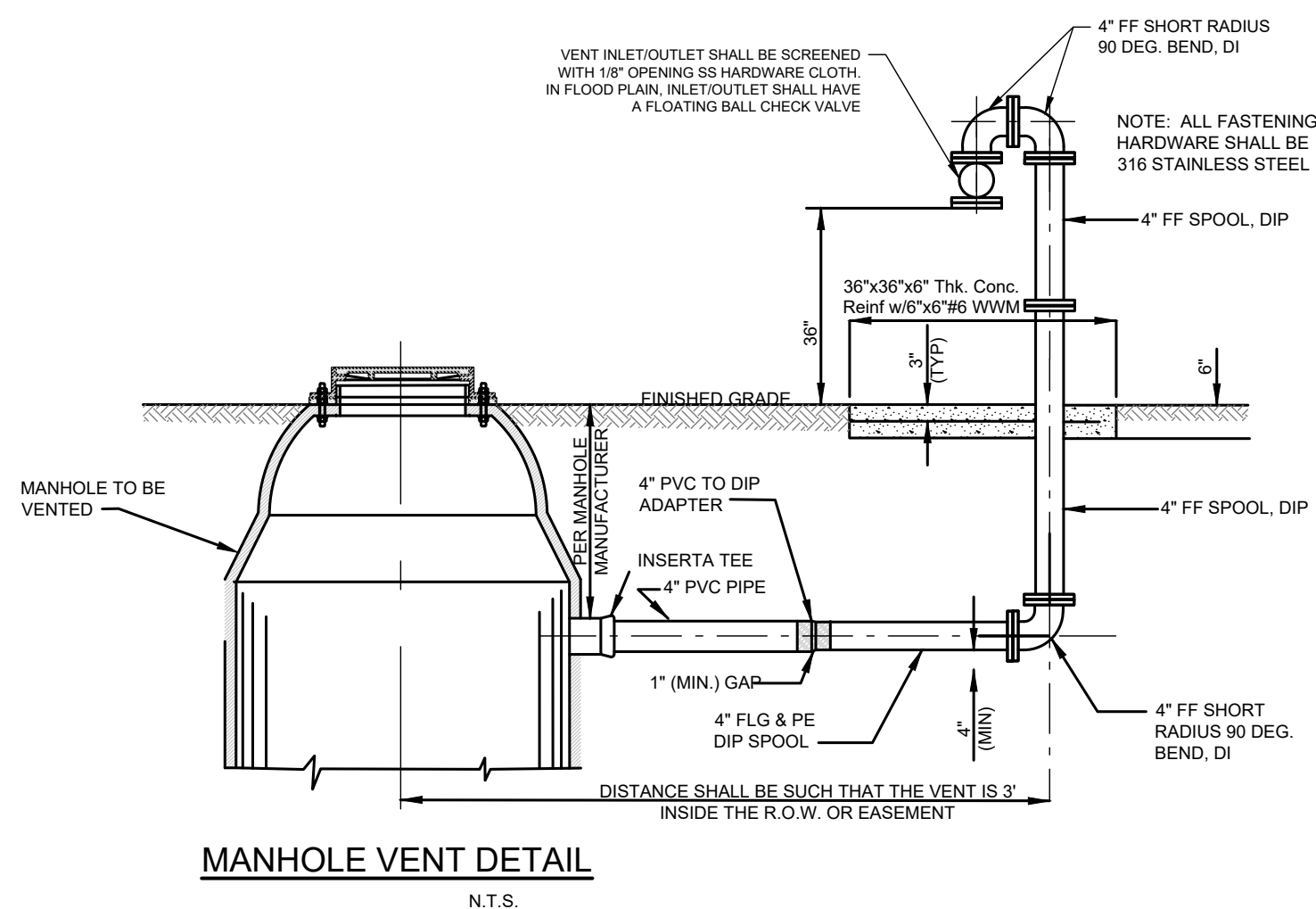
**STANDARD DROP CONNECTION TO MANHOLE**  
N.T.S.



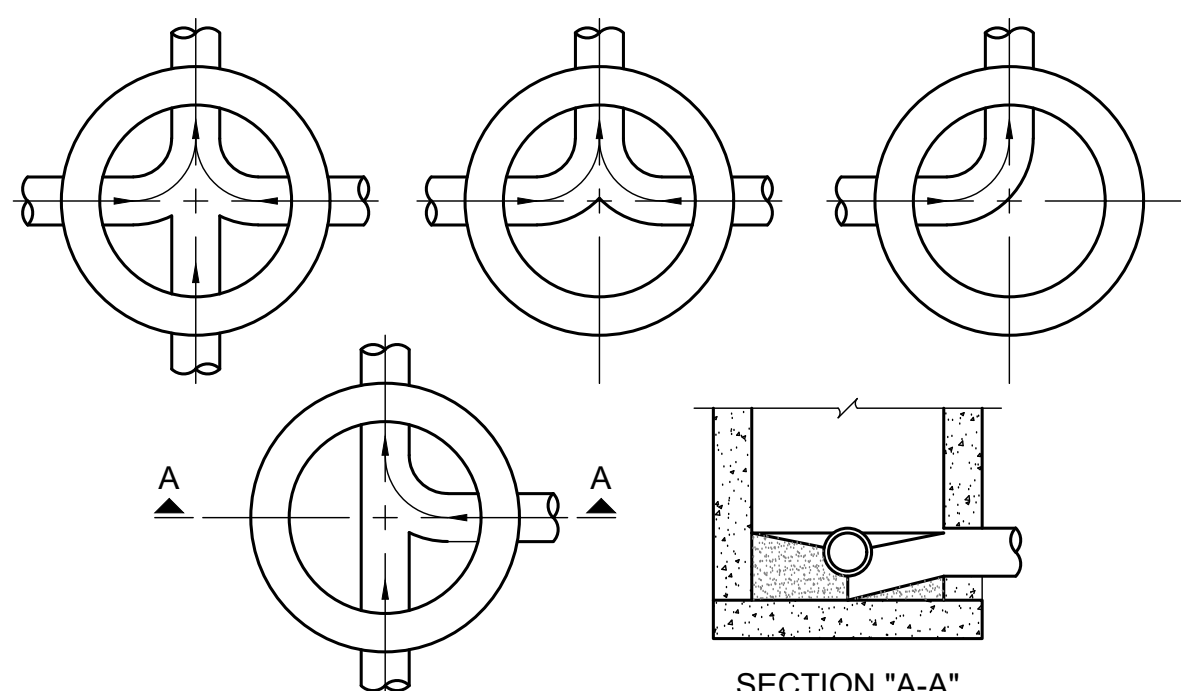
**FLEXIBLE "SEAL BOOT" CONNECTOR**  
N.T.S.

**CONCRETE MANHOLE NOTES:**

1. CONCRETE FOR ALL PRECAST AND POURED IN PLACE MANHOLES SHALL BE 6.5 SACK, 4200 P.S.I. SULPHATE RESISTANT CONCRETE.
2. THE DIAMETER OF THE CONCRETE BASE SHALL NOT BE LESS THAN THE INSIDE DIAMETER OF THE MANHOLE PLUS 2 FT.
3. STEPS SHALL NOT BE INSTALLED IN MANHOLE.
4. ALL NEW MANHOLES SHALL BE MARKED WITH "MH" STAMPED OR CUT IN THE CURB.
5. USE DROP CONNECTIONS WHEN CONNECTING LINE EXCEEDS 24" ABOVE THE MANHOLE FLOWLINE.
6. USE OUTSIDE DROP CONNECTIONS ON ALL NEW MANHOLES.
7. USE INSIDE DROP CONNECTION ON EXISTING MANHOLES ONLY.
8. PROVIDE RAIN PANS INTEGRATED WITH RIM.
9. MANHOLES IN OFFSITE/UNPAVED AREAS SHALL BE SET WITH TOP OF MANHOLE 12" ABOVE FINISHED GRADE (CANNOT BE ACHIEVED WITH GRADE RINGS).
10. MANHOLES IN OFFSITE/UNPAVED AREAS ALL SHALL HAVE TYPE "S" RING AND COVER AND MAINTAIN MINIMUM 12" CLEARANCE WITHOUT GRADE RINGS.
11. ALL MANHOLE LADDERS MUST BE STAINLESS STEEL AND BOLTED IN PLACE.

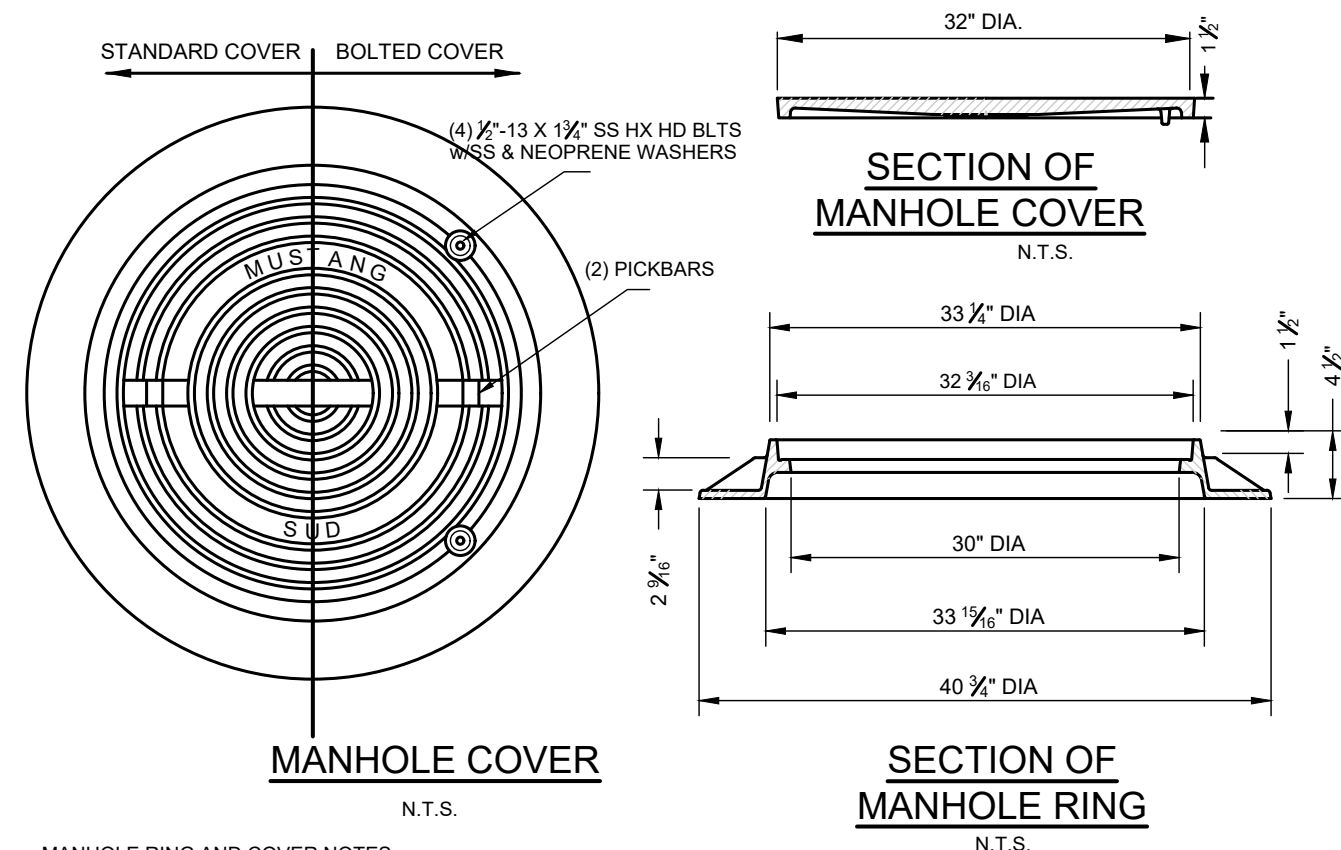


**MANHOLE VENT DETAIL**  
N.T.S.



- NOTES:
1. INVERT CHANNELS TO BE CONSTRUCTED FOR SMOOTH FLOW WITH NO OBSTRUCTIONS.
  2. SPILLWAYS SHALL BE CONSTRUCTED BETWEEN PIPES WITH DIFFERENT INVERT ELEVATIONS PROVIDING FOR SMOOTH FLOW.
  3. CHANNELS FOR FUTURE CONSTRUCTIONS (STUBS) SHALL BE CONSTRUCTED, FILLED WITH SAND, AND COVERED WITH 1" OF MORTAR.
  4. SLOPE MANHOLE ITSELF WITH A 1/2 SLOPE FROM MANHOLE WALL TO CHANNEL.
  5. INVERT SHALL BE A MINIMUM OF 1/2 THE DIAMETER OF THE LARGEST PIPE OR 4" DEEP.

**MANHOLE FLOOR PLAN**  
N.T.S.



- MANHOLE RING AND COVER NOTES:
1. MANHOLE LIDS SHALL HAVE PICK SLOTS ONLY.
  2. MH RING & COVERS SHALL BE HEAVY DUTY LOAD RATED CONFORMING TO AASHTO M-306.

| NO. | REVISION | BY | DATE |
|-----|----------|----|------|
|     |          |    |      |
|     |          |    |      |
|     |          |    |      |

**MUSTANG SPECIAL UTILITY DISTRICT**

APPROVED BY MSUD GENERAL MANAGER: Chris Boyd

DATE: 7/27/2020

**WASTEWATER STANDARD DETAILS (2 OF 2)**

CERTIFICATION: THIS MUSTANG SPECIAL UTILITY DISTRICT STANDARD DETAIL SHEET IS AUTHORIZED FOR USE IN THIS PROJECT BY THE ENGINEER WHOSE SEAL APPEARS ON THIS SHEET. THIS ENGINEER IS ALSO CERTIFYING THAT THE CONTENT OF THE DETAILS AND NOTES ON THIS SHEET HAVE NOT BEEN ALTERED FROM THAT RECEIVED FROM MUSTANG SPECIAL UTILITY DISTRICT.





# COUNCIL AGENDA BRIEFING SHEET

---

Meeting Date:

May 17, 2023

Agenda Item:

Discuss and consider items related to the Cross Roads Retail Addition, Block A, Lots 7R1-R2 and 7R8 generally described as property located north of US Hwy 380 and east of Walmart Dr. in the Villages of Cross Roads Commercial development within the Town of Cross Roads:

- a. Replat application (2023-0306-01FPLAT)
- b. Technical Site Plan Application (2023-0306-02TSP)

Prepared by:

Rodney Patterson, Building Official

Description:

Applicant Doug Burr submitted a replat application on behalf of property owner Sage Cross Roads LLC. for the Cross Roads Retail Addition on March 6, 2023. The purpose of the submittal is to replat a previously re-platted 18.844 acre lot (7R1-R1 Block A) into 2 lots. Lots 7R8, a 1.548 lot to be developed for a future Dollar Tree retail store and 7R1-R2 (remainder of lot 7R1-R1) Block A. The applicant has also submitted a technical site plan for a Dollar Tree on the proposed Lot 7R8. The Town Engineer performed a technical review of the replat application, construction drawings and technical site plan on March 21, 2023. Comments were provided back to the applicant and a resubmittal was made on March 24, 2023. On March 27, 2023, the applicant requested that staff move consideration of the replat to the May 9<sup>th</sup> Planning and Zoning meeting in order to allow the applicant additional time to complete the required revisions.

The Town Engineer provided a third review comments on May 8<sup>th</sup> indicating all outstanding comments had been addressed.

Recommended Action:

The applicant has addressed all of the requirements of the Town's Subdivision Regulations, as such, Staff is recommending approval.

Planning and Zoning

The Planning and Zoning Commission considered the replat application application at their May 9, 2023 meeting and unanimously recommended approval.

Attachments:

Engineer's Comments (3<sup>rd</sup> Review) – May 8, 2023  
Application and supporting documents

Cross Roads Retail Addition, Block A, Lots 7R1-R2 and 7R8 - (2023-0306-01FPLAT)

US 380 and Walmart Drive





May 8, 2023  
AVO 43608.001

Ms. Kristi Gilbert  
Town Administrator  
Town of Cross Roads

Re: **Dollar Tree – Drainage Study/Downstream Assessment 3<sup>rd</sup> Review**

Dear Ms. Gilbert,

Halff Associates, Inc. was requested by the Town of Cross Roads to provide a review of the drainage study and downstream assessment in support of replating for the Dollar Tree development (Lots 7R8 and 7R1-R2). The drainage study prepared by Kimley Horn and Associates Inc. was submitted on March 07, 2023 and comments were provided March 20, 2023. A second submittal was received on March 24, 2023 and comments were provided April 9, 2023. A third submittal was received on April 21, 2023.

We have completed our review and offer the following comments. Please refer to the Denton County Subdivision Rules and Regulations dated July 2009 for drainage criteria; hereafter referred to as Criteria Manual.

### **General**

1. Please address comments for replat and plans provided separately. Please note, an accepted drainage study is required prior to replat acceptance.

1<sup>st</sup> Review Response: Noted. Please see attached comment response and revised plans. Additionally, KH provided the CLOMR and Fully Developed Flood Study dated February 16, 2007. This study reflects The Village at Cross Roads Commercial and Residential in the fully developed condition (as seen on the Drainage Area Map of the plans) and falls within the 10% watershed rule.

2<sup>nd</sup> Review Comment:

- a. It appears the minimum FFE does not have 2-ft freeboard above the fully developed floodplain at the upstream end of the lot. Please verify and revise.
- b. See comments on the attached plat.

2<sup>nd</sup> Review Response: these minimum finished floors have already been recorded (per the recorded information on the plat). That being said, KH added notes of the new minimum finished floor. It's also worth noting that the proposed finished floor of the building is over 20' higher than this min elevation.

3<sup>rd</sup> Review Response: Addressed.

2. 1<sup>st</sup> – 3<sup>rd</sup> Review Comment: Please address comments on attached markups and provide annotated responses.

1<sup>st</sup> Review Response: Noted. Please see attached revised plans and response annotations.

2<sup>nd</sup> Review Response: Noted. Please see attached revised plans and annotated comment responses.

### **Hydrology and Hydraulics:**

3. Please provide hydrologic calculations for the 2-yr, 5-yr, 10-yr 25-yr 50-yr and 100-yr flood events. Refer to Denton Co Criteria Manual Section IV.1.2.

HALFF ASSOCIATES, INC.

4000 FOSSIL CREEK BOULEVARD  
FORT WORTH, TX 76137-2720

TEL (817) 847-1422  
FAX (817) 232-9784

WWW.HALFF.COM

May 17, 2023 Town Council Agenda Packet 92 of 106



1<sup>st</sup> Review Response: KH provided the CLOMR and Fully Developed Flood Study dated February 16, 2007. Additionally, for the on-site storm drainage, KH added the 2, 5, 10, 25 and 100 year storm events.

2<sup>nd</sup> Review Comment: Addressed.

4. It appears there are proposed discharge outfalls on the east boundary of the property.
  - a. Provide a comparison of existing and proposed flows at each outfall.
  - b. For increases in proposed flow compared to existing conditions, please provide an acceptable outfall (i.e., extend a swale or provide a storm drain outfall to the flowline of the Cantrell Slough).

1<sup>st</sup> Review Response: Noted. The increased flows are consistent with the proposed developed condition on the Drainage Area Map from the Villages at Cross Roads – Commercial and the attached CLOMR and Fully Developed Flood Study. Additionally, KH added rip-rap to both of the proposed curb cuts as a temporary drainage solution. The remainder lot has future development plans and ultimately this Dollar Tree flow will be picked up and routed to the floodplain.

2<sup>nd</sup> Review Comment: Please ensure the riprap at the proposed outfalls on the east end of the property will produce sheet flow conditions for the site discharge (see comments on proposed drainage area map).

2<sup>nd</sup> Review Response: KH has updated the drainage areas to more accurately represent all 3 proposed outfalls to the east end of the property. KH also updated the rip rap to account for a minimum of 10 ft of width for every 1 cfs.

3<sup>rd</sup> Review Response: Addressed.

5. It appears the Village at Crossroads design plans show the fully developed condition of the site and the surrounding area. It seems this map was provided to justify no detention is needed to discharge the fully developed project runoff to the channel.
  - a. Please provide the plan sheets (or record drawings) showing the existing and proposed discharge to the floodplain.
  - b. Please provide the associated RAS model for the Village at Cross Roads development. Demonstrate the proposed Dollar Tree discharge and Lot 7R1-R2 causes no adverse impacts. Also provide the Ultimate conditions RAS plans and supporting report/hydrologic models.

1<sup>st</sup> Review Response: Please see attached CLOMR and Fully Developed Flood Study dated February 16, 2007 which includes the required models. Also, see attached the entire set of Village at Cross Roads - Commercial Record Drawings as seen in the plans.

2<sup>nd</sup> Review Comment: Noted.

6. It appears the storm drain system of the Walmart property is designed to drain 0.95 acres of runoff (6.67 cfs) from the proposed Dollar Tree property.
  - a. Do the Walmart plans account for full development of the Dollar Tree site (western outfall) through the Zone of Influence per the 10% rule? Please add the Zone of Influence for the Dollar Tree western outfall (Drainage Area Y-1) to the Walmart drainage area map.

Ms. Kristi Gilbert  
May 8, 2023  
Page 3 of 3

- b. Please provide the complete set of record plans including storm plan and profile sheets and hydraulic calculations sheets from this plan set. Highlight pertinent information.

1<sup>st</sup> Review Response: Please see attached Record Drawings for Walmart. The Y-1 inlet was specifically sized for a max of 6.67 cfs (which this proposed development is less than or equal to). That being said, the CLOMR and Fully Developed Flood Study and Village at Cross Roads overall plans show this site as developed and within the 10% rule therefore not requiring detention

2<sup>nd</sup> Review Comment: It appears the Walmart plan set does not show the details of the receiving storm drain system that demonstrate adequate capacity. Please include sheet C-24. See comments on sheet C6.01.

2<sup>nd</sup> Review Response: KH was unable to locate c-24 for the villages at cross roads. To our knowledge, the record drawings that were sent over are the only items the development team or town have on file. Per our conversation on 4/14, kh has provided an existing drainage area map and supplemental drainage document detailing this existing 12" pipe. Based on the existing and proposed drainage area maps, today there is 1.4 cfs and the proposed development will release 4.1 cfs into that 12" pipe. Based on the zone of influence, greater than 5.2 acres, kh showed on the supplemental drawings where the record drawings indicated 126.23 in the pipe. KH showed a hydraflow of both the 126.23 and 129.23 cfs in the 54" rcp at 0.5% and shows no adverse impacts on the pipe or hgl above the top of pipe.

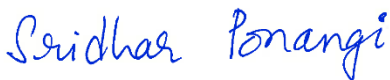
3<sup>rd</sup> Review Response: Noted.

The Engineer shall revise the hydrologic study and/or plans in accordance with the above comments and/or provide a written response that addresses each comment. If you have any questions or need additional information, please do not hesitate to call me at (817) 764-7474.

Sincerely,

**HALFF ASSOCIATES, INC.**

Firm No. 0312



Sridhar Ponangi, P.E., CFM

Drainage Review Consultant for the Town of Cross Roads







# TOWN OF CROSS ROADS PLATTING APPLICATION



DATE: MARCH 6, 2023

APPLICATION #                     

PROJECT:                     

Completed applications will be considered received on  
the due date specified on the yearly Submission Schedule.  
**PLEASE VERIFY MEETING DATES.**

## TYPE OF PLAT

Preliminary ☐                      Replat ☒                       
Final ☐                      Administrative/Amending ☐                     

## PLEASE SPECIFY THE PRIMARY CONTACT

Land Owner Name SAGE CROSSROADS, LLC (ATTN: DAVID FOOR)

Signature David Foore

Applicant Name ELCAN & ASSOCIATES (ATTN: DOUG BURR)

Signature Doug Burr

Project Contact Mailing Address 2862 DAUPHIN STREET, MOBILE, AL 36606

Project Contact Phone 714-929-9331

Email DBURR@ELCANINC.COM

Proposed Project Name REPLAT OF CROSS ROADS RETAIL

Location North of US-380, East of Walmart Drive

Lot/Block Lot 7R8 AND LOT 7R1-R2, BLOCK A

Abstract MARSELLA JONES SURVEY, ABSTRACT NO. 662

DCAD ID 983624

Number of Lots Created 2

## REQUIRED SUBMISSION DOCUMENTS

Fee \$2,000 DEPOSIT + \$530.96 FEES = \$2,530.96

Legal Description INCLUDED

Location Map INCLUDED

Drawings (1 full, 2 half) INCLUDED

Site Plan (Commercial) SEPARATE APPLICATION

Electronic copy of application INCLUDED

Electronic copy of drawings INCLUDED

OTHER (Specify)                     

## APPLICATION EXPLANATION

### Explanation and Description of Request or Project

REPLAT OF LOT 7R1-R2 AND 7R8, BLOCK A ON THE PREVIOUSLY AMENDED REPLAT OF CROSS ROADS RETAIL  
FOR MORE DETAILS ON THE REPLATTED LOTS ALONG US-380, SEE ATTACHED REPLAT AND DEVELOPMENT APPLICATION.

Before submitting an application, the applicant should consult with the Town  
Administrator to discuss the feasibility of the request and any additional requirements.



## Town of Cross Roads

3201 US 380, STE 105 • Cross Roads, Texas 76227 • 940.365.9693

### PROFESSIONAL SERVICES DEPOSIT INFORMATION

All submissions requiring the services of the Town Civil Engineer and/or the Town Attorney, including, but not limited to platting, construction plans and planned development applications, will be required to place a Professional Services Deposit at the time of project submission per Town of Cross Roads Code of Ordinances, Chapter 10, Article 9 FILING FEES AND CHARGES:

#### Sec. 10.09.001 Fee structure

- (a) The town shall determine the base fees and charges for plat review. The town council shall adopt a fee schedule.
- (b) Fees shall be charged on all plats, regardless of action taken by the planning and zoning commission and whether the plat is approved or denied by the town council.
- (c) If the amount deposited is less than the actual cost of reviewing and processing the plat, the balance shall be collected before final consideration of the plat. An administrative fee equal to fifteen percent (15%) of the total of the application fee and processing costs in excess of the original fee will be charged.
- (d) The town may also assess against the applicant, developer or subdivider additional costs incurred by the town for engineering fees and legal fees associated with the review and consideration of a plat in the amount incurred by the town. The payment of these additional fees shall be a condition of plat approval or a prerequisite to the acceptance of any improvements or the issuance of any building permits.

#### Sec. 10.09.002 Procedure

All fees or charges shall be paid in advance and no action of the planning and zoning commission or any other board or agency shall be valid until the fee or charge has been paid to the town.

Applicants will be billed monthly for any professional services incurred in the previous month. The professional services deposit made at time of submission will be in an amount as indicated on the Town's fee schedule and will be used towards the last invoice incurred for the project. Applicant will be billed if last invoice exceeds the Professional Services Deposit. Any remaining balance upon project and invoice completion will be refunded to the applicant.

### PROFESSIONAL SERVICES CONTACT INFORMATION

Name: Doug Burr

Email: dburr@elcaninc.com

Phone: 714-929-9331

Address: 2862 Dauphin Street, Mobile, AL 36606

Project: Dollar Tree

I have read and acknowledge the Professional Services Deposit Process.

Douglas Burr

Digitally signed by Douglas Burr  
Date: 2023.02.16 15:08:18 -06'00'

02/16/2023

Applicant's Signature

Date

**Town of Cross Roads' Use Only**

Date completed application received: \_\_\_\_\_

Amount Deposited: \_\_\_\_\_

Receipt Number: \_\_\_\_\_

Professional Services Deposit Number: \_\_\_\_\_





OWNERS CERTIFICATE

STATE OF TEXAS §  
COUNTY OF DENTON §

WHEREAS SAGE CROSSROADS, LLC, is the owner of a tract of land situated in the Marsella Jones Survey, Abstract No.662, Town of Cross Roads, Denton County, Texas and being all of Lot 7R1-R1, Block A of Replat of Cross Roads Retail, Lots 7R1-R1, 7R6 and 7R7, Block A, an Addition to the Town of Cross Roads, according to the Map or Plat, recorded in Document No. 2021-333 of the Plat Records of Denton County, Texas, and being more particularly described by metes and bounds as follows:

BEGINNING at a 5/8-inch iron rod with a plastic cap, stamped "KHA" found for the easterly, southeast corner of said Lot 7R1-R1, same being the southwest corner of Lot 6 of Oak Grove Retail, an Addition to the Town of Cross Roads, according to the Map or Plat, recorded in Cabinet Y, Page 386 of the Plat Records of Denton County, Texas, same also being on the northerly right of way line of U. S. Highway No. 380, a variable width right of way;

THENCE North 76°40'59" West, along the southerly line of said Lot 7R1-R1 and the northerly right of way line of said U. S. Highway No. 380, a distance of 532.30 feet to a 5/8-inch iron rod with a plastic cap, stamped "KHA" set for a southwest corner of said Lot 7R1-R1, same being the southeast corner of Lot 7R4, Block A of aforesaid Replat of Cross Roads Retail, Lots 7R1-R, 7R3, 7R4 and 7R5, Block A;

THENCE North 58°19'23" East, departing the northerly right of way line of said U. S. Highway No. 380, along a westerly line of said Lot 7R1-R1 and the easterly line of said Lot 7R4, a distance of 155.24 feet to a 5/8-inch iron rod with a plastic cap, stamped "KHA" found for corner;

THENCE North 13°19'01" East, continuing along a westerly line of said Lot 7R1-R1 and the easterly line of said Lot 7R4, a distance of 196.39 feet to a 5/8-inch iron rod with a plastic cap, stamped "KHA" found for northeast corner of said Lot 7R4;

THENCE North 76°40'59" West, along a southerly line of said Lot 7R1-R1, the northerly line of said Lot 7R4 and the northerly line of Lot 7R3, Block A of said Replat of Cross Roads Retail, Lots 7R1-R, 7R3, 7R4 and 7R5, Block A, a distance of 154.42 feet to an "X" cut set for a southwest corner of said Lot 7R1-R, same being the southeast corner of Lot 7R5, Block A of said Replat of Cross Roads Retail, Lots 7R1-R, 7R3, 7R4 and 7R5, Block A;

THENCE North 13°19'01" East, along a westerly line of said Lot 7R1-R1 and the easterly line of said Lot 7R5, a distance of 210.43 feet to a 5/8-inch iron rod with a plastic cap, stamped "KHA" found for the northeast corner of said Lot 7R5;

THENCE North 76°40'59" West, along a southerly line of said Lot 7R1-R1 and the northerly line of said Lot 7R5, a distance of 207.00 feet to a 5/8-inch iron rod with a plastic cap, stamped "KHA" found for the northwest corner of said Lot 7R5;

THENCE South 13°19'01" West, along an easterly line of said Lot 7R1-R1 and the westerly line of said Lot 7R5, a distance of 217.56 feet to an "X" cut found for a southeast corner of said Lot 7R1-R1, same being on the northerly line of Lot 7R6, Block A of said Replat of Cross Roads Retail, Lots 7R1-R1, 7R6 and 7R7, Block A;

THENCE North 76°40'22" West, along a southerly line of said Lot 7R1-R1, the northerly line of said Lot 7R6 and the northerly line of Lot 7R7, Block A of said Replat of Cross Roads Retail, Lots 7R1-R1, 7R6 and 7R7, Block A, a distance of 295.86 feet to an "X" cut found for a southwest corner of said Lot 7R1-R1;

THENCE North 13°19'36" East, along a westerly line of said Lot 7R1-R1, the northerly line of said Lot 7R-7 and the easterly line of Lot 7R-2, Block A of the Amended Replat of Cross Roads Retail, Lots 6R, 7R1 and 7R2, Block A, an Addition to the Town of Cross Roads, according to the Map or Plat, recorded in Document No. 2015-183 of the Plat Records of Denton County, Texas, a distance of 215.69 feet to a point for the northeast corner of said Lot 7R2;

THENCE North 76°40'24" West, along a southerly line of said Lot 7R1-R1 and the northerly line of said Lot 7R2, a distance of 205.00 feet to a 5/8-inch iron rod with a plastic cap, stamped "KHA" found for the westerly, southwest corner of said Lot 7R1-R1 and the northwest corner of said Lot 7R2, same being on the easterly line of Lot 4, Block A of the Replat of Cross Roads Retail, an Addition to the Town of Cross Roads, according to the Map or Plat, recorded in Cabinet X, Page 887 of the Plat Records of Denton County, Texas;

THENCE North 13°19'36" East, along the westernmost line of said Lot 7R1-R1 and the easterly line of said Lot 4, a distance of 517.04 feet to a 5/8-inch iron rod with a plastic cap, stamped "KHA" found for the northwest corner of said Lot 7R1-R1 and the easterly, northeast corner of said Lot 4, same being on the southerly line of Block b of the Villages at Crossroads, an Addition to the Town of Cross Roads, according to the Map or Plat, recorded in Cabinet X, Page 889 of the Plat Records of Denton County, Texas;

THENCE South 76°41'22" East, along the northerly line of said Lot 7R1-R1 and the southerly line of said Block b, a distance of 1002.66 feet to a 5/8-inch iron rod with a plastic cap, stamped "KHA" found for northeast corner of said Lot 7R1-R1 and the southeast corner of said Block B, same being on the westerly line of Lot 1X, Block A of Hillstone Pointe West, Phase 1, an Addition to the Town of Cross Roads, according to the Map or Plat, recorded in Document No. 2017-475 of the Plat Records of Denton County, Texas;

THENCE South 04°51'37" West, along the easterly line of said Lot 7R1-R1 and the westerly line of said Lot 1X, a distance of 692.04 feet to a 1/2-inch iron rod with a plastic cap, stamped "RPLS 5310" found for the southwest corner of said Lot 1X;

THENCE South 76°39'58" East, along a northerly line of said Lot 7R1-R1 and the southerly line of said Lot 1X, a distance of 134.00 feet to a 5/8-inch iron rod with a plastic cap, stamped "KHA" found for easterly, northeast corner of said Lot 7R1-R, same being the northwest corner of aforesaid Lot 6 of Oak Grove Retail;

THENCE South 00°02'51" East, along the common line of said Lot 7R1-R1 and said Lot 6, a distance of 200.22 feet to an "X" cut found for corner;

THENCE South 13°20'02" West, continuing along the common line of said Lot 7R1-R1 and said Lot 6, a distance of 152.58 feet to the POINT OF BEGINNING and containing 18.844 acres (820,825 square feet) of land, more or less.

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That SAGE CROSSROADS, LLC ("Owner"), acting herein by and through its duly authorized officer, does hereby adopt this plat designating the herein described property as REPLAT OF CROSS ROADS RETAIL, LOTS 7R1-R2 AND 7R8, BLOCK A, an addition to the Town of Cross Roads, Texas (the "Town"), and does hereby dedicate to the Town:

(i) easements for the purposes shown on this plat and for the mutual benefit, use, and accommodation of all public utility entities including the Town providing services to the addition created hereby and desiring to use or using the same.

No buildings or structures shall be constructed or placed upon, or across the easements dedicated herein. The Town and public utility entities shall have the right to remove and keep removed all or parts of any buildings or structures which may in any way endanger or interfere with their respective easements.

This plat approved subject to all platting ordinances, rules, regulations, and resolutions of the Town of Cross Roads, Texas.

WITNESS MY HAND at \_\_\_\_\_, this \_\_\_\_\_ day of \_\_\_\_\_, 2023.

SAGE CROSSROADS, LLC

By: \_\_\_\_\_

\_\_\_\_\_  
Print Name and Title

STATE OF TEXAS §  
COUNTY OF HARRIS §

BEFORE ME, the undersigned authority, a Notary Public in and for said county and state, on this day personally appeared \_\_\_\_\_ of Sage Crossroads, LLC, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein expressed.

Given under my hand and seal of office this the \_\_\_\_\_ day of \_\_\_\_\_, 2023.

\_\_\_\_\_  
NOTARY PUBLIC in and for the STATE OF TEXAS

SURVEYOR'S CERTIFICATE

KNOW ALL MEN BY THESE PRESENTS:  
I, Michael B. Marx, a Registered Professional Land Surveyor in the State of Texas, do hereby certify that I have prepared this plat from an actual on the ground survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision in accordance with Platting Rules and Regulations of the Town of Cross Roads, Denton County, Texas.

\_\_\_\_\_  
Michael B. Marx, R.P.L.S. 5181  
KIMLEY-HORN AND ASSOCIATES, INC.  
6160 Warren Pkwy., Suite 210  
Frisco, Texas 75034  
Phone: (972) 335-3580

PRELIMINARY

THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT

STATE OF TEXAS §  
COUNTY OF COLLIN §

BEFORE ME, the undersigned Authority, A Notary Public in and for said county and state, on this day personally appeared Michael B. Marx, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration thereof expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE

THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2023.

\_\_\_\_\_  
NOTARY PUBLIC in and for the STATE OF TEXAS

REPLAT  
CROSS ROADS RETAIL  
LOTS 7R1-R2 AND 7R8, BLOCK A

2 LOTS CONTAINING 18.844 ACRES  
BEING A REPLAT OF LOT 7R1-R, BLOCK A  
CROSS ROADS RETAIL  
MARSELLA JONES SURVEY, ABSTRACT NO. 662  
TOWN OF CROSS ROADS,  
DENTON COUNTY, TEXAS

March, 2023

Kimley»Horn

6160 Warren Parkway, Suite 210  
Frisco, Texas 75034  
FIRM # 10193822  
Tel. No. (972) 335-3580  
Fax No. (972) 335-3779

| Scale | Drawn by | Checked by | Date      | Project No. | Sheet No. |
|-------|----------|------------|-----------|-------------|-----------|
| -     | MBM      | KHA        | MAR. 2023 | 068296600   | 2 OF 2    |

OWNER:  
Sage Crossroads, LLC  
1520 Oliver Street  
Houston, Texas 77007  
Phone: 713-293-6901  
Contact: David Foor

APPLICANT:  
Kimley-Horn and Associates, Inc.  
100 W. Oak Street, Suite 203  
Denton, Texas 76021  
Phone: 940-287-3620  
Contact: Trey Braswell, P.E.

Recommended for Approval

\_\_\_\_\_  
Chairperson, Planning and Zoning Commission  
\_\_\_\_\_  
Date

Town of Cross Roads, Texas

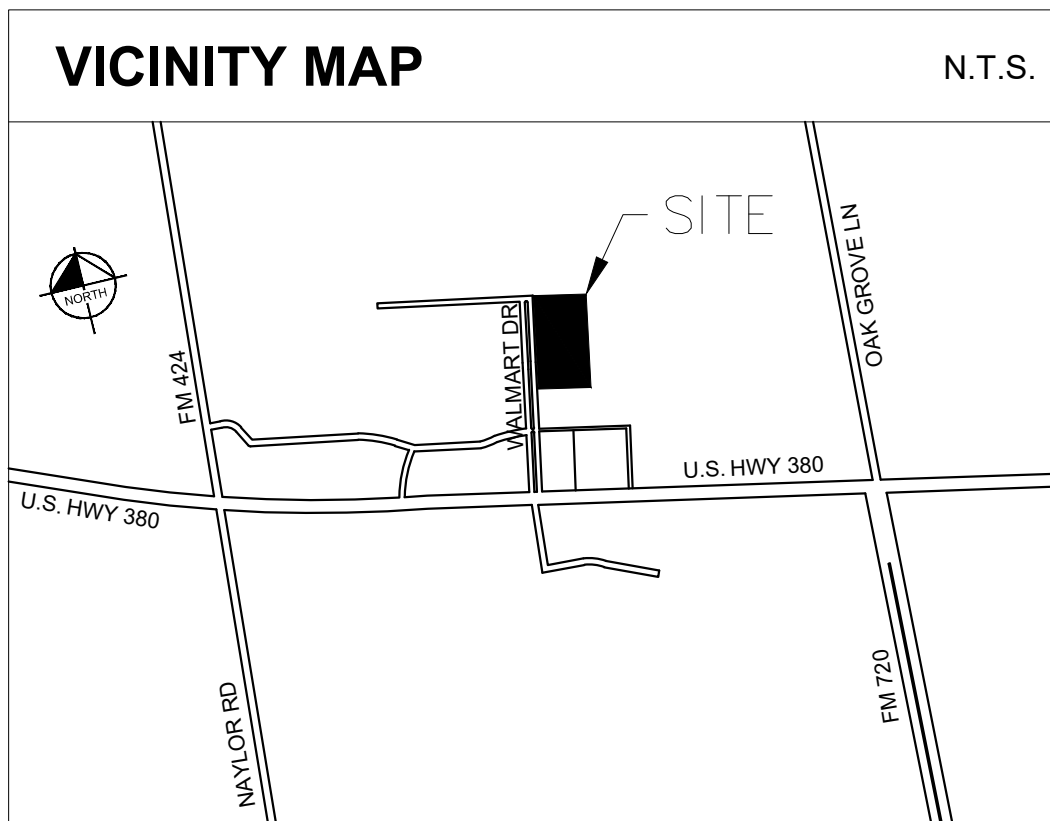
Approved For Construction

\_\_\_\_\_  
Mayor, Town of Cross Roads  
\_\_\_\_\_  
Date

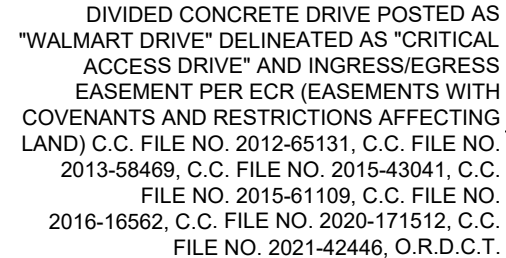
The undersigned, the Town Secretary, of the Town of Cross Roads, Texas, hereby certifies that the foregoing replat of Cross Roads Retail, Lots 7R1-R2 and 7R8, Block A, an Addition to the Town of Cross Roads was submitted to the Town Council on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, and the Council, by formal action, then and there accepted the dedication of streets, alleys, parks, easements, public parks, and water and sewer lines, as shown set forth in and upon said plat, and said Council further authorizes the Mayor to note the acceptance thereof for construction by signing his/her name as herein above described.

Witness my hand this \_\_\_\_\_ day of \_\_\_\_\_, AD. 20\_\_\_\_.

\_\_\_\_\_  
Town Secretary, Town of Cross Roads  
\_\_\_\_\_  
Date







## DETENTION NOTE

## FLOODPLAIN NOTE

# TOWN OF CROSS ROADS SITE PLAN NOTES

- LANDSCAPE AREA

- \* THERE ARE NO EXISTING TREES ON-SITE
- \* REFER TO LANDSCAPE PLAN FOR FINAL DETAILS

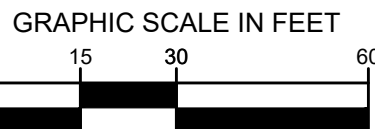


CAUTION!!

THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION AND SHALL NOTIFY THE CONSTRUCTION MANAGER AND ENGINEER OF ANY CONFLICTS DISCOVERED. CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING UTILITIES (SHOWN OR NOT SHOWN) WITHIN SCOPE OF CONSTRUCTION. IF ANY EXISTING UTILITIES ARE DAMAGED, THE CONTRACTOR SHALL REPLACE THEM AT HIS OWN EXPENSE. CALL 811 AT LEAST 72 HOURS PRIOR TO COMMENCING CONSTRUCTION IN VICINITY.

BM#301 "X" SET ON TOP OF CURB INLET LOCATED APPROXIMATELY ±944.5' NORTH OF THE CL OF HIGHWAY 380 AND WALMART DRIVE. THE BM IS APPROXIMATELY ±16.8' EAST OF THE CL OF WALMART DRIVE AND HIGHWAY 380.

BM#204    ☒ SET ON THE NORTH SIDE OF A CONCRETE DRIVE, 370' ± NORTH OF THE NORTH EDGE OF HIGHWAY 380, AND 385' ± EAST OF THE CENTER OF A DIVIDED CONCRETE DRIVE POSTED AS "WALMART DRIVE"  
ELEVATION = 593.03'



|  |   |
|--|---|
|  | PROPERTY LINE   |
|  | ADJACENT PROPERTY LINE  |
|  | PROPOSED CONCRETE CURB  |
|  | EXISTING CURB   |
|  | PROPOSED FIRE LANE & MUTUAL ACCESS EASEMENT                                 |
|  | EXISTING FIRE LANE & MUTUAL ACCESS EASEMENT                                 |
|  | EXISTING TREE   |
|  | PROPOSED PARKING COUNT  |
|  | PROPOSED WATER METER  |
|  | EXISTING FIRE HYDRANT   |
|  | LIGHT TRAFFIC PAVEMENT SECTION.<br>REFERENCE FINAL GEOTECH REPORT.          |
|  | HEAVY TRAFFIC/FIRE LANE PAVEMENT SECTION.<br>REFERENCE FINAL GEOTECH REPORT |
|  | HEAVY TRAFFIC/DUMPSTER PAVEMENT SECTION.<br>REFERENCE FINAL GEOTECH REPORT  |
|  | STANDARD DUTY CONCRETE FOR SIDEWALKS.<br>REFERENCE FINAL GEOTECH REPORT     |
|  | PROPOSED LANDSCAPE AREA   |
|  | PROPOSED SANITARY SEWER   |
|  | EXISTING SANITARY SEWER   |
|  | PROPOSED WATER  |
|  | EXISTING WATER  |
|  | EXISTING STORM SEWER  |
|  | PROPOSED STORM SEWER  |
|  | PROPOSED STORM INLET  |
|  | FIRE HOSE LAY LENGTH  |



|       | APPROVED | DENIED |
|-------|----------|--------|
| STAFF |          |        |

**See the Staff Approval Letter or P&Z Results Memo for any conditions associated with the approval of the project.**

MARSELLA JONES SURVEY, ABSTRACT NO. 662  
TOWN OF CROSS ROADS,  
DENTON COUNTY, TEXAS

APPLICANT/ENGINEER:  
KIMLEY-HORN & ASSOCIATES  
100 W. OAK STREET, SUITE 203  
DENTON, TEXAS 76201  
CONTACT: MACK MATTHEW, P.E.  
PHONE: 972-335-3580

[illegible]

**Kimley»»Horn**  
© 2023 KIMLEY-HORN AND ASSOCIATES, INC.  
100 WEST OAK STREET, SUITE 203, DENTON, TX 76201  
PHONE 940-287-3620  
WWW.KIMLEY-HORN.COM  
TEXAS REGISTERED ENGINEERING FIRM F-928



|                   |                    |                |                   |
|-------------------|--------------------|----------------|-------------------|
| SCALE<br>AS SHOWN | DESIGNED BY<br>ALM | DRAWN BY<br>AM | CHECKED BY<br>MMM |
|-------------------|--------------------|----------------|-------------------|

# SITE PLAN

DOLLAR TREE  
CROSS ROADS RETAIL  
CROSS ROADS TEXAS

|                              |
|------------------------------|
| DATE<br>03/06/2023           |
| PROJECT NO.<br>068296600     |
| SHEET NUMBER<br><b>C1.01</b> |



## COUNCIL AGENDA BRIEFING SHEET

---

Meeting Date:  
May 17, 2023

Agenda Item:  
Discuss and consider a resolution of appointments to the Planning and Zoning Commission.

Prepared by:  
Kristi Gilbert, Town Administrator

Description:  
Planning and Zoning Commissioner Gary Daniels has submitted his resignation for the Planning and Zoning Commission. Additionally, Commissioners Zuczek and Paus were elected to Town Council leaving vacancies on the Commission. Below is a list of current Planning and Zoning Commission Members:

| Position     | Name            | Year Appointed |
|--------------|-----------------|----------------|
| Chair        | Steve Zuczek    | 2022           |
| Vice-Chair   | Chris Paus      | 2022           |
| Commissioner | Scott Bryant    | 2022           |
| Commissioner | David Lawson    | 2022           |
| Commissioner | Gary Daniels    | 2021           |
| Alternate    | Sylvia Phillips | 2021           |
| Alternate    | Bryan Lagano    | 2022           |

Recommended Action:  
Staff recommends approval of a resolution making appointments to the Planning and Zoning Commission to fill the vacancies created by Steve Zuczek, Chris Paus and Gary Daniels.

Attachments:  
Resolution  
Applications (Under separate cover)

**RESOLUTION 2023-\_\_\_\_\_**

**A RESOLUTION OF THE TOWN COUNCIL OF THE TOWN OF CROSS  
ROADS, TEXAS APPOINTING MEMBERS TO SERVE ON THE PLANNING  
AND ZONING COMMISSION.**

**WHEREAS**, pursuant to Chapter 14 of the Town of Cross Roads Code of Ordinances, the Planning & Zoning Commission was created for the Town; and

**WHEREAS**, the Commission is charged with the task of creating ordinances for the Town, and any other duties or authority conferred on it by the Town Council or otherwise granted by state law.

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE TOWN OF CROSS ROADS, TEXAS:**

**SECTION 1.** The following appointments are made to the Cross Roads Planning and Zoning Commission to fill the positions created by Steve Zuczek, Chris Paus and Gary Daniels:

\_\_\_\_\_, Commission Member

\_\_\_\_\_, Commission Member

\_\_\_\_\_, Commission Member

**SECTION 2.** This Resolution shall take effect upon its passage and approval.

**DULY RESOLVED AND ADOPTED** by the Town Council of the Town of Cross Roads, Texas, on this the 17<sup>th</sup> day of May, 2023.

**TOWN OF CROSS ROADS, TEXAS**

\_\_\_\_\_  
T. Lynn Tompkins, Jr., Mayor

**ATTEST:**

\_\_\_\_\_  
Donna Butler, Town Secretary

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Town Attorney



## COUNCIL AGENDA BRIEFING SHEET

---

Meeting Date:  
May 17, 2023

Agenda Item:  
Discuss and consider filling a vacancy on the Municipal Development District.

Prepared by:  
Kristi Gilbert, Town Administrator

Description:  
A vacancy was created on the Municipal Development District with the unexpected passing of Council Member Greg Gaalema in March 2023. Council Member Gaalema's term expires on September 30, 2024. Below is a list of current Municipal Development District Board Members:

| Position | Name           | Term Expires |
|----------|----------------|--------------|
| Place 1  | Vacant         | 9/30/2024    |
| Place 2  | Bill Berry     | 9/30/2023    |
| Place 3  | Paula Paus     | 9/30/2024    |
| Place 4  | John Knox      | 9/30/2023    |
| Place 5  | Ruben Coronado | 9/30/2024    |

Recommended Action:  
Staff recommends approval of a resolution appointing an individual to fill the vacancy of Council Member Greg Gaalema.

Attachments:  
Resolution  
Applications (Under separate cover)

**RESOLUTION 2023-\_\_**

**A RESOLUTION OF THE TOWN COUNCIL OF THE TOWN OF CROSS ROADS,  
TEXAS APPOINTING A MEMBER TO FILL TH UNEXPIRED TERM OF PLACE  
1 ON THE MUNICIPAL DEVELOPMENT DISTRICT.**

**WHEREAS**, pursuant to Chapter 1 of the Town of Cross Roads Code of Ordinances, the Municipal Development District was created for the town; and

**WHEREAS**, the District is charged with the task of recommending grants; acquire, buy, sell, convey, lease and otherwise dispose of property, and any other duties or authority conferred on it by the town council or otherwise granted by state law; and

**WHEREAS**, the Town of Cross Roads desires to designate the person named herein to fill the unexpired term of Greg Gaalema, Place 1 of the District immediately upon adoption of this Resolution.

**NOW, THEREFORE, BE IT RESOLVED BY THE TOWN COUNCIL OF THE TOWN OF CROSS ROADS, TEXAS:**

**Section 1.** The above and foregoing premises are true and correct legislative findings and they are incorporated herein and made a part hereof for all purposes.

**Section 2:** That the following appointment is made to the Cross Roads Municipal Development District:

\_\_\_\_\_, Place 1

Term Expires: September 30, 2024

**Section 3.** That this resolution shall take effective immediately from and after the date of its passage.

**DULY PASSED** by the Town Council of the Town of Cross Roads, Texas, on the 17th day of May, 2023.

**TOWN OF CROSS ROADS, TEXAS**

\_\_\_\_\_  
T. Lynn Tompkins, Jr., Mayor

**ATTEST**

\_\_\_\_\_  
Donna Butler, Town Secretary

**APPROVED AS TO FORM**

---

Matthew C.G. Boyle, Town Attorney