



**NOTICE OF TOWN COUNCIL MEETING
FOR THE TOWN OF CROSS ROADS
MONDAY, MAY 17, 2021 at 7:00 P.M.
AMENDED**

**LOCATION: VIRTUAL and IN PERSON at
1401 FM 424, CROSSROADS, TEXAS 76227**

Or

Join Zoom Meeting

<https://us02web.zoom.us/j/85730994665>

Meeting ID: 857 3099 4665

One tap mobile

+13462487799,,85730994665# US (Houston)

Note: This meeting will be conducted virtually and in-person. Limited seating for members of the public will be available using CDC recommended social distancing measures. Current capacity, maintaining social distancing is 16 people, excluding Council Members and Staff.

1. Call to Order.
2. Roll Call.
3. Invocation – Karen Black
4. Pledge of Allegiance – Kristi Gilbert
5. Presentation to Outgoing Council Member Duke Roberson
6. Issuance of Certificate of Election and Administration of Oath of Office to:
 - a. Dave Meek
 - b. Wendy White-Stevens
 - c. Ron King
7. Council Member's announcements and updates.
8. Mayor's announcements and updates.
9. Committee and Commissions Announcements and Updates.
10. Citizens Input (Items on the agenda and not on the agenda)
If commenting via Zoom, please use the Raise Your Hand feature. Please state your full name before speaking. Please limit your comments to three minutes in duration: you are restricted from passing your time or any portion of unused minutes to another citizen for comment.
11. Updates; Discussion of Same.
 - Town Administrator Announcements and Updates – Kristi Gilbert
 - Building Permits and Development
 - Finance Director – Susan Zambrano
 - Law Enforcement – Chief Edland
 - High Speed Internet – Sharon Baca

12. Presentation on the status of police services for the Town of Cross Roads.
13. Discuss and consider appointment of the Mayor Pro Tem.
14. CONDUCT A PUBLIC HEARING, discuss and consider approval of an Ordinance approving a request by applicant Eikon Consulting Group on behalf of owner Rustic Furniture Warehouse, LLC for a change in zoning from AG – agricultural and C-2 Commercial to PD-Planned Development with a C-2 commercial base zoning for Tracts 69, 69A and 69C, of the RJ Moseley Abstract A0803A, being approximately 14.038 acres generally located at 11701, 11801 and 11901 US 380, Cross Roads, Denton County, Texas.
15. CONDUCT A PUBLIC HEARING, discuss and consider approval of a request a replat of Lots 1-3, Block C of Stone Mountain Estates, Phase 1 into Lot 1R, Block C of Stone Mountain Estates, Phase 1 being comprised of 2.0 acres and Lot 3R, Block C of Stone Mountain Estates, Phase 1 being comprised of 1.352 acres.
16. Discuss and consider approval of a final plat application for the Oak Hill Ranch, Phase 2 located with the Town of Cross Roads. (2021-0405-13FPLAT)
17. Discuss and consider an appeal to a civil penalty in the amount of \$53,550 assessed on Mr. Margarito Espinoza and Imperial Products Supply, LLC. For removing protected trees without a permit on property located at 8801 E US 380.
18. Discuss and consider an amendment to the architectural elevations for a commercial building permit application for property generally located at the northeast corner of FM 424 and US 380 for Bank of America. (2021-0308-04C)
19. Discuss and consider action on an amended technical and site plan/landscape plan for 3000 Moseley Road for 29 Acres. (2021-0308-08TSP)
20. Discuss and consider action on building permit plans for 3000 Moseley Road, Building #900 and #1000. (2021-0308-01C and 2021-0308-02C)
21. Discuss and consider an application for a tree removal permit submitted by Kerry Ainsworth, representing property owner Mike Koenig, for property located at 6755 Mountain Lake Parkway. (2021-0406-03TREE)
22. Consider a resolution appointing individuals to the Planning and Zoning Commission.
23. Discuss and consider action on a resolution relating to the Town of Cross Roads appointed representatives to the Northeast Police Department Commission, including the possibility of replacing current appointed members.
24. Discuss and consider approval of a resolution establishing a regular meeting schedule for 2021.

CONSENT AGENDA

25. Consider approval of the Town monthly financial reports.
26. Consider approval of Town Council Meeting Minutes:
 - a. April 5, 2021 Regular Meeting
 - b. April 8, 2021 Joint Meeting with Krugerville

- c. April 12, 2021 Visioning Meeting
- d. April 19, 2021 Regular Meeting

- 27. Consider approval of a resolution denying the Distribution Cost Recovery Factor application proposed by Oncor.
- 28. Consider approval of a resolution denying the rate change application proposed by CoServ.
- 29. Consider approval of an ordinance providing for the creation of the Cross Roads Police Department.
- 30. Consider a request from Volunteer Enterprises IV, LLC to extend the construction drawings and final replat for Volunteer Enterprises Addition for an additional 180 days.
- 31. Discuss and consider approval of a preliminary plat application for the Pohlman Addition located within the Town of Cross Roads. (2021-0405-10PPLAT)
- ~~32. Discuss and consider approval of a final plat application for the Oak Hill Ranch, Phase 2 located within the Town of Cross Roads. (2021-0405-13FPPLAT)~~

EXECUTIVE SESSION

- 33. The Town Council will convene into Executive Session pursuant to the following:
 - a. Texas Government Code, Section 551.071 (Consultation with Town Attorney) to consult and receive legal advice from the Town Attorney relating to the establishment of the Cross Roads Police Department.
 - b. Texas Government Code, Section 551.072 - Deliberation Regarding Real Property; to deliberate the purchase, exchange, lease, or value of real property if deliberation in an open meeting would have a detrimental effect on the position of the governmental body in negotiations with a third person.
 - c. Texas Government Code, Section 551.074 (Personnel) to deliberate the appointment, employment, evaluation, resignation and duties of:
 - 1. Town Administrator
 - 2. Town Engineer
 - 3. Police Chief
 - 4. Town Attorney
- 34. Take action as may be necessary or appropriate on matters discussed in Executive session.
- 35. Request for future agenda items.

ADJOURN

Future Meetings and Events:

Most scheduled meetings are currently being held virtually by Zoom. All citizens are invited to participate; schedule may change.

- *Town Council Vision Meeting – Wednesday, May 19th, 2021 at 7:00 p.m.*
- *Northeast Police Commission Meeting – May 20th, 2021 at 7:00 p.m.*
- *Municipal Development District Vision Meeting – Tuesday, May 26th, 2021 at 7:00 p.m.*
- *Parks and Recreation Board Vision Meeting – Thursday, May 27th, 2021 at 7:00 p.m.*

- *Planning and Zoning Commission Meeting – June 1st, 2021 at 7:00 p.m.*
- *Parks and Recreation Board Meeting – June 2nd, 2021 at 7:00 p.m.*
- *Town Council Work Session – Monday, June 7th, 2021 at 7:00 p.m.*
- *Community Visioning Event – Wednesday, May 9th, 2021 at 6:00 p.m.*
- *Municipal Development District Meeting – June 10th, 2021 at 7:00 p.m.*
- *Northeast Police Commission Meeting – Thursday, June 17th, 2021 at 7:00 p.m.*
- *Town Council Meeting – Monday, June 21st, 2021 at 7:00 p.m.*

CERTIFICATION

I, the undersigned authority, do hereby certify that this Public Meeting Notice was posted on the official bulletin board at the Town Hall of the Town of Cross Roads, Texas on or before Friday, May 14th, 2021 by 5:00 p.m., in accordance with Chapter 551, Texas Government Code.

As authorized by Section 551.071 of the Texas Government Code, this meeting may be convened into closed executive session for seeking confidential legal advice from the Town Attorney on any agenda item listed herein.

This facility is wheelchair accessible and accessible parking spaces are available. For requests, please contact Town Hall at 940-365-9693. Reasonable accommodations will be made to assist your needs.

Donna Butler, Town Secretary

I certify that the attached notice and agenda of items to be considered by the Town Council of the Town of Cross Roads was removed by me from the front window of the Town of Cross Roads Town Hall, 1401 FM 424, Cross Roads, Texas, on the _____ day of _____, 2021.

_____, Title: _____



COUNCIL AGENDA BRIEFING SHEET

Meeting Date:

May 17, 2021

Agenda Item:

CONDUCT A PUBLIC HEARING, discuss and consider approval of an Ordinance approving a request by applicant Eikon Consulting Group on behalf of owner Rustic Furniture Warehouse, LLC for a change in zoning from AG – agricultural and C-2 Commercial to PD-Planned Development with a C-2 commercial base zoning for Tracts 69, 69A and 69C, of the RJ Moseley Abstract A0803A, being approximately 14.038 acres generally located at 11701, 11801 and 11901 US 380, Cross Roads, Denton County, Texas.

Prepared by:

Kristi Gilbert, Interim Town Administrator

Description:

On April 5, 2021, applicant Eikon Consulting Group submitted an application to rezone 14.038 acres of land from AG-Agricultural and C-2 Commercial to a PD-Planned Development with a C-2 Commercial base zoning district. Attached is a location map and a concept plan to be used as an exhibit to the PD only. Note that the concept plan has not been reviewed for technical requirements.

In accordance with Section 14.03.042 of the Town's Code of Ordinances, property owners within two hundred (200) feet of the application have been notified by mail and a notice has been published in the Town's newspaper. As of April 21, 2021, the Town has received no comments on the proposed zoning change.

Staff's initial comments dated April 14, 2021 are attached for review. The applicant has submitted additional information to include in the Planned Development documents. The primary reason for submitting for a planned development is to allow for an access easement to the rear of the property, rather than the installation of a street with full right-of-way width. Existing buildings on-site are located too close to each other to allow for full right-of-way, but can accommodate access with the required fire lane width. Additionally, there are future plans to expand Rustic Furniture's sales operations to include a clearance sales/warehouse behind the store.

The applicant has requested wholesale distribution and warehouse uses be allowed in as part of the PD and specified that such uses would be exempt from the building articulation and masonry requirements set forth in Section 14.03.008 of the Code of Ordinances.

Planning and Zoning Recommendation

The Planning and Zoning Commission considered the proposed plan at their May 4, 2021 meeting and recommended approval unanimously.



COUNCIL AGENDA BRIEFING SHEET

Recommended Action:

Town Staff would recommend approval of the request for the PD zoning which would allow for the ability to develop the rear of the property through fire lane access only. It is at the discretion of the Planning and Zoning Commission whether to approve the Wholesale Distribution and Warehouse uses and exempt the uses from the building articulation requirements.

Attachments:

Proposed Ordinance

Staff Review – 4/14/21

Application for Planned Development

Location Map

Proposed Concept Plan (For Exhibit Purposes Only – No Technical Review has been Performed)

Proposed Development Standards

Public Hearing Notice

TOWN OF CROSS ROADS
ORDINANCE NO. 2021 _____

AN ORDINANCE OF THE TOWN OF CROSS ROADS, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE AND MAP OF THE TOWN OF CROSS ROADS, TEXAS, AS HERETOFORE, AMENDED, BY GRANTING A CHANGE IN ZONING TO PLANNED DEVELOPMENT “PD” DISTRICT FOR APPROXIMATELY 14.083 ACRES OF LAND SITUATED SOUTH OF STATE HIGHWAY 380 AND APPROXIMATELY 1,279 FEET EAST OF NAYLOR ROAD, GENERALLY DESCRIBED AS TRACTS 69, 69A AND 69C OF THE M. JONES ABSTRACT NO. 0662A AND MORE PARTICULARLY DESCRIBED IN EXHIBIT “A”, IN THE TOWN OF CROSS ROADS, DENTON COUNTY, TEXAS; PROVIDING DEVELOPMENT STANDARDS; PROVIDING A REPEALING CLAUSE; PROVIDING A SAVINGS CLAUSE, PROVIDING A SEVERABILITY CLAUSE; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND (\$2,000.00) DOLLARS FOR EACH OFFENSE; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the Planning and Zoning Commission of the Town of Cross Roads and the governing body of the Town of Cross Roads, in compliance with state laws with reference to amending the Comprehensive Zoning Ordinance, have given the requisite notice by publication and otherwise, and after holding due hearings and affording a full and fair hearing to all property owners generally, the governing body of the Town of Cross Roads is of the opinion that said zoning ordinance should be amended as provided herein, Now, Therefore,

BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF CROSS ROADS, TEXAS:

SECTION 1. That the Comprehensive Zoning Ordinance and Map of the Town of Cross Roads, Texas, heretofore duly passed by the governing body of the Town of Cross Roads, as heretofore amended, be and the same are hereby amended by granting a change in zoning to Planned Development “PD” District for approximately 14.083 acres of land situated south of State Highway 380 and approximately 1,279 feet east of Naylor Road, generally described as Tracts 69, 69A and 69C of the M. Jones Abstract No. 0662A and more particularly described in Exhibit “A”, attached hereto and incorporated herein (hereinafter the “Property”).

SECTION 2. That the development standards and regulations set forth herein shall be applicable to all land uses, structures, the use and occupancy of all structures, and the development, construction, operation and maintenance of all improvements on the Property described herein. The granting of the Planned Development District is subject to the regulations and general conditions set for in Exhibit “B” (General Planned Development Standards) and Exhibit “C” (Planned Development Concept Plan) attached thereto and made a part thereof. In addition, the following development standards and regulations shall apply:

1. The development, construction, and use of the Property and all structures thereon shall be in compliance with all applicable Town and State regulations for inspections, permitting, licensing, and building, construction, and fire codes.
2. Unless otherwise expressly provided for herein, all regulations, requirements and provisions of the “C2” Retail and General Commercial District shall apply to the property.
3. The uses authorized herein are subject to all applicable regulations associated with development permits, building permits, and certificates of occupancy. A certificate of occupancy must be applied for in connection with each new use and each new occupancy of all non-residential structures. All applications for certificates shall, in addition to all other requirements, include a statement identifying the percentage and square footage of each use then in effect at the time of the application.
4. The Property may be developed in phases according to the approved Planned Development Concept Plan. No building permits shall be issued unless and until all required plans, plats, studies, and permits have been approved and/or issued.
5. All designated fire lanes and drive approaches shall either be heavy duty asphalt or concrete and built in accordance with the Town standards and the standards set forth in the most recent addition of the Standard Specifications for Public Works Construction published by the North Central Texas Council of Governments. Parking lots, sidewalks, and other drive aisles shall either be concrete meeting accessibility standards.
6. This ordinance and the regulations adopted herein shall not be construed as the granting of any permit or certificate of occupancy, absent compliance with all Town rules and requirements. This ordinance and the regulations adopted herein shall not be construed to constitute the approval of a preliminary plat or final plat and, prior to the commencement of construction improvements on and to the Property, the platting process set forth in the Town’s subdivision regulations shall be complied with.
7. Unless expressly provided for herein, the use and development of the subject property shall conform to the standards and regulations set forth in the Rustic Furniture Proposed Clearance Center Planned Development Standards attached hereto and incorporated herein as Exhibit "B," and the Planned Development Concept Plan attached hereto and incorporated herein as Exhibit "C," and the ordinances of the Town applicable to uses, structures and development of properties in the "C-2" Retail and General Commercial, and "PD" Planned Development Districts. In the event of any conflict or inconsistency between

the provisions of this ordinance and the provisions contained in any other provision of the Town's Comprehensive Zoning Ordinance, subdivision regulations, or other ordinances, the provisions of this ordinance shall control. In the event that this ordinance does not include a standard or regulation that is otherwise required for similar or comparable uses by the Town's Comprehensive Zoning Ordinance, then the standard or regulation required by the Comprehensive Zoning Ordinance shall be applied to development on the Property.

SECTION 3. That the above described Property shall be used only in the manner and for the purposes provided herein and by the ordinances of the Town of Cross Roads, Texas, as heretofore amended, and as amended herein.

SECTION 4. That all provisions of the ordinances of the Town of Cross Roads in conflict with the provisions of this ordinance as applicable to the Property be and the same are hereby repealed and all other provisions of the ordinances of the Town of Cross Roads not in conflict with the provisions of this ordinance shall remain in full force and effect.

SECTION 5. An offense committed before the effective date of this ordinance is governed by the prior law and the provisions of the Comprehensive Zoning Ordinance, as amended, in effect when the offense was committed, and the former law is continued in effect for this purpose.

SECTION 6. That should any sentence, paragraph, subdivision, clause, phrase, or section of this ordinance be adjudged or held to be unconstitutional, illegal, or invalid the same shall not affect the validity of this ordinance as a whole or any part or provision thereof other than the part so decided to be invalid, illegal, or unconstitutional, and shall not affect the validity of the Comprehensive Zoning Ordinance as a whole.

SECTION 7. That any person, firm, or corporation violating any of the provisions or terms of this ordinance shall be subject to the same penalty as provided for in the Comprehensive Zoning Ordinance of the Town of Cross Roads, as heretofore amended, and upon conviction shall be punished by a fine not to exceed the sum of Two Thousand (\$2,000.00) Dollars for each offense; and each and every day such violation shall continue shall be deemed to constitute a separate offense.

SECTION 8. This ordinance shall take effect immediately from and after its passage and the publication of the caption, as the law and charter in such cases provide.

PASSED AND APPROVED this _____ day of _____, 2021.

APPROVED:

MAYOR

ATTEST:

TOWN SECRETARY

APPROVED AS TO FORM:

TOWN ATTORNEY

EXHIBIT "A"

LEGAL DESCRIPTION

14.038 ACRES

WHERE AS, RUSTIC FUNITURE WAREHOUSE, LLC is the owner of that certain tract or parcel of land lying and being situated in the City of Cross Roads, Denton County, Texas, a part of the MARCELLA JONES SURVEY ABSTRACT NO. 662, and being and including all that certain tract said to contain 15.127 acres as described in a deed from Tom Lilly, et al, to RUSTIC FURNITURE WAREHOUSE, LLC, recorded under Clerk's Document No. 2016-164035, said tract or parcel of land is herein described as follows; to wit:

BEGINNING at an one-half inch iron rod set on the south right-of-way line of U.S. Highway No. 380 for the northwest corner of the premises herein described, said corner being the northeast corner of Lot 1, Block A of the MASON ADDITION per the Plat recorded in Cabinet U, page 775 of the Denton County Plat Records;

THENCE along the south right-of-way line of said U.S. Highway No. 380, south 79 degrees 28 minutes 03 seconds east 213.86 feet to an one-half inch iron rod found and south 79 degrees 14 minutes 39 seconds east 179.36 feet to an one-inch iron rod found for the northeast corner hereof, said corner being the northwest corner of CRAIG'S COLLISION ADDITION per the Plat recorded under Clerk's Document No. 2018-102 of the Denton County Plat Records;

THENCE south 02 degrees 13 minutes 51 seconds west 596.02 feet to an one-half inch iron rod found for a re-entrant corner hereof, said corner being the southwest corner of said CRAIG'S COLLISION ADDITION;

THENCE south 87 degrees 48 minutes 05 seconds east 148.48 feet to an one-half inch capped iron rod set on the west line of a record 57.115 acre tract at the most southerly northeast corner hereof, said corner being the southeast corner of CRAIG'S COLLISION ADDITION

THENCE south 02 degrees 08 minutes 21 seconds west 784.08 feet to an one-half inch iron rod found for the southeast corner hereof, said corner being on the north line of a 62.090 acre tract described in a deed to Bloomfield Homes, LP, recorded under Clerk's Document No. 2016-12034 of the Real Property Records of Denton County;

THENCE north 88 degrees 36 minutes 28 seconds west 527.57 feet to an one-half inch iron rod found for the southwest corner hereof, said corner being on the north line of a record 184.179 acre tract described in a deed to Bloomfield Homes, LP, recorded under Clerk's Document No. 2015-37904 of the Real Property Records of Denton County, said corner being the southeast corner of Lot 3R2, Block A of the REPLAT OF LOT 3 VOLUNTEER ENTERPRISES ADDITION per the Plat recorded under Document No. 2016-009 of the Denton County Plat Records;

THENCE north 01 degrees 46 minutes 50 seconds east a distance of 1445.64 feet to the Place of BEGINNING and containing 15.128 acres of land.

EXHIBIT “B”
RUSTIC FURNITURE CLEARANCE CENTER PLANNED DEVELOPMENT STANDARDS
FOR APPROXIMATELY 14.038 ACRES
TOWN OF CROSS ROADS, DENTON COUNTY, TEXAS

I. Purpose and Intent

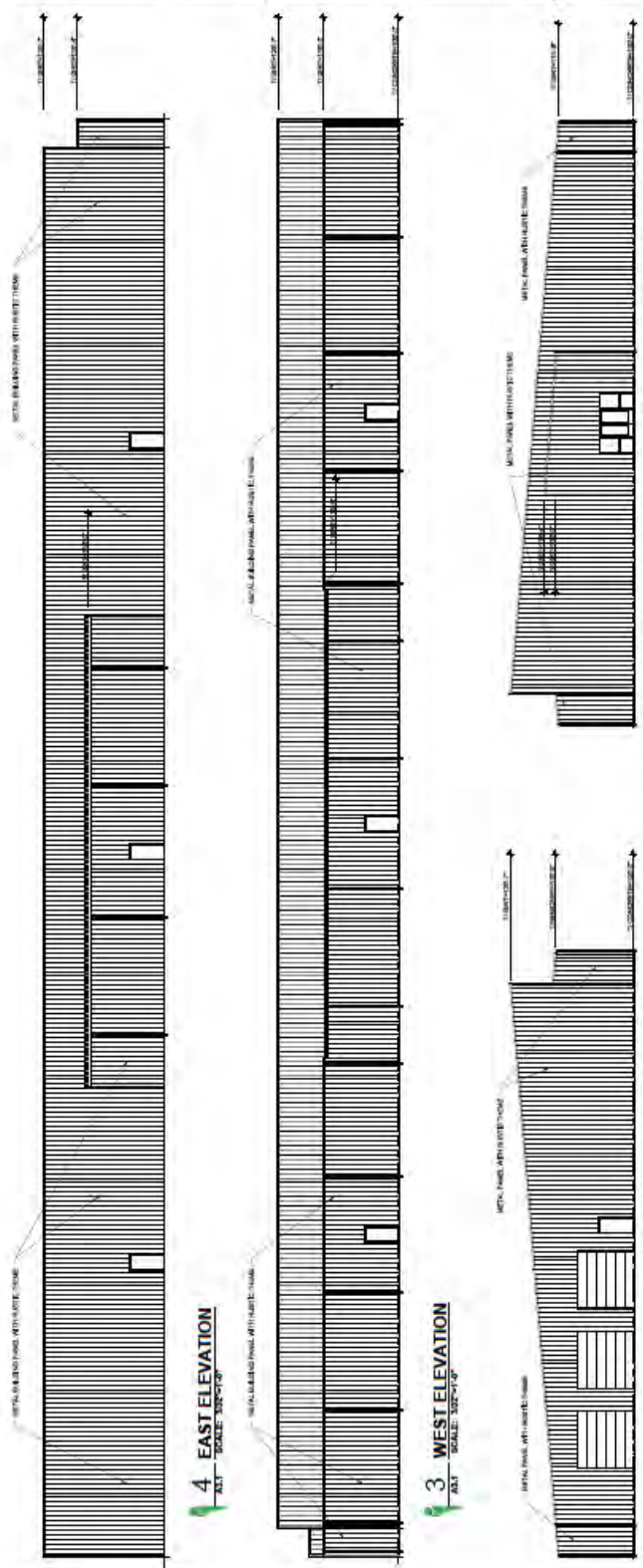
This Planned Development District (PD District) provides for development standards for Commercial “C2” uses along with wholesale distribution and warehouse type buildings.

II. Special Provisions

- A. The property may be developed in phases according to the approved Planned Development Concept Plan allowing access from State Highway 380.
- B. The intent is to comply with general “C2” zoning usages with the exception of the addition of Wholesale Distribution and Warehouse type usage.
- C. ALL development standards and regulations for the “C2” Retail and General Commercial District shall apply to the whole property except the following:
 - 1. Wholesale Distribution and Warehouse type buildings shall be exempt from the Building Articulation requirement set forth in Sec. 14.03.008 architectural guideline in the Town of Cross Roads Code of Ordinances. All other type buildings shall conform to the development standards and regulations.
 - 2. Wholesale Distribution and Warehouse type buildings shall be exempt from the Masonry requirements set forth in Sec. 14.03.008 architectural guideline in the Town of Cross Roads Code of Ordinances. All other type buildings shall conform to the development standards and regulations.
 - 3. That should it be determine that any of the items listed above is not acceptable, an item may be rejected and the PD zoning be approved.

102.0





4 EAST ELEVATION

3 WEST ELEVATION
A3.4 SCALE: 3/32"=1'-0"

2 SOUTH ELEVATION
AS.1 SCALE: 3/32"=1'-0"

1 NORTH ELEVATION
A3.3 SCALE: 3/32"=1'-0"



Town of Cross Roads

1401 FM 424

Cross Roads, Texas 76227

940-365-9693 office | 469-375-5905 fax

town-information@crossroadstx.gov / crossroadstx.gov

Staff Review Comments

Project: Planned Development Application w/ C-2 Base Zoning – Rustic Furniture
Location: 11701, 11801 and 11901 US Hwy 380
Date of Review: April 14, 2021
Reviewer: Kristi Gilbert, Interim Town Administrator
Recommendation: The applicant should submit additional regulations to be included in the Planned Development regulations that are outside of the scope of the C-2 Commercial District or should amend the application to request C-2 Commercial for the entire tract.

Deadline to Submit Revisions: **April 29, 2021 by 4:00 p.m.**

Comments:

The application is to change the zoning of approximately 14.038 acres being comprised of three tax parcels, from AG-Agricultural and C-2 Commercial to a PD-Planned Development with a C-2 Commercial base zoning district.

A change in zoning districts is discretionary in nature. When determining whether a zoning change is appropriate, the request should be reviewed for compliance with the Future Land Use Plan, the impact on neighboring properties, the suitability of the tract for the requested zoning district and whether the change in zoning would be against the public health, safety and general welfare of the Town.

The property is a 14.038 acre tract of land that is designated as C2 - Commercial on the Future Land Use Plan and is currently being operated by a furniture store with accessory storage, which is surround by the following current zoning designations:

North:	US 380 and C-2
East:	C-2 and AG-Agricultural
South:	PD with SF Base Zoning
West:	PD with C-2 and MF Base Zoning

Staff is under the impression the applicant is requesting the zoning change to allow for future expansion of furniture sales in a clearance warehouse which will include the removal of approximately 60-70 storage containers currently located on-site. The application included a development plan for the proposed expansion. However, the application did not include any requested outside of the base C-2 Commercial zoning.

**TOWN OF CROSS ROADS
DEVELOPMENT APPLICATION**



DATE: 4/5/2021

APPLICATION # 2021-0405-122C

PROJECT: PD - Rustic Furniture
Clearance Center

Completed applications will be considered received on
the due date specified on the yearly Submission Schedule.
PLEASE VERIFY MEETING DATES.

DEVELOPMENT APPLICATION

ZONE CHANGE
GRADING

PD (Planned Development District)

TECHNICAL SITE PLAN

MISCELLANEOUS

PLEASE SPECIFY THE PRIMARY CONTACT

Land Owner Name

Rustic Furniture Warehouse, LLC

Signature

Applicant Name

Eikon Consulting Group

Signature

Project Contact Mailing Address

1405 West Chapman Drive Sanger TX 76266

Project Contact Phone

940-458-7503

Email mkhalaf@eikoncog.com

Proposed Project Name

Rustic Furniture Proposed Clearance Center

Location

11901/11801/11701 U.S. 380 Cross Roads TX 76227

Lot/Block

A0662A M. JONES, TR 89C

Abstract

DCAD ID

159215/72657/147919

Current Zoning

Agriculture/Residential/Commercial

Requested Zoning

PD (Planned Development District)

SUBMISSION DOCUMENTS

C2 - B-u zoning

Fee \$1255.35

Map ☒

Site Plan (Commercial)

☒

Legal Description ☐

List of Neighbors ☐

Stamped/Addressed Envelopes ☐

Drawings (4 full, 6 half, CD) ☐

OTHER (Specify) ☐

1) Legal Description and plat of the subject site typed and attached separately or the subdivision name with lot and block number.

2) Map A location map clearly showing the site in relation to adjacent streets and distance to nearest thoroughfare.

3) Filing Fee – Application Fee – Review Fee

ZONE CHANGE AND RESIDENTIAL REPLAT ONLY:

4) Names and Addresses of legal property owners within 200 feet of property and the property ID number.

5) Stamped addressed envelopes of the property owners within 200 feet.

ADDITIONAL INFORMATION


We are requesting a zoning change to PD (Planned Development District). Submittal include a concept plan for the Whole site and a development plan for the expansion of LOT 1. Additionally submitted is a report from APEX regarding jurisdictional Status of the channel crossing LOT2. An AJD (Approved jurisdictional Determination) is being prepared to submit to the USACE. A fill permit will be submitted to the City once the (AJD) is acquired from the USACE.

Before submitting an application, the applicant should consult with the Town Administrator to discuss the feasibility of the request and any additional requirements.

EXHIBIT "A"

Rustic Furniture Proposed Clearance Center Planned Development Standards
(Approximately 14.038 acres)
Town of Cross Roads, Denton County, Texas

- 1- The property may be developed in phases according to the approved Planned Development Concept Plan allowing access from State Highway 380.
- 2- The intent is to comply with general "C2" zoning usages with the exception of the addition of Wholesale Distribution and Warehouse type usage.
- 3- ALL development standards and regulations for the "C2" Retail and General Commercial District shall apply to the whole property except the following:
 - a- Wholesale Distribution and Warehouse type buildings shall be exempt from the Building Articulation requirement set forth in Sec. 14.03.008 architectural guideline in the Town of Cross Roads Code of Ordinances. All other type buildings shall conform to the development standards and regulations.
 - b- Wholesale Distribution and Warehouse type buildings shall be exempt from the Masonry requirements set forth in Sec. 14.03.008 architectural guideline in the Town of Cross Roads Code of Ordinances. All other type buildings shall conform to the development standards and regulations.
- 4- That should it be determine that any of the items listed above is not acceptable, an item may be rejected and the PD zoning be approved.

From: Majed Khalaf MKhalaf@eikoncg.com 
Subject: RE: Staff Review of Planned Development Application - Rustic Furniture
Date: April 15, 2021 at 4:56 PM
To: Kristi Gilbert k.gilbert@crossroadstx.gov
Cc: phil moreino pmoreino@hotmail.com, Donna Butler d.butler@crossroadstx.gov, Jason Pool j.pool@crossroadstx.gov, Rodney Patterson r.patterson@crossroadstx.gov

MK

Good afternoon Mrs. Gilbert
Thanks you for your comments. Please see attached EXHIBIT "A" with design and regulation standards relating to the PD zoning request.

Majed Khalaf, PE
Senior Civil Engineer
EIKON Consulting Group
P (940) 458.7503
C (972) 639.8375
mkhalaf@eikoncg.com

From: Kristi Gilbert [mailto:k.gilbert@crossroadstx.gov]
Sent: Wednesday, April 14, 2021 3:22 PM
To: Majed Khalaf <MKhalaf@eikoncg.com>
Cc: phil moreino <pmoreino@hotmail.com>; Donna Butler <d.butler@crossroadstx.gov>; Jason Pool <j.pool@crossroadstx.gov>; Rodney Patterson <r.patterson@crossroadstx.gov>
Subject: Staff Review of Planned Development Application - Rustic Furniture

Mr. Khalaf,

Attached are the staff comments with regard to the subject application. I am encouraging you to draft some design standards or regulations related to the PD request. As it currently stands, there is no reason to grant a PD-Planned Development zoning if there are not regulations outside of what is required in the C-2 base district. I am attaching two sample PD's for you to use as a guide. Neither would be good to just copy, but it can help give you some guidance on what you may want to include.

Please let me know if you have any questions.

Kristi Gilbert
Interim Town Administrator
Town of Cross Roads
k.gilbert@crossroadstx.gov
Ofc: 940.365.9693
Cell: 940.218.4241

ATTENTION: Please note any correspondence, such as e-mail or letters, sent to Town Staff or Town Officials may become a public record and made available for Public/Media review.

PUBLIC OFFICIALS: A "Reply to All" of this e-mail may lead to violations of the Texas Open Meetings Act. Please reply only to the sender.



PD ORDINANCE
EXHIBIT A.docx

**Town Secretary's Office
Town of Cross Roads
1401 FM 424
Cross Roads, Texas 76262**



TO: Pilot Point Post Signal

DATE: April 14, 2021

FROM: Donna Butler, Town Secretary

PAGES: 1

RUN DATE: 1 Time:
Friday, April 23

SUBJECT: Public Notice

NOTICE OF PUBLIC HEARING

TOWN OF CROSS ROADS

Notice is hereby given that a public hearing will be conducted by the Planning and Zoning Commission on Tuesday, May 4, 2021 at 7:00 pm to consider a recommendation to the Town Council on a request by applicant Eikon Consulting Group on behalf of owner Rustic Furniture Warehouse, LLC for a change in zoning from AG – agricultural and C-2 Commercial to PD-Planned Development with a C-2 commercial base zoning for Tracts 69, 69A and 69C, of the RJ Moseley Abstract A0803A, being approximately 14.038 acres generally located at 11701, 11801 and 11901 US 380, Cross Roads, Denton County, Texas.

The Town Council will conduct a second public hearing on Monday, May 17, 2021 at 7:00 pm to consider the Planning and Zoning Commission's recommendation and vote on the request

Any interested person may attend the public hearings virtually by Zoom to speak in favor of or in opposition to the proposed zone change. The Zoom meeting information will be posted on the agendas at least 72 hours in advance on the Town's website at www.crossroadstx.gov

Written comments may be submitted to 1401 FM 424, Cross Roads, Texas 76227 prior to the commencement of the meeting. All interested persons are invited to attend and participate.

For more information, contact town hall at 940-365-9693.



COUNCIL AGENDA BRIEFING SHEET

Meeting Date:

May 17, 2021

Agenda Item:

CONDUCT A PUBLIC HEARING, discuss and consider approval of a request a replat of Lots 1-3, Block C of Stone Mountain Estates, Phase 1 into Lot 1R, Block C of Stone Mountain Estates, Phase 1 being comprised of 2.0 acres and Lot 3R, Block C of Stone Mountain Estates, Phase 1 being comprised of 1.352 acres.

Prepared by:

Kristi Gilbert, Interim Town Administrator

Description:

Applicant David Murphy submitted a replat application for the Block C, Lots 1-3 of Stone Mountain Estates on April 5, 2021 to combine three platted lots into two legal lots, within the Town of Cross Roads.

Staff performed a technical review of the application on April 21, 2021. Attached is the replat application and associated documents along with comments from Town Engineer Jason Pool.

Planning and Zoning Recommendation

The Planning and Zoning Commission considered the proposed plan at their May 4, 2021 meeting and recommended approval unanimously.

Recommended Action:

Staff recommends approval of the replat.

Attachments:

Engineer Comments
Replat Application
Plat Documents
Public Hearing Notice

From: Jason Pool j.pool@crossroadstx.gov
Subject: Stone Mountain Lot 1/2/3 to Lot 1R/3R replat, 2021-0405-01Replat
Date: April 21, 2021 at 7:49 PM
To: Kristi Gilbert k.gilbert@crossroadstx.gov, Donna Butler d.butler@crossroadstx.gov, Rodney Patterson r.patterson@crossroadstx.gov



This replat is converting three residential lots into two residential lots. This is a general reduction in developmental density. Since the original subdivision constructed the road and storm infrastructure, there will not be any new civil construction with this replat. I am recommending approval.

Jason Pool, P.E.
Tx Lic #92623, Tx Firm #11096
TCEQ #OS0033361 DR
214-850-7129 [cell]
J.Pool@CrossRoadsTx.gov

TOWN OF CROSS ROADS
PLATTING APPLICATION



DATE: 3/31/21

APPLICATION # 2021-0405-01REPLAT

PROJECT: SME Preservation

Completed applications will be considered received on
the due date specified on the yearly Submission Schedule.
PLEASE VERIFY MEETING DATES.

TYPE OF PLAT

Preliminary ☐
Final ☐

Replat ☐
Administrative/Amending ☒ REPLAT

PLEASE SPECIFY THE PRIMARY CONTACT

Land Owner Name David E. Murphy Signature [Signature]
Jenet E. Murphy

Applicant Name David E Murphy Signature [Signature]

Project Contact Mailing Address 5555 Summit Trace Dr., Aubrey, TX 76227

Project Contact Phone 949-466-8708 Email tom2to Dave@gmail.com

Proposed Project Name STONE MOUNTAIN ESTATES, PHASE I
Lot/Block LOT 1, LOT 2, LOT 3, BLOCK C
DCAD ID 528785, 828784, 528783
Number of Lots Created DECREASED FROM THREE LOTS TO TWO LOTS

Location SUMMIT TRACE DRIVE
Abstract JOSEPH WILLIAMSON SURVEY, ABSTRACT 1418

SUBMISSION DOCUMENTS

Fee \$1,160.00
✓ Map Survey / Vacinit Map

✓ Legal Description See Warranty Deed
✓ List of Neighbors Brundige
✓ Stamped/Addressed
Envelopes 2
Drawings (4 full, 2 half)
OTHER (Specify)

Site Plan (Commercial)

APPLICATION EXPLANATION

Explanation and Description of Request or Project

STONE MOUNTAIN ESTATES, PHASE I, REPLAT LOT 1, LOT 2, AND LOT 3, BLOCK C, FROM THREE LOTS INTO TWO LOTS, LOT 1R AND LOT 3R, FOR RESIDENTIAL PURPOSES.

Before submitting an application, the applicant should consult with the Town Administrator to discuss the feasibility of the request and any additional requirements.

✓ L > 1/25/21

Location Map: Stone Mountain Estates, Block C, Lots 1 – 3



DRAFT FOR REVIEW

RE-PLATTING APPLICATION
EXPLANATION

Lot 2, Block C of Phase 1, Stone Mountain Estates is the only remaining heavily wooded natural wild life pathway and natural drainage to the ponds and pasture land below. Were it to become a developed lot, it could negatively affect the Town of Cross Roads ambience and commitment to land preservation where possible.

I currently own Lot 3, Block C of Phase 1, and also Lot 4, Block C of Phase 1. I proposed to my neighbor who owns Lot 1, Block C Phase 1 that we agree on a purchase of Lot 2, Block C of Phase 1 to remove it from potential development and the removal of many trees and the natural landscaping. We would have Lot 2, Block C resurveyed to an agreed separation to then be added as such to our current properties of Lot 1 and Lot 3.

That action took place with my purchase of Lot 2, Block C of Phase 1 (see Exhibit A). Exhibit B represents the survey of that parcel and the details of the property size and boundaries as of the date of purchase.

Exhibit C represents the agreed upon separation of Lot 2, and the resulting size and boundaries of remaining known as Lot 3R and Lot 1R. This Application requests a re-plat to eliminate/remove Lot 2, Block C and approve the changes to Lot 3R and 1R.

See also the enclosed Vacinity Map provided by Metroplex Survey, Inc.

Exhibit D is a photo of existing Lot 2.

Thanks,

David (Dave) Murphy
5555 Summit Trace Drive
Aubrey, TX 76227

949-466-8708

Exhibit A

205 855 ND-VS

NOTICE OF CONFIDENTIALITY RIGHTS: IF YOU ARE A NATURAL PERSON, YOU MAY REMOVE OR STRIKE ANY OR ALL OF THE FOLLOWING INFORMATION FROM ANY INSTRUMENT THAT TRANSFERS AN INTEREST IN REAL PROPERTY BEFORE IT IS FILED FOR RECORD IN THE PUBLIC RECORDS: YOUR SOCIAL SECURITY NUMBER OR YOUR DRIVER'S LICENSE NUMBER.

GENERAL WARRANTY DEED

Effective Date: FEBRUARY 19, 2021

Grantor: Mary Lynn Stone, Trustee of The Stone Revocable Trust dated May 23, 2007, as amended and restated effective as of February 24, 2017, and as thereafter amended February 26, 2018.

Grantor's Address: 5726 BROOKSTOWN DRIVE
DALLAS, DALLAS COUNTY, TEXAS 75230

Grantee: DAVID E. MURPHY and JANET E. MURPHY

Grantee's Address: 5555 SUMMIT TRACE DRIVE
CROSS ROADS, DENTON COUNTY, TEXAS 76227

Consideration: TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations paid by the Grantee herein named, the receipt and sufficiency of which is hereby acknowledged.

Property (including any improvements):

LOT 2, IN BLOCK C, OF PHASE I, STONE MOUNTAIN ESTATES, AN ADDITION TO THE TOWN OF CROSS ROADS, DENTON COUNTY, TEXAS, ACCORDING TO THE PLAT THEREOF RECORDED IN CABINET X, PAGE 987, PLAT RECORDS OF DENTON COUNTY, TEXAS.

Currently being more commonly known as: TBD Summit Trace Drive, Cross Roads, Texas 76227

Reservations from Conveyance: NONE.

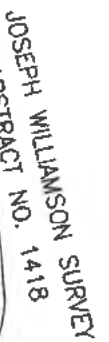
Exceptions to Conveyance and Warranty:

This conveyance is made and accepted subject to the following matters, to the extent the same are in effect and validly exist:

1. Restrictive covenants filed for record on September 25, 2007 and recorded under Instrument Number 2007-114170, Official Records of Denton County, Texas. Any covenants, conditions or restrictions indicating a preference, limitation or discrimination

GF#2105855ND-VS WD.docx

Exhibit C



DATE		REVSIONS		DPT.		SCALE	
				RLG		1"=40'	
				BGS		01/21/2021	
				BY:			
				CSD.			
 Metroplex Surveying, Inc. 940-387-0505 223 W. HICKORY DENTON TEXAS 76201 info@metroplexsurveying.com							
<div> <div>REPLAT</div> <div>EXHIBIT</div> </div>							
SHEET		OF		1		1	
JOB No.				38124			



**Town Secretary's Office
Town of Cross Roads
1401 FM 424
Cross Roads, Texas 76262**



TO: Pilot Point Post Signal

DATE: April 14, 2021

FROM: Donna Butler, Town Secretary

PAGES: 1

RUN DATE: 1 Time:
Friday, April 23

SUBJECT: Public Notice

NOTICE OF PUBLIC HEARING

TOWN OF CROSS ROADS

Notice is hereby given that a public hearing will be conducted by the Planning and Zoning Commission on Tuesday, May 4, 2021 at 7:00 pm to consider a recommendation to the Town Council on an application to replat Lots 1-3, Block C of Stone Mountain Estates, Phase 1 into Lot 1R, Block C of Stone Mountain Estates, Phase 1 being comprised of 2.0 acres and Lot 3R, Block C of Stone Mountain Estates, Phase 1 being comprised of 1.352 acres.

The Town Council will conduct a second public hearing on Monday, May 17, 2021 at 7:00 pm to consider the Planning and Zoning Commission's recommendation and vote on the request

Any interested person may attend the public hearings virtually by Zoom to speak in favor of or in opposition to the proposed replat. The Zoom meeting information will be posted on the agendas at least 72 hours in advance on the Town's website at www.crossroadstx.gov

Written comments may be submitted to 1401 FM 424, Cross Roads, Texas 76227 prior to the commencement of the meeting. All interested persons are invited to attend and participate.

For more information, contact town hall at 940-365-9693.



COUNCIL AGENDA BRIEFING SHEET

Meeting Date:

May 17, 2021

Agenda Item:

Discuss and consider approval of a final plat application for the Oak Hill Ranch, Phase 2 located with the Town of Cross Roads. (2021-0405-13FPLAT)

Prepared by:

Kristi Gilbert, Interim Town Administrator

Description:

Applicant Jim Douglas submitted a final plat application on behalf of owners Bloomfield Homes, L.P. a 61.115-acre tract of land zoned Planned Development – Single Family PD-SF of 113 residential lots and one non-residential lot, within the Town of Cross Roads.

Staff performed a technical review of the application on April 22, 2021. Attached is the final plat application and associated documents along with comments from Town Engineer Jason Pool. Also included are the applicant's response to the Town Engineer's comments dated April 26, 2021.

Exhibit D, Section II, Subsection 7 of Ordinance 2017-0417-01 approving the Planned Development states:

"In conjunction with the approval of the final plat and civil improvements for Phase 2, the Developer will construct the two lanes of pavement for the new east-west collector road with the construction of Phase 2 ...from Naylor Road to Oak Hills north entrance. Construction in accordance with the Town street construction standards and criteria, which road shall upon inspection and approval, be dedicated to the Town as a public street and roadway."

The applicant has included an Engineer's Opinion of Probable Cost for the east-west road and has indicated they would like to explore the option of escrowing the funds for the construction of the road to be performed at a later date. There are no construction drawings that have been prepared so it is difficult to determine the accuracy of the cost estimate.

Planning and Zoning Recommendation

The Planning and Zoning Commission considered the proposed plan at their May 4, 2021 meeting and recommended approval unanimously with the stipulation that funds for the east-west collector would allowed to be escrowed and set aside specifically for the east-west collector for a period of five (5) years or until the road is constructed, at which time the use of the escrowed funds would be revisited.



COUNCIL AGENDA BRIEFING SHEET

Recommended Action:

The former Town Engineer is not recommending approval at this time, due to the outstanding construction plans related to the east-west collector, as well as, the following code related items:

Sec. 10.05.002(7) indicating side and rear yard setback lines (applicant has provided response)

Sec. 10.07.004(7) correcting the size of the utility easement (applicant has provided response)

Alternatively, the Council could approve the plat contingent on providing the construction drawings of the east-west road or sufficient escrowed funds depending on the Council's discretion.

Attachments:

Applicant Response to Engineer Comments (4/26/21)

Engineer Comments (4/22/21)

Final Plat Application

Plat Documents

April 26, 2021

Mr. Jason Pool
Town Engineer
Town of Cross Roads
1401 FM 424
Cross Roads, TX 76227

RE: Oak Hill Ranch, Phase 2: 1st Review

Dear Mr. Pool:

Pursuant to the review comments provided by the Town of Cross Roads, the Final Plat and Construction Plans for the above referenced project will be revised and resubmitted for review and/or approval. Below are our responses to the comments on the 1st review.

1. This is a final plat for the second phase of Oak Hill Ranch. The original preliminary plat covered all phases of the project.
This comment is noted.
2. Comments are below, ordinance in black, my response in red
This comment is noted.
3. In addition to the town's subdivision ordinance, the development's PD zoning document has some additional requirements. There are several development trigger items in the PD. One of these items that is deficient is the design, construction, and dedication of two lanes of the east west collector road on the north side of the project. The developer has submitted an engineer's estimate on the probable cost of the collector improvements. This estimate appears to be based on preliminary information, not actual construction plans, and looks to be light on storm drainage infrastructure. Being the outfall for several large commercial tracts, I would expect more than just 182 feet and of 24 in RCP, a pair of headwalls, and bar ditches. With the pending development of the northern commercial tracts, and their partial pavement requirements, my recommendation is to comply with the PD and require engineering plans and construction of the collector now, instead of accepting escrow funds for a future construction date. This item needs to be resolved prior to approval of the Phase 2 plat.
We believe based on previous coordination with Staff that escrowing money for this roadway is the best option at this time. The magnitude of storm drain within the provided cost estimate is related to analyzing cost for a roadway cross-section with bar ditches on each side. It is our opinion that any required storm drain upsizing within this roadway cross-section as a result of the development of the commercial lots to the north should be the financial responsibility of those developments.
4. No landscape plan for the PD required perimeter and subdivision improvements was provided. Changes in MSUD provision now restrict the placement of large canopy trees in MSUD easements.
Landscape Plans for the required areas of Phase 2 are currently be prepared and will be provided for the Town and MSUD's review and approval once they are complete.

5. An item to note, as a PD, this project allows for lots to be fronted to easements instead of dedicated town ROW. The developer has designed the project with 60 ft access and utility easements instead of ROW for the internal streets. This is similar to Phase 1.
This comment is noted.
6. Mustang SUD review and approval of the water and wastewater system are a requirement of approval of the phase 2 plat.
This comment is noted. The Plans and Final Plat for Phase 2 have been provided to Mustang SUD and their consulting engineer for review and approval.
7. Provide geotech report used for pavement recommendation.
The geotechnical report for Phase 2 is currently being prepared. Once it has been completed with pavement recommendations, a copy will be provided to the Town.
8. Several storm lines are long without access points for cleaning/TV testing. After construction is complete, prior to final acceptance, the storm sewer lines will need to be cleaned of sediment and debris and TV tested. Add intermediate junction structures for access.
This comment is noted. We will analyze the need and ability to add additional access points to the proposed storm drain lines.
9. Sec. 10.05.002 (7) Building setback lines. Show side and rear yard setback lines.
This section of the ordinance states "Building setback lines" and does not specifically state that side and/or rear setbacks must be shown. It is customary to only show front setback lines on final plats, similar to what was approved and recorded on the Final Plat for Phase 1.
10. Sec. 10.07.004 (7) Utility easements shall be at least ten (10) feet wide on each side of the road, shall not lie within the street right-of-way, and no primary utilities will be located within the street right-of-way. Utility easements adjacent to 60 ft access and utility easement are shown as 5 ft instead of 10 ft.
We are proposing the same access & utility cross section that was coordinated and approved with Phase 1. All utilities will be located within the 60' easement shown on the Final Plat except for the CoServ facilities that will be located within the 5' utility easement adjacent to the 60' easement.
11. Sec. 10.07.004 (17) All road maintenance, repair and upkeep in subdivisions will be the absolute and sole responsibility of the developer and/or home owners association unless or until the town adopts an ad valorem property tax and assumes the responsibility for maintenance of subdivision roads by action of the town council.
This comment is noted.
12. Subdivision covenants and deed restrictions shall contain clear and express provisions that require the formation and continuation of a home owner's association and shall impose upon such association the obligation for such street repair, maintenance and upkeep. The subdivision covenants and deed restrictions shall be filed with the preliminary plat as a condition of plat approval. Provide CCR's for the subdivision showing for perpetual maintenance of the subdivision improvements.
This comment is noted. CCR's are being prepared and can be provided to the Town for review once they are complete.

13. As additional information is provided, additional comments may be generated.

This comment is noted.

Mr. Pool, we appreciate your time and considerations during the review process of this project. If you have any questions, additional comments or need any further information, please do not hesitate to contact our office at 817-329-4373. Thank you for your attention on this matter.

Sincerely,
Goodwin & Marshall, Inc.

A handwritten signature in blue ink, appearing to read 'E. Eckart', with a stylized flourish at the end.

Edward Eckart, P.E.
EWE/mjb

From: Jason Pool j.pool@crossroadstx.gov
Subject: Oak Hill Ranch Ph 2, 2021-0405-13FPlat
Date: April 22, 2021 at 12:23 AM
To: Kristi Gilbert k.gilbert@crossroadstx.gov, Donna Butler d.butler@crossroadstx.gov, Rodney Patterson r.patterson@crossroadstx.gov



This is a final plat for the second phase of Oak Hill Ranch. The original preliminary plat covered all phases of the project.

Comments are below, ordinance in black, my response in red

In addition to the town's subdivision ordinance, the development's PD zoning document has some additional requirements. There are several development trigger items in the PD. One of these items that is deficient is the design, construction, and dedication of two lanes of the east west collector road on the north side of the project. The developer has submitted an engineer's estimate on the probable cost of the collector improvements. This estimate appears to be based on preliminary information, not actual construction plans, and looks to be light on storm drainage infrastructure. Being the outfall for several large commercial tracts, I would expect more than just 182 feet and of 24 in RCP, a pair of headwalls, and bar ditches. With the pending development of the northern commercial tracts, and their partial pavement requirements, my recommendation is to comply with the PD and require engineering plans and construction of the collector now, instead of accepting escrow funds for a future construction date. This item needs to be resolved prior to approval of the Phase 2 plat.

No landscape plan for the PD required perimeter and subdivision improvements was provided. Changes in MSUD provision now restrict the placement of large canopy trees in MSUD easements.

An item to note, as a PD, this project allows for lots to be fronted to easements instead of dedicated town ROW. The developer has designed the project with 60 ft access and utility easements instead of ROW for the internal streets. This is similar to Phase 1.

Mustang SUD review and approval of the water and wastewater system are a requirement of approval of the phase 2 plat.

Provide geotech report used for pavement recommendation.

Several storm lines are long without access points for cleaning/TV testing. After construction is complete, prior to final acceptance, the storm sewer lines will need to be cleaned of sediment and debris and TV tested. Add intermediate junction structures for access.

Sec. 10.05.002 (7) Building setback lines. Show side and rear yard setback lines.

Sec. 10.07.004 (7) Utility easements shall be at least ten (10) feet wide on each side of the road, shall not lie within the street right-of-way, and no primary utilities will be located within the street right-of-way. Utility easements adjacent to 60 ft access and utility easement are shown as 5 ft instead of 10 ft.

Sec. 10.07.004 (17) All road maintenance, repair and upkeep in subdivisions will be the absolute

and sole responsibility of the developer and/or home owners association unless or until the town adopts an ad valorem property tax and assumes the responsibility for maintenance of subdivision roads by action of the town council. Subdivision covenants and deed restrictions shall contain clear and express provisions that require the formation and continuation of a home owner's association and shall impose upon such association the obligation for such street repair, maintenance and upkeep. The subdivision covenants and deed restrictions shall be filed with the preliminary plat as a condition of plat approval. **Provide CCR's for the subdivision showing for perpetual maintenance of the subdivision improvements.**

As additional information is provided, additional comments may be generated.

Let me know if you have any questions.

Jason Pool, P.E.

Tx Lic #92623, Tx Firm #11096

TCEQ #OS0033361 DR

214-850-7129 [cell]

J.Pool@CrossRoadsTx.gov

TOWN OF CROSS ROADS
PLATTING APPLICATION



DATE: April 5, 2021

APPLICATION # **2021-0405-13FPLAT**

PROJECT: Oak Hill Ranch Phase 2

Completed applications will be considered received on
the due date specified on the yearly Submission Schedule.
PLEASE VERIFY MEETING DATES.

TYPE OF PLAT

Preliminary ☐
Final ☒


Replat ☐
Administrative/Amending ☐

PLEASE SPECIFY THE PRIMARY CONTACT

Land Owner Name Bloomfield Homes, LP

Signature 

Applicant Name Jim Douglas/Douglas Properties

Signature 

Project Contact Mailing Address 2309 Ave K, Suite 100

Project Contact Phone 972-422-1658

Email jim.douglasproperties@gmail.com

Proposed Project Name Oak Hill Ranch Phase 2

Location 3060 Naylor Rd and East University

Lot/Block 18-26F, 1-19 20X G, 1-24 H, 1-47 I, 1-7 38-46, J

Abstract Marcella Jones Survey, Abstract No. 662

DCAD ID A0662A-000-0000, 0074, 0075, & 0078

Number of Lots Created 114

SUBMISSION DOCUMENTS

Fee \$3,380.00 (\$1,000+\$100+\$20*114)

Legal Description See Submitted Final Plat

Map _____

List of Neighbors N/A

Stamped/Addressed _____

Site Plan (Commercial) N/A

Envelopes N/A

Drawings (4 full, 2 half) Submitted 4/5/2021

OTHER (Specify) 1 Data CD Submitted 4/5/2021

APPLICATION EXPLANATION

Explanation and Description of Request or Project

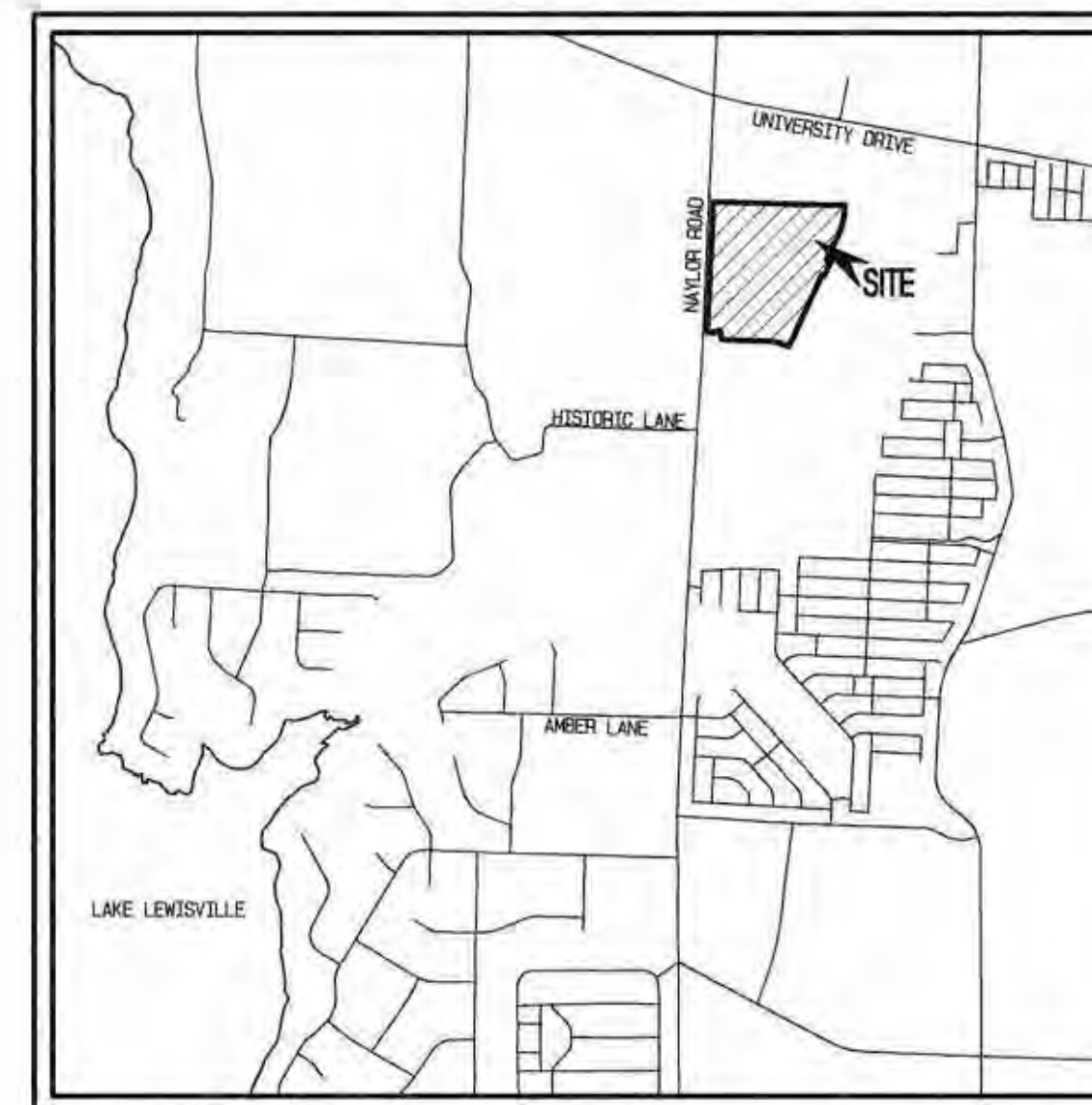
61.115 Acre Single Family Residential Development consisting of 113 Residential Lots and 1 Non-Residential Lot

Before submitting an application, the applicant should consult with the Town
Administrator to discuss the feasibility of the request and any additional requirements.

CONSTRUCTION PLANS FOR PUBLIC IMPROVEMENTS

FOR

OAK HILL RANCH PHASE 2



VICINITY MAP

N.T.S.

LOCATED IN
CITY OF CROSS ROADS, TEXAS

Customer Number (CN): _____
Regulated Entity Reference Number (RN): _____
TCEQ PWS No: _____
TCEQ CCN No: _____
TCEQ LOG No. (WATER): _____
TCEQ LOG No. (WASTEWATER): _____

APPROVAL:

MUSTANG S.U.D.

DATE

ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. IN ACCEPTING THESE PLANS, MUSTANG SPECIAL UTILITY DISTRICT MUST RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.

OWNER:
BLOOMFIELD HOMES, L.P.
1050 E. HWY 114, SUITE 210
SOUTHLAKE, TX 76092
PHONE (817) 416-1572
FAX (817) 416-1397

DEVELOPER:

DOUGLAS PROPERTIES, INC.
2309 AVE K
SUITE 100
PLANO, TX 75074
972-422-1658

PREPARED BY:
GOODWIN & MARSHALL
CIVIL ENGINEERS ~ PLANNERS ~ SURVEYORS
2405 Mustang Drive, Grapevine, Texas 76051
Metro (817) 329-4373
GOODWIN AND MARSHALL, INC. T&E REGISTRATION # F-2944
TBPLS # 10021700



INDEX OF DRAWINGS	
Sheet No.	Description
1-3.	FINAL PLAT
4.	GENERAL NOTES
5.	BROOKVIEW DRIVE
6-7.	SNOWBERRY LANE
8.	SIERRA COURT
9.	CHANDLER LANE
10.	DRAGONFLY COURT
11-12.	LONGBOW LANE
13-14.	CASCADES DRIVE
15-16.	VISTA RUN DRIVE
17.	AUTUMN GLEN LANE
18-19.	NIGHTHAWK LANE
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21.	EXISTING DRAINAGE AREA MAP
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28.	OVERALL STORM DRAIN PLAN
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44.	S.D. LINE 'A' & 'B' LATERALS
45.	S.D. LINE 'B', 'C' & 'D' LATERALS
46-47.	WATER LAYOUT
48-50.	SEWER LAYOUT
51.	S.S. LINE 'S-1'
52.	S.S. LINE 'S-1' & 'S-2'
53.	S.S. LINE 'S-2' & 'S-3'
54.	S.S. LINE 'S-3'
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60-62.	GRADING PLAN
63.	STREET LIGHT PLAN
64-65.	SEWER DETAILS
66-68.	WATER DETAILS
69.	EROSION DETAILS
70-72.	STANDARD NCTCOG DETAILS
73-78.	TxDOT DETAILS

SEE SHEET 3 FOR LINE
AND CURVE TABLES

SEE SHEET 2

MATCH LINE

CASCADES DRIVE

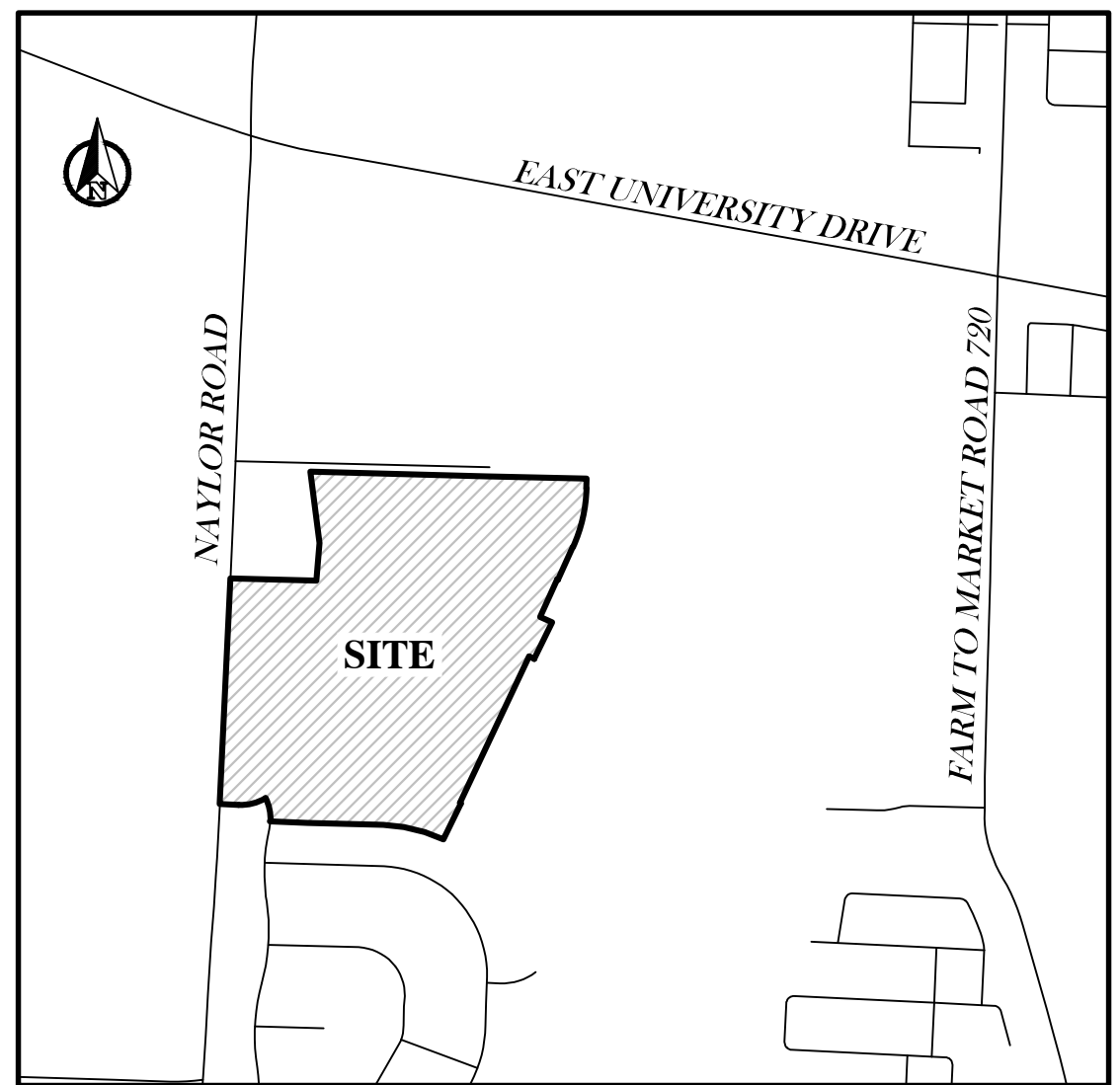
BLOCK H

AUTUMN GLEN LANE

MARSELLA JONES SURVEY
ABSTRACT No. 662

REMAINDER OF CALLED 184.179 ACRES
BLOOMFIELD HOMES, LP.
DOC. NO. 2015-37904
D.R.D.C.T.

CALLED 62.090 ACRES
BLOOMFIELD HOMES, LP.
DOC. NO. 2016-123034
D.R.D.C.T.



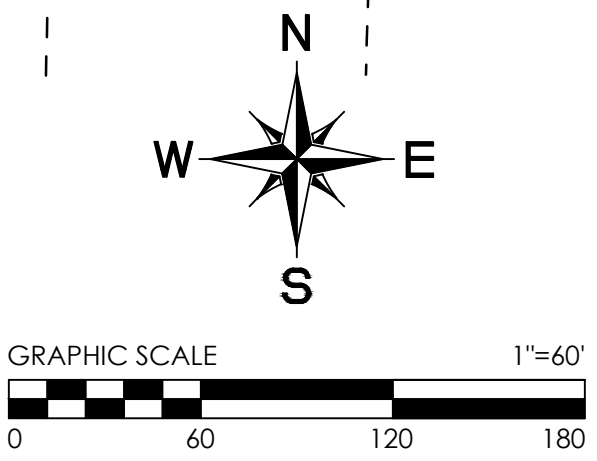
VICINITY MAP
N.T.S.

FINAL PLAT
OF
LOTS 18-26, BLOCK F; LOTS 1-19,
20X AMENITY CENTER, BLOCK G;
LOTS 1-24, BLOCK H; LOTS 1-47, BLOCK I;
LOTS 1-7, 36-42, BLOCK J;
OAK HILL RANCH, PHASE 2
BEING
61.115 ACRES
SITUATED IN THE
MARSELLA JONES SURVEY, ABSTRACT No. 662
CITY OF CROSS ROADS, DENTON COUNTY,
TEXAS
113 RESIDENTIAL LOTS, 1 NON-RESIDENTIAL LOTS
Date: March 2021

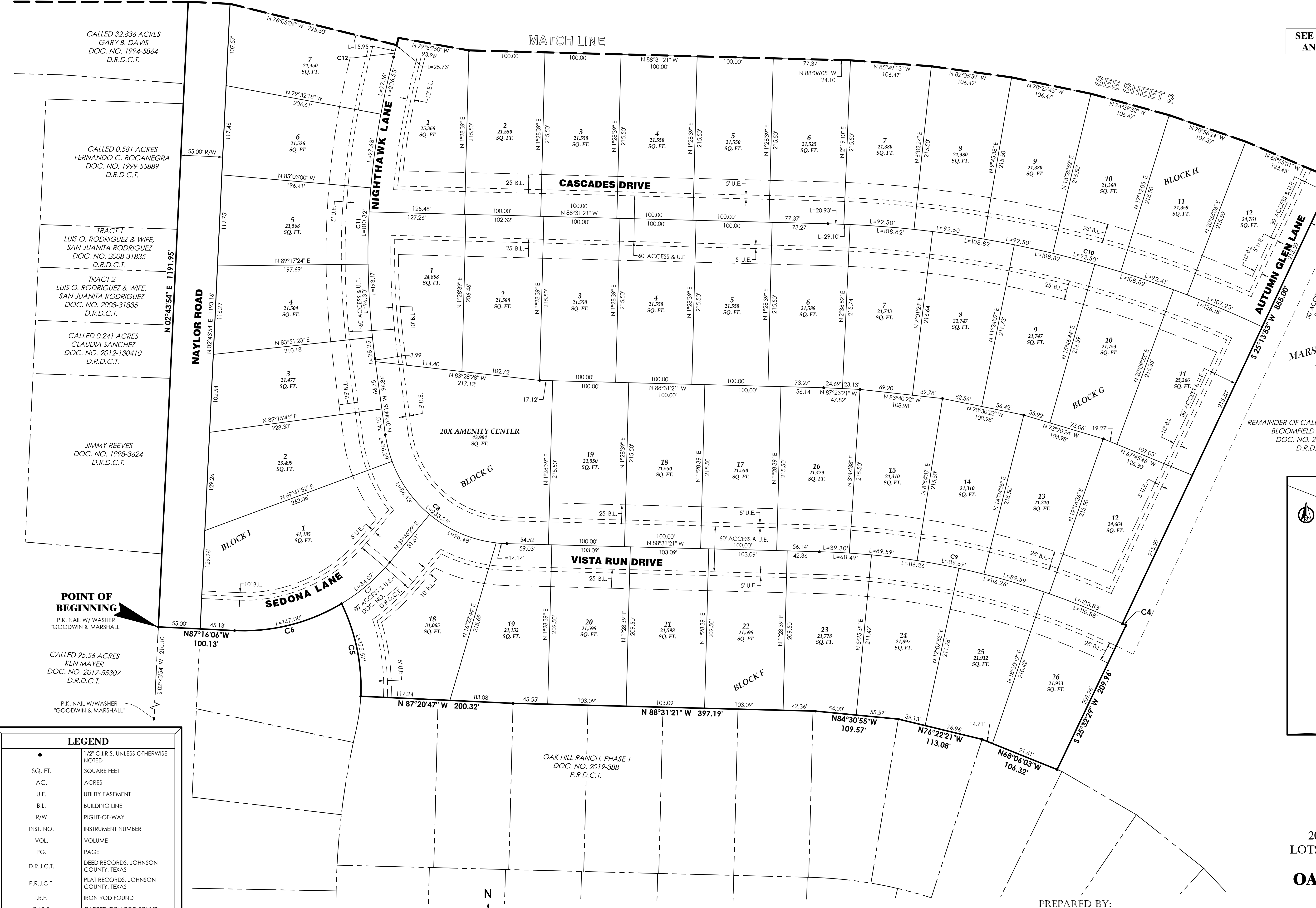
PREPARED BY:
GOODWIN AND MARSHALL INC.
CIVIL ENGINEERS ~ PLANNERS ~ SURVEYORS
2405 Mustang Drive, Grapevine, Texas 76051
(817) 329-4373
TxEng Firm # F-2944 ~ TxSurv Firm # 10021700

OWNER:
BLOOMFIELD HOMES, LP
1050 E. HWY 114, SUITE 210
SOUTHLAKE, TX 76092
(817) 416-1572

DEVELOPER:
DOUGLAS PROPERTIES, INC.
2309 AVE. K
SUITE 100
PLANO, TX 75074
(972) 422-1658

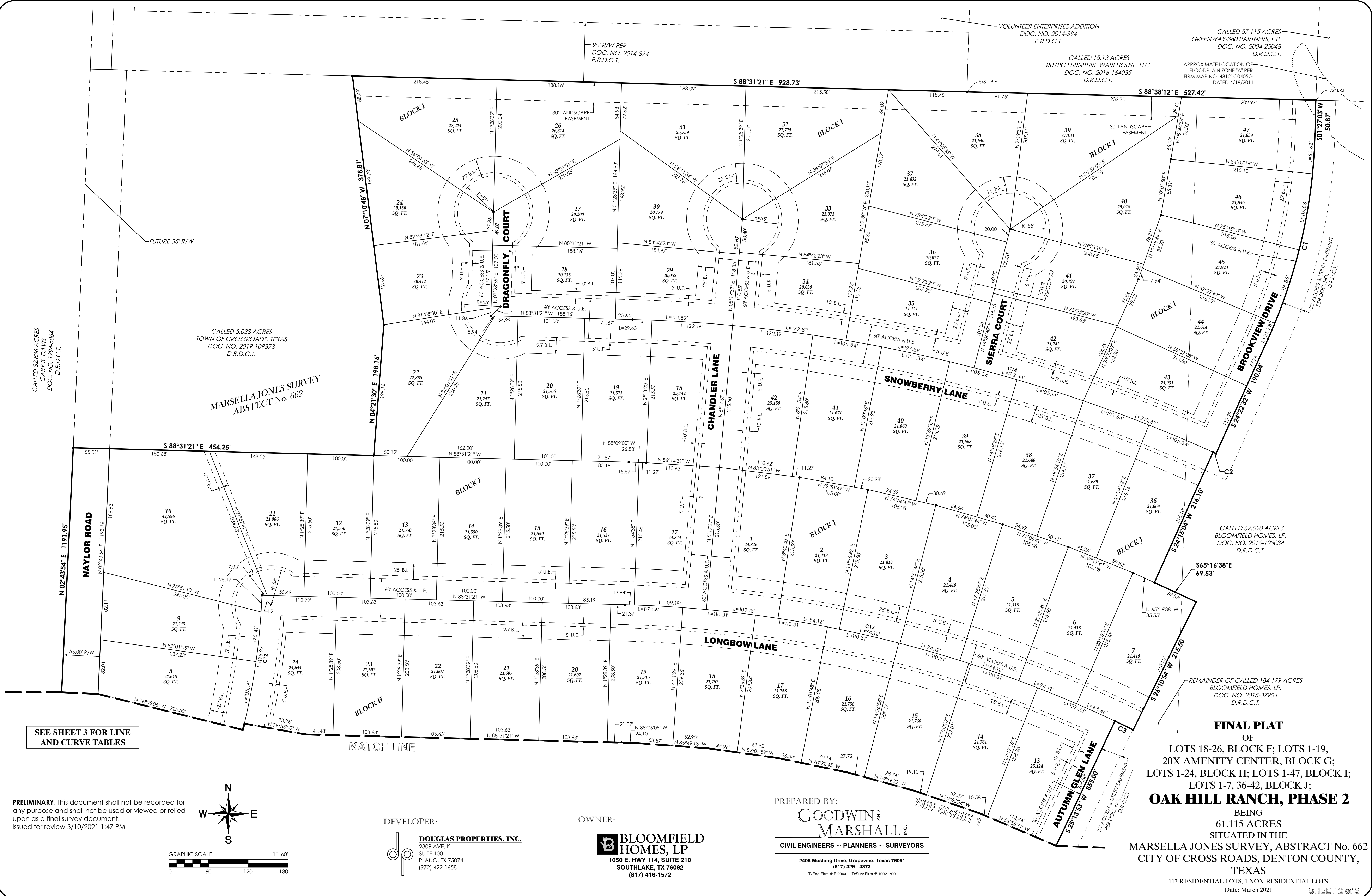


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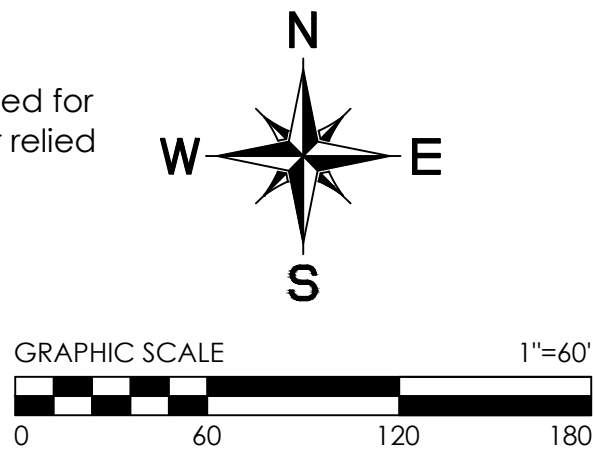
LEGEND	
•	1/2" C.I.R.S. UNLESS OTHERWISE NOTED
SQ. FT.	SQUARE FEET
AC.	ACRES
U.E.	UTILITY EASEMENT
B.L.	BUILDING LINE
R/W	RIGHT-OF-WAY
INST. NO.	INSTRUMENT NUMBER
VOL.	VOLUME
PG.	PAGE
D.R.J.C.T.	DEED RECORDS, JOHNSON COUNTY, TEXAS
P.R.J.C.T.	PLAT RECORDS, JOHNSON COUNTY, TEXAS
I.R.F.	IRON ROD FOUND
C.I.R.F.	CAPPED IRON ROD FOUND
C.I.R.S.	CAPPED IRON ROD SET (GOODWIN & MARSHALL)
---	BOUNDARY LINE
- - -	ADJONER LINE
- . -	EASEMENT LINE
---	CENTERLINE

EX-107038 - Oak Hill Ranch (COGO) PLAT PHASE 2, 10736-PLA-PH2-SHEETS.dwg



SEE SHEET 3 FOR LINE
AND CURVE TABLES

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DEVELOPER:
DOUGLAS PROPERTIES, INC.
2309 AVE. K
SUITE 100
PLANO, TX 75074
(972) 422-1658

OWNER:
BLOOMFIELD HOMES, LP
1050 E. HWY 114, SUITE 210
SOUTHLAKE, TX 76092
(817) 416-1572

PREPARED BY:
GOODWIN MARSHALL & ASSOCIATES, P.C.
CIVIL ENGINEERS ~ PLANNERS ~ SURVEYORS
2405 Mustang Drive, Grapevine, Texas 76051
(817) 329-4373
TxEng Firm # F-2944 - TxSurv Firm # 10021700

FINAL PLAT
OF
LOTS 18-26, BLOCK F; LOTS 1-19,
20X AMENITY CENTER, BLOCK G;
LOTS 1-24, BLOCK H; LOTS 1-47, BLOCK I;
LOTS 1-7, 36-42, BLOCK J;
OAK HILL RANCH, PHASE 2
BEING
61.115 ACRES
SITUATED IN THE
MARSELLA JONES SURVEY, ABSTRACT No. 662
CITY OF CROSS ROADS, DENTON COUNTY,
TEXAS
113 RESIDENTIAL LOTS, 1 NON-RESIDENTIAL LOTS
Date: March 2021

OWNER'S CERTIFICATE AND DEDICATION

STATE OF TEXAS:
COUNTY OF DENTON:

All that certain lot, tract, or parcel of land, situated in a portion of the Marsella Jones Survey, Abstract No. 662, City of Cross Roads, Denton County, Texas, being part of that certain called 184.179 acre tract described in a deed to Bloomfield Homes, LP, recorded in Document No. 2015-37904 of the Deed Records of Denton County, Texas (DRDCT), and being part of that certain called 62.090 acre tract described in a deed to Bloomfield homes, LP, recorded in Document No. 2016-123034 (DRDCT), and being more completely described as follows, to-wit:

BEGINNING at a P.K. nail with washer found stamped "GOODWIN & MARSHALL" for the Northwest corner of Oak Hill Ranch, Phase 1 recorded in Document No. 2019-388 of the Plat Records of Denton County Texas (PRDCT), being in the West line of said 184.179 acre tract, and being in Naylor Road, from which a P.K. nail found with washer stamped "GOODWIN & MARSHALL" in the West line of said Oakhill Ranch, Phase 1 bears South 02 deg. 43 min. 54 sec. West - 210.10 feet;

THENCE North 02 deg. 43 min. 54 sec. East along West line of said 184.179 acre tract, a distance of 1,191.95 feet to a 1/2" capped iron rod set stamped "GOODWIN & MARSHALL" hereinafter referred to as 1/2" capped iron rod set;

THENCE South 88 deg. 31 min. 21 sec. East departing said West line, at 55.01 feet pass a 1/2" capped iron rod set for the Southeast of a called 5.038 acre tract, a distance of 454.25 feet to a 1/2" capped iron rod set for the Southeast corner of said 5.038 acre tract;

THENCE North 04 deg. 21 min. 30 sec. East along the East line of said 5.038 acre tract, a distance of 198.16 feet to a 1/2" capped iron rod set;

THENCE North 07 deg. 10 min. 48 sec. West along said East line, a distance of 378.81 feet to a 1/2" capped iron rod set for the Northeast corner of said 5.038 acre tract and being in the South line of a 90' wide right-of-way line recorded in Document No. 2014-394 (PRDCT) and being in the North line of said 184.179 acre tract;

THENCE South 88 deg. 31 min. 21 sec. East along said North line and said South right-of-way line, a distance of 928.73 feet to a 5/8" iron rod found for the Southeast corner of said 90' wide right-of-way and the Southwest corner of a called 15.13 acre tract described in a deed to Rustic Furniture Warehouse, LLC recorded in Document No. 2016-164035 (DRDCT);

THENCE South 88 deg. 38 min. 12 sec. East along said North line, the North line of said 62.090 acre tract, and the South line of said 15.13 acre tract, a distance of 527.42 feet to a 1/2" iron rod found for the Southeast corner of said 15.13 acre tract and the Southwest corner of a called 57.115 acre tract described in a deed to Greenway-360 Partners, LP, recorded in Document No. 2004-25048 (DRDCT);

THENCE South 01 deg. 27 min. 03 sec. West departing said North and South lines, a distance of 50.87 feet to a 1/2" capped iron rod set for a Point of Curvature of a circular curve to the right, having a radius of 800.00 feet, a central angle of 22 deg. 55 min. 29 sec., and being subtended by a chord which bears South 12 deg. 54 min. 47 sec. West - 317.96 feet;

THENCE in a southerly direction along said curve to the right, a distance of 320.09 feet to a 1/2" capped iron rod set;

THENCE South 24 deg. 22 min. 32 sec. West, tangent to said curve, a distance of 190.04 feet to a 1/2" capped iron rod set for a Point of Curvature of a non-tangent circular curve to the left, having a radius of 2,279.50 feet, a central angle of 00 deg. 07 min. 28 sec., and being subtended by a chord which bears North 65 deg. 41 min. 12 sec. West - 4.95 feet;

THENCE in a northwesterly direction along said curve to the left, a distance of 4.95 feet to a 1/2" capped iron rod set;

THENCE South 24 deg. 15 min. 04 sec. West, non-tangent to said curve, a distance of 216.10 feet to a 1/2" capped iron rod set;

THENCE South 65 deg. 16 min. 38 sec. East, a distance of 69.53 feet to a 1/2" capped iron rod set;

THENCE South 26 deg. 10 min. 54 sec. West, a distance of 215.50 feet to a 1/2" capped iron rod set for a Point of Curvature of a non-tangent circular curve to the left, having a radius of 1,848.50 feet, a central angle of 00 deg. 57 min. 01 sec., and being subtended by a chord which bears North 64 deg. 17 min. 37 sec. West - 30.65 feet;

THENCE in a northwesterly direction along said curve to the left, a distance of 30.65 feet to a 1/2" capped iron rod set;

THENCE South 25 deg. 13 min. 53 sec. West, non-tangent to said curve, a distance of 855.00 feet to a 1/2" capped iron rod set for a Point of Curvature of a non-tangent circular curve to the right, having a radius of 993.50 feet, a central angle of 00 deg. 18 min. 36 sec., and being subtended by a chord which bears South 64 deg. 36 min. 49 sec. East - 5.38 feet;

THENCE in a southeasterly direction along said curve to the right, a distance of 5.38 feet to a 1/2" capped iron rod set;

THENCE South 25 deg. 32 min. 29 sec. West, non-tangent to said curve, a distance of 209.96 feet to a 1/2" capped iron rod set in the North line of said Oak Hill Ranch, Phase 1;

THENCE along the North line of said Oak Hill Ranch, Phase 1 the following eight (8) courses:

North 68 deg. 06 min. 03 sec. West, a distance of 106.32 feet to a 1/2" capped iron rod set;

North 76 deg. 22 min. 21 sec. West, a distance of 113.08 feet to a 1/2" capped iron rod set;

North 84 deg. 30 min. 55 sec. West, a distance of 109.57 feet to a 1/2" capped iron rod set;

North 88 deg. 31 min. 21 sec. West, a distance of 397.19 feet to a 1/2" capped iron rod set;

North 87 deg. 20 min. 47 sec. West, a distance of 200.32 feet to a 1/2" capped iron rod set for a Point of Curvature of a non-tangent circular curve to the left, having a radius of 250.00 feet, a central angle of 28 deg. 46 min. 46 sec., and being subtended by a chord which bears North 11 deg. 44 min. 10 sec. West - 124.26 feet;

Continue in a northerly direction along said curve to the left, a distance of 125.57 feet to a 1/2" capped iron rod set for a Point of Curvature of a non-tangent circular curve to the right, having a radius of 250.00 feet, a central angle of 33 deg. 41 min. 21 sec., and being subtended by a chord which bears South 75 deg. 53 min. 13 sec. West - 144.89 feet;

Continue in a westerly direction along said curve to the right, a distance of 147.00 feet to a 1/2" capped iron rod set;

North 87 deg. 16 min. 06 sec. West tangent to said curve, a distance of 100.13 feet to the **POINT OF BEGINNING**, containing 2,662.173 square feet or 61.115 acres of land, more or less.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT, BLOOMFIELD HOMES, L.P., acting herein by and through its duly authorized representatives, do hereby adopt this plat designated herein as OAK HILL RANCH, PHASE 2, an addition to the Town of Cross Roads, Denton County, Texas. The easements shown hereon are hereby reserved for the purposes indicated. All streets, alleys and rights-of-way are hereby dedicated in fee simple to the Town of Cross Roads for municipal purposes. The utility and fire lane easements (streets, alleys and common areas) shall be open to the public, fire and police units, garbage and rubbish collection agencies and all public and private utilities for each particular use. No buildings, trees, shrubs or other improvements or growths shall be constructed, reconstructed or placed upon, over or across the utility easements as shown. Said utility easements are hereby reserved for the mutual use and accommodation of any utility using or desiring to use the same.

All and any public utility shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs, or other improvements or growths which in any way endanger or interfere with the construction, reconstruction, maintenance or efficiency of its respective system on the utility easements, and all public utilities shall at all times have the right of ingress and egress to and from and upon the said utility easements for the purpose of construction, reconstruction, inspecting, patrolling, maintaining or adding to or removing all or parts of its respective system without the necessity at any time of procuring the permission of anyone. Any public utility shall have the right of ingress to private property for the purposes of reading meters and any maintenance and service required or ordinarily performed by that utility.

OWNER'S CERTIFICATE AND DEDICATION CONT...

This plat approved subject to all platting ordinances, rules, regulations and resolutions of the Town of Cross Roads.

Witness our hand, this the _____ day of _____, 20__.

BLOOMFIELD HOMES, LP
a Texas limited partnership

By: BLOOMFIELD PROPERTIES, INC.
a Texas corporation, General Partner

BY: _____

TITLE: _____

STATE OF TEXAS:
COUNTY OF TARRANT:

BEFORE ME, the undersigned, a Notary Public in and for the State of Texas, on this day personally appeared _____ of Bloomfield Properties, Inc., the General Partner of Bloomfield Homes, LP, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF THE OFFICE
this the _____ day of _____, 20__.

Notary public, State of Texas

NOTES

1. Bearings are referenced to Texas State Plane Coordinate System, North Central Zone (4202), North American Datum of 1983 as derived from GPS observation. The combined scale factor for this site is 0.99985233. This factor is to be applied to any ground coordinate or distance values in order to reduce said values to State Plane grid. Elevations shown hereon were derived from GPS observation and calibrated to Benchmark #1 as shown in G & A Consultants plans having a published elevation of 541.35 feet (NAVD88).
2. According to the Flood Insurance Rate Map (FIRM) panel 48121C0405G, effective April 18, 2011, This survey is located in Flood Insurance Zone "X" non shaded areas to be outside the 0.2% annual chance floodplain and Zone "A" no base flood elevations determined.
3. All 1/2" iron rod set with yellow plastic cap stamped "Goodwin & Marshall" unless otherwise noted.
4. Lot 20X, Block G is a private H.O.A./Developer owned and maintained open space lot.

APPROVALS

RECOMMENDED FOR APPROVAL

Chairperson, Planning & Zoning Commission Date

APPROVED FOR CONSTRUCTION

Mayor, Town of Cross Roads Date

THE UNDERSIGNED, the Town Secretary, of the Town of Cross Roads, Texas, hereby certifies that the foregoing final plat of the Oak Hill Ranch, Phase 2, an addition to the Town of Cross Roads, was submitted to the Town Council on the _____ day of _____, 20__ on the Council, by formal action, then and there accepted the dedication of streets, alleys, parks, easements, public parks, and water and sewer lines, as shown and set forth in an upon said plat, and said Council further authorizes the Mayor to note the acceptance thereof for construction by signing his/her name as herein above described.

Witness my hand this _____ day of _____, 20__.

SURVEYORS CERTIFICATE

This is to certify that I, John N. Rogers, a Registered Professional Land Surveyor of the State of Texas, have platted the above subdivision from an actual on the ground survey, and that all lot corners, angle points and points of the curve shall be properly marked on the ground and that this plat correctly represents that survey made by me or under my direction and supervision.

John N. Rogers
Registered Professional Land Surveyor No. 6372
Surveyed on the ground 10/8/2014
Goodwin & Marshall, Inc.
2405 Mustang Drive
Grapevine, Texas 76051
metro (817) 329-4373

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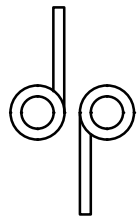
CURVE TABLE					
CURVE #	RADIUS	ARC LENGTH	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	800.00	320.09	22°55'29"	S12°54'47"W	317.96
C2	2279.50	4.95	0°07'28"	N65°41'12"W	4.95
C3	1848.50	30.65	0°57'01"	N64°17'37"W	30.65
C4	993.50	5.38	0°18'36"	S64°36'49"E	5.38
C5	250.00	125.57	28°46'46"	N11°44'10"W	124.26
C6	250.00	147.00	33°41'21"	S75°53'13"W	144.89
C7	250.00	84.07	19°16'04"	N49°24'31"E	83.68
C8	165.50	233.35	80°47'06"	S48°07'48"E	214.49
C9	993.50	411.89	23°45'14"	S76°38'44"W	408.94
C10	1424.50	590.57	23°45'14"	S76°38'44"W	586.35
C11	1015.50	399.72	22°33'10"	N03°32'20"W	397.15
C12	1015.50	221.70	12°30'31"	N08°33'39"E	221.26
C13	1848.50	766.36	23°45'14"	S76°38'44"W	760.88
C14	2279.50	906.04	22°46'25"	S77°08'09"W	900.09

LINE TABLE		
LINE #	BEARING	DISTANCE
L1	S46°28'39"W	20.51
L2	N42°54'31"W	20.29

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FINAL PLAT
OF
LOTS 18-26, BLOCK F; LOTS 1-19,
20X AMENITY CENTER, BLOCK G;
LOTS 1-24, BLOCK H; LOTS 1-47, BLOCK I;
LOTS 1-7, 36-42, BLOCK J;
OAK HILL RANCH, PHASE 2
BEING
61.115 ACRES
SITUATED IN THE
MARSELLA JONES SURVEY, ABSTRACT No. 662
CITY OF CROSS ROADS, DENTON COUNTY,
TEXAS
113 RESIDENTIAL LOTS, 1 NON-RESIDENTIAL LOTS
Date: March 2021

DEVELOPER:

 **DOUGLAS PROPERTIES, INC.**
2309 AVE. K
SUITE 100
PLANO, TX 75074
(972) 422-1658

OWNER:

 **BLOOMFIELD HOMES, LP**
1050 E. HWY 114, SUITE 210
SOUTHLAKE, TX 76092
(817) 416-1572

PREPARED BY:

GOODWIN AND MARSHALL
CIVIL ENGINEERS ~ PLANNERS ~ SURVEYORS
2405 Mustang Drive, Grapevine, Texas 76051
(817) 329 - 4373
TxEng Firm # F-2044 ~ TxSurv Firm # 10021700

GENERAL NOTES

1. THE TERM MUNICIPALITY REFERS TO THE TOWN OF CROSS ROADS.
2. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE MUNICIPALITY AND SHALL BE IN ACCORDANCE WITH THE MUNICIPAL STANDARD DETAILS AND SPECIFICATIONS FOR CONSTRUCTION. ALL WORK NOT COVERED IN THE CONTRACT DOCUMENTS AND MUNICIPAL STANDARD DETAILS AND SPECIFICATIONS FOR CONSTRUCTION SHALL BE GOVERNED BY THE NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENT STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
3. EXISTING UTILITY LOCATIONS SHOWN ARE GENERALLY SCHEMATIC IN NATURE AND MAY NOT ACCURATELY REFLECT THE SIZE AND LOCATION OF EACH PARTICULAR UTILITY. EXISTING UTILITIES SHOWN HAVE BEEN BASED ON AVAILABLE RECORD DRAWINGS AND SURFACE APPURTENANCE FIELD TIES ONLY. SOME UTILITY LINES AND SURFACE LOCATIONS MAY NOT BE SHOWN. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ACTUAL FIELD LOCATIONS AND PROTECTION OF EXISTING UTILITIES WHETHER SHOWN OR NOT. THE CONTRACTOR SHALL ALSO ASSUME RESPONSIBILITY FOR REPAIRS TO EXISTING UTILITIES WHETHER SHOWN OR NOT, DAMAGED BY THE CONTRACTOR'S ACTIVITIES. DIFFERENCES IN HORIZONTAL OR VERTICAL LOCATIONS OF EXISTING UTILITIES SHALL NOT BE BASIS FOR ADDITIONAL COMPENSATIONS TO THE CONTRACTOR.
4. THE CONTRACTOR SHALL PROTECT EXISTING PROPERTY MONUMENTATION AND PRIMARY CONTROL. ANY SUCH POINTS WHICH THE CONTRACTOR BELIEVES WILL BE DESTROYED SHALL HAVE OFFSET POINTS ESTABLISHED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY MONUMENTATION DESTROYED BY THE CONTRACTOR SHALL BE REESTABLISHED AT CONTRACTORS EXPENSE BY A REGISTERED PROFESSIONAL LAND SURVEYOR.
5. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO: A.) PREVENT ANY DAMAGES TO PRIVATE PROPERTY AND PROPERTY OWNER'S POLES, FENCES, SHRUBS, ETC. B.) PROTECT ALL UNDERGROUND UTILITIES. C.) NOTIFY ALL UTILITY COMPANIES AT LEAST 48 HOURS PRIOR TO EXCAVATION IN ACCORDANCE WITH TEXAS LAW. D.) FIELD VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES IN THE VICINITY OF CONSTRUCTION ACTIVITIES PRIOR TO START OF CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY ENGINEER OF ANY UNIDENTIFIED POTENTIAL CONFLICTS THAT MAY EXIST BETWEEN THE EXISTING UTILITIES AND CONSTRUCTION PLANS.
6. ANY DAMAGES THAT MAY OCCUR TO REAL PROPERTY OR EXISTING IMPROVEMENTS, INCLUDING EXISTING PRIVATE AND PUBLIC LANDSCAPE IRRIGATION SYSTEMS, SHALL BE RESTORED BY THE CONTRACTOR TO AT LEAST THE SAME CONDITION THAT THE REAL PROPERTY OR EXISTING IMPROVEMENT WERE IN PRIOR TO THE DAMAGES. THE CONTRACTOR WILL ALSO BE RESPONSIBLE FOR THE ADJUSTMENT OF SPRINKLER HEADS TO FINAL GRADE AND RELOCATION IF NECESSARY.
7. THE CONTRACTOR SHALL MAINTAIN DRAINAGE AT ALL TIMES DURING CONSTRUCTION. THE PONDING OF WATER IN STREETS, DRIVES, TRENCHES, ETC. WILL NOT BE ALLOWED. THE CONTRACTOR SHALL MAINTAIN EXISTING DRIVEWAYS ACCESS AT ALL TIME.
8. THE CONTRACTOR SHALL MAINTAIN EXISTING SANITARY SEWER AND WATER SERVICES AT ALL TIMES DURING CONSTRUCTION.
9. AREAS OF THE SITE THAT WILL UNDERLIE FILL SHALL BE SCARIFIED TO A DEPTH OF 8 INCHES. FILL SHALL BE PLACED IN LOOSE LIFTS NOT EXCEEDING 8 INCHES IN UNCOMPACTED THICKNESS. ALL FILL MATERIAL SHALL BE COMPACTED TO 95% STANDARD PROCTOR DENSITY WITH A MOISTURE CONTENT FROM -3% TO +0% OF OPTIMUM OR PER GEOTECH RECOMMENDATION. FIELD DENSITY TESTS PER MUNICIPAL REQUIREMENTS.
10. THE CONTRACTOR SHALL ABIDE BY ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS GOVERNING EXCAVATION. THE CONTRACTOR SHALL PROVIDE DETAILED PLANS AND SPECIFICATION FOR TRENCH SAFETY SYSTEMS THAT COMPLY WITH APPLICABLE LAWS GOVERNING EXCAVATION. THESE PLANS SHALL BE SEALED BY AN ENGINEER EXPERIENCED IN THE DESIGN OF TRENCH SAFETY SYSTEM, REGISTERED IN THE STATE OF TEXAS. THE CONTRACTOR SHALL SUBMIT COMPLETED TRENCH SAFETY PLANS TO THE MUNICIPALITY PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL ASPECTS OF WORK RELATED TO EXCAVATION. ALL EXCAVATIONS, TRENCHING AND SHORING OPERATIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE U.S. DEPARTMENT OF LABOR, OSHA, "CONSTRUCTION SAFETY AND HEALTH REGULATIONS".
11. WORK MAY NOT BE BACKFILLED OR COVERED UNTIL IT HAS BEEN INSPECTED BY THE MUNICIPALITY.
12. ALL EXCAVATION ON THE PROJECT IS UNCLASSIFIED.
13. ALL CURB AND GUTTER SHALL BE INTEGRAL WITH THE CONCRETE PAVEMENT.
14. CONTRACTOR SHALL COORDINATE THE PROTECTION OF EXISTING FRANCHISE UTILITIES AND APPURTENANCES INCLUDING EXISTING UTILITY POLES IN THE VICINITY OF CONSTRUCTION OPERATIONS WHETHER UTILITIES ARE SHOWN ON PLANS OR NOT. ANY DAMAGE INCURRED TO EXISTING FRANCHISE UTILITIES, APPURTENANCES, UTILITY POLES, LIGHT STANDARDS, ETC., BY CONSTRUCTION RELATED ACTIVITIES SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
15. THE CONTRACTOR SHALL LOCATE AND RECORD EXISTING IRRIGATION SYSTEMS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL TEMPORARILY REMOVE AND CAP IRRIGATION SYSTEM AS NECESSARY FOR CONSTRUCTION AND SHALL REPLACE THE PORTION REMOVED WITH EQUIVALENT SYSTEMS. CONTRACTOR SHALL COORDINATE ANY IRRIGATION WORK WITH THE MUNICIPALITY AND PROPERTY OWNER'S REPRESENTATIVES.
16. THE CONTRACTOR MUST CEASE ALL CONSTRUCTION OPERATIONS IMMEDIATELY IF A SUSPECTED ARCHEOLOGICAL OBJECT/ARTIFACT IS UNCOVERED DURING CONSTRUCTION. THE CONTRACTOR MUST IMMEDIATELY CONTACT THE TEXAS HISTORICAL COMMISSION AND THE MUNICIPALITY. PROJECT WORK WILL NOT COMMENCE UNTIL PROPER PERMITS ARE IN PLACE AND PROVIDED TO THE MUNICIPALITY.
17. ALL PAVING DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
18. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE COMPLIANCE WITH ALL HANDICAPPED ACCESSIBILITY REQUIREMENTS INCLUDING SIGNAGE, TEXTURES, COLORING, MARKINGS, AND SLOPES OF ADA/TAS 2012 ACCESSIBLE ROUTES & RAMPS, AND PARKING SPACES.
19. ALL PIPE LENGTHS MEASURED FROM STATION TO STATION BASED ON THE CENTER OF STRUCTURE UNLESS OTHERWISE NOTED.
20. CONTRACTOR SHALL NOTIFY ENGINEER IF ANY DISCREPANCIES ARISE.
21. REFERENCE TYPICAL SECTION FOR PAVEMENT WITH
22. ALL SIGNS AND STRIPING SHALL MEET TOWN OF CROSSROADS STANDARDS
23. CONTRACTOR TO COORDINATE WITH THE TOWN AND THE OWNER OF THE UTILITY POLES FOR THEIR RELOCATION.
24. ALL UTILITY SLEEVES MUST BE INSTALLED BEFORE PAVING CAN BEGIN.

GENERAL NOTES FOR WATER IMPROVEMENTS

1. ALL WATER LINES SHALL BE PVC PIPE CONFORMING TO A.W.W.A. STANDARD C-900 SDR-18 MINIMUM, WITH NSF SEAL, PRESSURE TESTED AND DISINFECTED IN ACCORDANCE WITH MUNICIPAL AND/OR NCTCOG STD. SPECS., UNLESS OTHERWISE NOTED WITHIN THE CONSTRUCTION PLANS.
2. ALL FIRE HYDRANTS SHALL BE FLOW AND PRESSURE TESTED AND MARKED (TAG AND PAINT) IN ACCORDANCE WITH NFPA 291, RECOMMENDED PRACTICE FOR FIRE FLOW TESTING AND MARKING OF HYDRANTS., LATEST EDITION. COPIES OF EACH TEST REPORT FOR EACH FIRE HYDRANT, INCLUDING A MAP SHOWING THE LOCATION OF THE FIRE HYDRANT BEING FLOW TESTED AND THE LOCATION OF THE PRESSURE HYDRANT, SHALL BE PROVIDED TO MSUD PRIOR TO ACCEPTANCE OF THE SYSTEM AND BEGINNING OF SERVICE.
3. ALL FIRE HYDRANTS TO BE PLACED 3' FROM EDGE OF PAVEMENT.
4. ALL WATER METER BOXES SHALL BE LOCATED IN R.O.W.

GENERAL NOTES FOR PAVING IMPROVEMENTS

1. THE SUB GRADE SHALL BE PROOF ROLLED AND OBSERVED BY THE CONSTRUCTION INSPECTOR PRIOR TO AND AFTER SUB-GRADE STABILIZATION.
2. INDIVIDUAL WATER AND SEWER SERVICES AND WATER VALVES SHALL BE MARKED IN ACCORDANCE WITH MUSTANG SPECIAL UTILITY DISTRICT (MSUD) REQUIREMENTS.
3. THE CONTRACTOR SHALL PROCEED WITH PAVING NO MORE THAN SEVENTY-TWO (72) HOURS AFTER DENSITY/MOISTURE TESTS HAVE BEEN TAKEN AND PASSED BY A REGISTERED TESTING FIRM. COPIES OF THE TEST RESULTS SHALL BE FURNISHED TO THE MUNICIPALITY. IN THE EVENT PAVING OPERATIONS HAVE NOT COMMENCED WITHIN THE SEVENTY-TWO (72) HOUR LIMIT, A RETEST SHALL BE REQUIRED AT THE CONTRACTOR'S EXPENSE. 4. MANHOLE RIM ELEVATIONS, CLEAN-OUTS, VALVE BOXES, FIRE HYDRANTS, ETC. SHALL BE ADJUSTED TO FINISHED GRADE BY THE PAVING CONTRACTOR AT THE TIME OF PAVING.
5. THE PAVING CONTRACTOR SHALL INSTALL A BLUE REFLECTOR IN THE STREET OR FIRE LANE CENTERLINE AT THE LOCATION OF EACH FIRE HYDRANT.
6. THE CONTRACTOR SHALL PREPARE ALL TRAFFIC CONTROL PLANS AND SUBMIT TO THE MUNICIPALITY PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMITS FOR WORK WITHIN THE MUNICIPALITY. THE PLAN SHALL BE PREPARED IN ACCORDANCE WITH THE CURRENT EDITION OF THE M.U.T.C.D AND AS MODIFIED BY THE TXDOT SUPPLEMENT TO THE M.U.T.C.D. THE PLAN SHALL ADDRESS THE REQUIREMENTS FOR ALL SIGNS, BARRICADES, FLAGMEN, LIGHTS, HOURS OF CONSTRUCTION, AND OTHER DEVICES AS NECESSARY FOR SAFE TRAFFIC CONTROL.

GENERAL NOTES FOR SANITARY SEWER IMPROVEMENTS

1. SANITARY SEWER PVC PIPE SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH MSUD REQUIREMENTS.
2. AFTER COMPLETION OF ALL SANITARY SEWER TESTING (I.E. MANDEREL AND AIR) CONTRACTOR SHALL PERFORM A TELEVISION INSPECTION AND PROVIDE A VIDEO TAPE TO MSUD. ALL MANHOLES SHALL BE VACUUM TESTED.
3. ONE JOINT OF 150-PSI PRESSURE RATED PIPE SHALL BE INSTALLED AND CENTERED UNDER ALL PROPOSED WATER PIPE CROSSINGS.
4. CONTRACTOR TO PLACE A 3/4" PLYWOOD FALSE BOTTOM IN ALL SANITARY SEWER MANHOLES BEFORE PAVING CONTRACTOR BEGINS WORK.
5. ANY CONNECTION TIE-IN TO AN EXISTING MANHOLE MUST BE CORED.
6. ALL CLEAN-OUTS TO BE PROVIDED PER MSUD REQUIREMENTS.

PROJECT GENERAL NOTES

1. THE TEXAS DEPARTMENT OF TRANSPORTATION (TXDOT) MUST APPROVE ANY WORK TO BE DONE IN THE STATE HIGHWAY RIGHT-OF-WAY. AN APPLICATION AND APPROPRIATE PLANS MUST BE SUBMITTED DIRECTLY TO TXDOT FOR REVIEW AND APPROVED BY THE MUNICIPALITY WHERE THE WORK WILL BE PERFORMED.
2. THE LOCATION OF UNDERGROUND FACILITIES INDICATED ON THE PLANS IS TAKEN FROM PUBLIC RECORDS. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO MAKE ARRANGEMENTS WITH THE OWNERS OF SUCH UNDERGROUND FACILITIES PRIOR TO WORKING IN THE AREA TO CONFIRM THEIR EXACT LOCATION AND TO DETERMINE WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL UNDERGROUND FACILITIES. IF THE EXISTING UNDERGROUND UTILITIES ARE DAMAGED, THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF REPAIRING THE UTILITY.
3. WHERE EXISTING UTILITIES, SERVICE LINES OR IRRIGATION LINES ARE CUT, BROKEN OR DAMAGED, THE CONTRACTOR SHALL REPLACE OR REPAIR THE UTILITIES, SERVICE LINES OR IRRIGATION LINES WITH THE SAME TYPE OF ORIGINAL MATERIAL AND CONSTRUCTION, OR BETTER, UNLESS OTHERWISE SHOWN OR NOTED ON THE PLANS, AT HIS OWN COST AND EXPENSE. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AT ONCE OF ANY CONFLICTS IN GRADES AND ALIGNMENTS.
4. ALL EXCAVATIONS, TRENCHING AND SHORING OPERATIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE U.S. DEPARTMENT OF LABOR, OSHA, "CONST. SAFETY AND HEALTH REGULATIONS," VOL. 29, SUBPART P, PG. 128-137, AND ANY AMENDMENTS THERETO. THE CONTRACTOR SHALL PREPARE AND IMPLEMENT A TRENCH SAFETY PLAN FOR THIS PROJECT.
5. THE CONTRACTOR SHALL RESTORE ALL AREAS, ONSITE AND OFFSITE, DISTURBED BY CONSTRUCTION TO ORIGINAL CONDITION OR BETTER. RESTORED AREAS INCLUDE, BUT ARE NOT LIMITED TO: TRENCH BACKFILL, SIDE SLOPES, FENCES, CULVERT PIPES, DRAINAGE SWALES, STAGING AREAS, DRIVEWAYS, PRIVATE YARDS AND ROADWAYS. UNLESS OTHERWISE DIRECTED BY THE LANDSCAPE DRAWINGS, RESTORATION SHALL INCLUDE HYDROMULCHING ALL DISTURBED AREAS WITH A SLOPE OF LESS THAN 20% (1:5) AND SODDING AREAS WITH A SLOPE OF 20% (1:5) OR GREATER. ESTABLISHMENT OF GRASS THROUGH PROPER WATERING IS LEFT UP TO THE CONTRACTOR'S MEANS AND METHODS, UNLESS OTHERWISE DIRECTED BY THE LANDSCAPE/IRRIGATION DRAWINGS.
6. THE CONTRACTOR SHALL KEEP RECORDS FOR AS-BUILT'S DRAWINGS AND SHALL SUBMIT MARK-UPS TO THE MUNICIPALITY INSPECTOR PRIOR TO SCHEDULING A FINAL WALK THROUGH INSPECTION.
7. PRIOR TO CONSTRUCTION, A PRE-CONSTRUCTION MEETING SHALL BE HELD WITH REPRESENTATIVES FROM ALL CONTRACTORS, THE ENGINEER, AND THE MUNICIPALITY.
8. ALL CONSTRUCTION MUST ADHERE TO THE TREE PRESERVATION REQUIREMENTS OF THE MUNICIPALITY.
9. THE CONTRACTOR, AND HIS AGENTS, AND SUB-CONTRACTOR, ARE COMPLETELY RESPONSIBLE FOR THE VERIFICATION OF THE ACCURACY OF THE DIMENSION CONTROL FURNISHED HEREIN. THE ENGINEER AND THEIR AGENTS, ARE NOT RESPONSIBLE FOR THE ACCURACY OF THE COORDINATES FURNISHED. THE CONTRACTOR IS REQUIRED TO VERIFY ALL COORDINATES FOR ACCURACY AND CONFIRM THE LOCATIONS OF ALL UTILITIES TO BE CONSTRUCTED, BOTH HORIZONTAL AND VERTICALLY. DISCREPANCIES FOUND BY THE CONTRACTOR SHALL BE REPORTED, IN WRITING, TO THE OWNER IMMEDIATELY FOR RECONCILIATION.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE IMPLEMENTATION OF STORM WATER POLLUTION PREVENTION PLAN (SWPPP) REQUIRED FOR THIS PROJECT IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL PREPARE, IMPLEMENT AND MAINTAIN THE SWPPP IN ACCORDANCE WITH THE REQUIREMENTS OF THE CURRENT TCEQ AND NPDES GENERAL PERMIT AS DESCRIBED IN THE FEDERAL REGISTER, PAGES 36489 THROUGH 36519.
11. OTHER UTILITIES SUCH AS GAS, ELECTRIC, TELEPHONE, CABLE, ETC. SHALL NOT BE INSTALLED IN THE SAME TRENCH AS WATER SERVICE LINES.
12. OTHER UTILITIES SUCH AS GAS, ELECTRIC, TELEPHONE, CABLE, ETC. MAY SHARE THE WASTEWATER SERVICE LINE TRENCH PROVIDED SUCH UTILITIES ARE OFFSET A MINIMUM OF 5' FROM THE WASTEWATER SERVICE LINE.

GENERAL NOTES FOR STORM DRAIN IMPROVEMENTS

1. ALL STORM SEWER AND CULVERT PIPE AND FITTINGS SHALL BE ASTM C76, CLASS III REINFORCED CONCRETE PIPE (RCP), INSTALLED WITH COMPRESSIVE TYPE JOINTS UNLESS NOTED OTHERWISE.
2. AFTER COMPLETION OF ALL STORM SEWER INSTALLATION, THE CONTRACTOR SHALL ENSURE THAT ALL DEBRIS AND SILTATION HAS BEEN REMOVED.
3. STORM CONSTRUCTION WILL INCLUDE FURNISHING AND INSTALLING THE MATERIALS AND ALL STORM DRAINS PIPES, BOXES, INLETS, APPURTENANCE, INCLUDING EXCAVATION, EMBEDMENT AND BACKFILL, AS SHOWN ON THESE PLANS.

MISCELLANEOUS NOTES AND CONSTRUCTION ITEMS

1. ALL EXISTING MAILBOXES IN CONFLICT WITH THE PROPOSED IMPROVEMENTS SHALL BE RELOCATED AND REPLACED WITH AN EQUIVALENT MAILBOX AT NO COST UNLESS SPECIFIED AS A BID ITEM.

MUSTANG S.U.D. GENERAL WATER NOTES:

1. ALL WATER LINES AND APPURTENANCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH TCEQ REQUIREMENTS CHAPTER 290.
2. ALL WATER LINES SHALL BE INSTALLED AND CONSTRUCTED IN ACCORDANCE WITH CURRENT MUSTANG SUD STANDARDS.
3. ALL PIPES AND APPURTENANCES SHALL CONFORM TO AMERICAN NATIONAL STANDARDS INSTITUTE/NATIONAL SANITATION FOUNDATION (ANSI/NSF) STANDARD 61 AND MUST BE CERTIFIED BY ANSI.
4. ALL PIPES AND APPURTENANCES SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTION.
5. WATER SYSTEM SHALL BE DISINFECTED IN ACCORDANCE WITH AMERICAN WATER WORKS ASSOCIATION (AWWA) C651 (CURRENT EDITION) AND THEN FLUSHED AND SAMPLED BEFORE BEING PLACED IN SERVICE. SAMPLES SHALL BE COLLECTED IN ACCORDANCE WITH MUSTANG SUD TESTING REQUIREMENTS.
6. ALL WATERLINES SHALL BE DESIGNED, MANUFACTURED, INSTALLED AND TESTED PER MUSTANG SUD WATER STANDARD DETAILS.
7. ALL PVC WATER PIPE SHALL BE BLUE IN COLOR.
8. ALL GATE VALVES SHALL BE RESILIENT WEDGE.
9. RESTRAINED JOINTS SUCH AS MEGA-LUG OR EQUAL ARE REQUIRED AT ALL FITTINGS.
10. THE EXISTENCE AND LOCATIONS OF ALL UNDERGROUND UTILITIES SHOWN (MAIN LINE ONLY) NO LATERALS OR SERVICES ARE SHOWN) ON THE DRAWINGS WERE OBTAINED FROM AVAILABLE RECORDS AND ARE APPROXIMATE. NEITHER THE OWNER NOR THE ENGINEER ASSUMES ANY RESPONSIBILITY FOR UTILITIES NOT SHOWN OR NOT IN THE LOCATION SHOWN. THE CONTRACTOR SHALL DETERMINE THE DEPTH AND LOCATION OF EXISTING UNDERGROUND UTILITIES PRIOR TO TRENCHING AND SHALL BE REQUIRED TO TAKE ANY PRECAUTIONARY MEASURES TO PROTECT ALL LINES SHOWN AND/OR ANY OTHER UNDERGROUND UTILITIES NOT OF RECORD OR NOT SHOWN ON THE PLANS.
11. ANY CONTRACTOR/SUBCONTRACTOR PERFORMING WORK ON THIS PROJECT SHALL FAMILIARIZE HIMSELF WITH THE SITE AND SHALL BE SOLELY RESPONSIBLE FOR ANY DAMAGE TO EXISTING FACILITIES RESULTING DIRECTLY OR INDIRECTLY FROM OPERATIONS. SAID EXISTING IMPROVEMENTS SHALL INCLUDE BUT NOT BE LIMITED TO BERMS, DITCHES, FENCES, PLANTS, IRRIGATION. ANY REMOVAL OR DAMAGE TO EXISTING IMPROVEMENTS SHALL BE REPLACED OR REPAIRED BY THE CONTRACTOR AT HIS EXPENSE AND SHALL BE APPROVED BY THE ENGINEER.
12. CONTRACTOR SHALL SHORE ALL TRENCHES AND CONDUCT ALL CONSTRUCTION AND OPERATIONS IN ACCORDANCE WITH OCCUPATION SAFETY AND HEALTH ADMINISTRATION (OSHA) REQUIREMENTS.
13. ALL CONSTRUCTION AND MATERIALS SHALL COMPLY WITH MUSTANG SUD SPECIFICATIONS. ANY CONSTRUCTION AND/OR MATERIALS NOT COVERED IN MUSTANG SUD SPECIFICATIONS SHALL BE IN ACCORDANCE WITH NCTCOG SPECIFICATIONS OR THE AWWA.
14. PIPE SHALL BE HANDLED SO AS TO PROTECT PIPE AND PIPE JOINTS AND CAREFULLY BEDDED TO PROVIDE CONTINUOUS BEARING AND PREVENT UNEVEN SETTLEMENT. PIPE SHALL BE PROTECTED AGAINST FLOTATION AT ALL TIMES. OPEN ENDS OF INSTALLED PIPE SHALL BE SEALED AT ALL TIMES WHEN CONSTRUCTION IS NOT IN PROGRESS.
15. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE ADEQUATE AS-BUILT. DRAWINGS TO THE ENGINEER/MUSTANG SUD IMMEDIATELY AFTER CONSTRUCTION.
16. IT SHALL BE CONTRACTOR'S RESPONSIBILITIES TO VERIFY LOCATION, ELEVATION AND DIMENSIONS OF ADJACENT AND/OR CONFLICTING UTILITIES IN ADVANCE OF CONSTRUCTION IN ORDER THAT ADJUSTMENTS CAN BE MADE TO PROVIDE ADEQUATE CLEARANCE, IF REQUIRED. THE CONTRACTOR SHALL PRESERVE AND PROTECT PUBLIC UTILITIES AT ALL TIMES DURING CONSTRUCTION. ANY DAMAGE TO UTILITIES RESULTING FROM THE CONTRACTOR'S OPERATION SHALL BE RESTORED AT HIS EXPENSE. THE ENGINEER SHALL BE NOTIFIED WHEN PROPOSED FACILITY'S GRADES CONFLICT WITH EXISTING UTILITY'S GRADES.
17. CONTRACTOR TO MAINTAIN A MINIMUM DEPTH OF 48" ON ALL WATER LINES.
18. CONTRACTOR TO PROVIDE EXTENSIONS FOR ALL VALVE STACKS AND FIRE HYDRANT LEADS/RISERS FOR ALL WATERLINES DEEPER THAN 48" DEPTH.
19. CONTRACTOR TO PROVIDE A CURVE IN WATERLINE TO AVOID STORM DRAIN INLETS AT ALL LOCATIONS.
20. ALL PVC PIPE SHALL BE INSTALLED WITH TRACER TAPE.
21. ALL DUCTILE IRON FITTINGS, VALVES, ETC. SHALL BE ENCASED WITH POLYETHYLENE WRAP 8 MILS THICK.
22. ALL DUCTILE IRON FITTINGS AND RESTRAINTS SHALL MANUFACTURED DOMESTICALLY.
23. FRANCHISE UTILITY NOTE: OTHER UTILITIES SUCH AS GAS, ELECTRIC, TELEPHONE, CABLE, ETC. SHALL NOT BE INSTALLED IN THE SAME TRENCH AS WATER SERVICE LINES. OTHER UTILITIES SUCH AS GAS, ELECTRIC, TELEPHONE, CABLE, ETC. MAY SHARE THE WASTEWATER SERVICE LINE TRENCH PROVIDED SUCH UTILITIES ARE OFFSET A MINIMUM OF 5' FROM THE WASTEWATER SERVICE LINE.
24. FIRE HYDRANT NOTE: ALL FIRE HYDRANTS SHALL BE FLOW AND PRESSURE TESTED AND MARKED (TAG AND PAINT) IN ACCORDANCE WITH NFPA 291, RECOMMENDED PRACTICE FOR FIRE FLOW TESTING AND MARKING OF HYDRANTS., LATEST EDITION. COPIES OF EACH TEST REPORT FOR EACH FIRE HYDRANT, INCLUDING A MAP SHOWING THE LOCATION OF THE FIRE HYDRANT BEING FLOW TESTED AND THE LOCATION OF THE PRESSURE HYDRANT, SHALL BE PROVIDED TO MUSTANG SUD PRIOR TO ACCEPTANCE OF THE SYSTEM AND BEGINNING OF SERVICE.

MUSTANG S.U.D. GENERAL WASTEWATER NOTES:

1. ALL WASTEWATER LINES AND APPURTENANCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH TCEQ REQUIREMENTS CHAPTER 217.
2. ALL WASTEWATER LINES SHALL BE INSTALLED AND CONSTRUCTED IN ACCORDANCE WITH CURRENT MUSTANG SUD STANDARDS.
3. ALL PIPES AND APPURTENANCES SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTION.
4. WASTEWATER SYSTEM SHALL BE TESTED IN ACCORDANCE WITH TCEQ FOR ALLOWABLE LEAKAGE AND PIPE DEFLECTION BEFORE BEING PLACED IN SERVICE. TEST RESULTS SHALL BE PROVIDED TO MUSTANG SUD.
5. ALL WASTEWATER LINES SHALL BE DESIGNED, MANUFACTURED, INSTALLED AND TESTED PER MUSTANG SUD WASTEWATER STANDARD DETAILS.
6. ALL PVC GRAVITY OR PRESSURE WASTEWATER PIPE SHALL BE GREEN IN COLOR.
7. ALL WASTEWATER MANHOLES, DROP MANHOLES, WET WELLS, AND FORCE MAIN TO GRAVITY TRANSITION MANHOLES SHALL BE LINED WITH RAVEN 405 ULTRA-HIGH BUILD EPOXY OR APPROVED EQUAL.
8. ALL FORCE MAIN DUCTILE IRON PIPE AND FITTINGS SHALL BE LINED WITH PROTECTO 401 (P401) CERAMIC EPOXY OR APPROVED EQUAL.
9. THE EXISTENCE AND LOCATIONS OF ALL UNDERGROUND UTILITIES SHOWN (MAIN LINE ONLY) NO LATERALS OR SERVICES ARE SHOWN) ON THE DRAWINGS WERE OBTAINED FROM AVAILABLE RECORDS AND ARE APPROXIMATE. NEITHER THE OWNER NOR THE ENGINEER ASSUMES ANY RESPONSIBILITY FOR UTILITIES NOT SHOWN OR NOT IN THE LOCATION SHOWN. THE CONTRACTOR SHALL DETERMINE THE DEPTH AND LOCATION OF EXISTING UNDERGROUND UTILITIES PRIOR TO TRENCHING AND SHALL BE REQUIRED TO TAKE ANY PRECAUTIONARY MEASURES TO PROTECT ALL LINES SHOWN AND/OR ANY OTHER UNDERGROUND UTILITIES NOT OF RECORD OR NOT SHOWN ON THE PLANS.
10. ANY CONTRACTOR/SUBCONTRACTOR PERFORMING WORK ON THIS PROJECT SHALL FAMILIARIZE HIMSELF WITH THE SITE AND SHALL BE SOLELY RESPONSIBLE FOR ANY DAMAGE TO EXISTING FACILITIES RESULTING DIRECTLY OR INDIRECTLY FROM OPERATIONS. SAID EXISTING IMPROVEMENTS SHALL INCLUDE BUT NOT BE LIMITED TO BERMS, DITCHES, FENCES, PLANTS, IRRIGATION. ANY REMOVAL OR DAMAGE TO EXISTING IMPROVEMENTS SHALL BE REPLACED OR REPAIRED BY THE CONTRACTOR AT HIS EXPENSE AND SHALL BE APPROVED BY THE ENGINEER.
11. CONTRACTOR SHALL SHORE ALL TRENCHES AND CONDUCT ALL CONSTRUCTION AND OPERATIONS IN ACCORDANCE WITH OCCUPATION SAFETY AND HEALTH ADMINISTRATION (OSHA) REQUIREMENTS.
12. ALL CONSTRUCTION AND MATERIALS SHALL COMPLY WITH MUSTANG SUD SPECIFICATIONS. ANY CONSTRUCTION AND/OR MATERIALS NOT COVERED IN MUSTANG SUD SPECIFICATIONS SHALL BE IN ACCORDANCE WITH NCTCOG SPECIFICATIONS OR TCEQ.
13. PIPE SHALL BE HANDLED SO AS TO PROTECT PIPE AND PIPE JOINTS AND CAREFULLY BEDDED TO PROVIDE CONTINUOUS BEARING AND PREVENT UNEVEN SETTLEMENT. PIPE SHALL BE PROTECTED AGAINST FLOTATION AT ALL TIMES. OPEN ENDS OF INSTALLED PIPE SHALL BE SEALED AT ALL TIMES WHEN CONSTRUCTION IS NOT IN PROGRESS.
14. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE ADEQUATE AS-BUILT. DRAWINGS TO MUSTANG SUD IMMEDIATELY AFTER CONSTRUCTION.
15. IT SHALL BE CONTRACTOR'S RESPONSIBILITIES TO VERIFY LOCATION, ELEVATION AND DIMENSIONS OF ADJACENT AND/OR CONFLICTING UTILITIES IN ADVANCE OF CONSTRUCTION IN ORDER THAT ADJUSTMENTS CAN BE MADE TO PROVIDE ADEQUATE CLEARANCE, IF REQUIRED. THE CONTRACTOR SHALL PRESERVE AND PROTECT PUBLIC UTILITIES AT ALL TIMES DURING CONSTRUCTION. ANY DAMAGE TO UTILITIES RESULTING FROM THE CONTRACTOR'S OPERATION SHALL BE RESTORED AT HIS EXPENSE. THE ENGINEER SHALL BE NOTIFIED WHEN PROPOSED FACILITY'S GRADES CONFLICT WITH EXISTING UTILITY'S GRADES.
16. ALL PVC PIPE SHALL BE INSTALLED WITH METALLIC DETECTOR TAPE.
17. ALL DUCTILE IRON PIPE, FITTINGS, VALVES, ETC. SHALL BE ENCASED WITH POLYETHYLENE WRAP 8 MILS THICK.
18. ALL DUCTILE IRON PIPE, FITTINGS AND RESTRAINTS SHALL MANUFACTURED DOMESTICALLY.
19. FRANCHISE UTILITY NOTE: OTHER UTILITIES SUCH AS GAS, ELECTRIC, TELEPHONE, CABLE, ETC. MAY SHARE THE WASTEWATER SERVICE LINE TRENCH PROVIDED SUCH UTILITIES ARE OFFSET A MINIMUM OF 5' FROM THE WASTEWATER SERVICE LINE.
20. ALL CURVATURE SHALL BE ACCOMPLISHED BY THE MANUAL BENDING OF THE PIPE LENGTHS IN THE TRENCH. MECHANICAL MEANS WILL NOT BE ALLOWED TO ACCOMPLISH DESIGN RADII. NO DEFLECTION OF JOINTS WILL BE ALLOWED.

NOTES

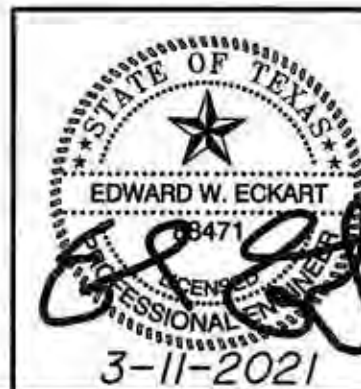
1. THE TOWN OF CROSS ROADS CONSTRUCTION STANDARDS APPLY WHETHER INDICATED ON THESE PLANS OR NOT.
2. MUSTANG SPECIAL UTILITY DISTRICT (MSUD) CONSTRUCTION STANDARDS APPLY TO ALL UTILITY CONSTRUCTION WHETHER INDICATED ON THESE PLANS OR NOT

BENCH MARK ELEVATION: 541.35

SQUARE CUT SET ON HEADWALL LOCATED ON THE EAST SIDE OF NAYLOR ROAD APPROXIMATELY 55 LF FROM SOUTHWEST PROPERTY CORNER.

OAK HILL RANCH
PHASE 2
CROSS ROADS, TEXAS

GENERAL NOTES



GOODWIN &
MARSHALL

CIVIL ENGINEERS-PLANNERS-SURVEYORS

5000 MUSTANG DRIVE, GROESBECK, TEXAS 75841

Job No.:	10736	Design:	BAC
Date:	MAR 2021	Draft:	RAE
Scale:	AS SHOWN	Review:	EWE

SHEET: 4 of 78

ENGINEER'S OPINION OF PROBABLE COST

Project Oak Hill Ranch Phase 2 - Collector Road Improvements (2,940 L.F.)

Date: March 25, 2021

Location: Cross Roads, Texas

Job No. 10736

Page: 1 of 5



ITEM				UNIT	TOTAL
No.	DESCRIPTION	UNIT	QUANTITY	PRICE	COST
Paving Facilities					
1.	7" Concrete Pavement	S.Y.	15,301	\$45.00	\$688,545.00
2.	8" Subgrade Preparation	S.Y.	15,966	\$4.75	\$75,839.74
3.	Hydrated Lime 36#/SY Arterial	Ton	287	\$175.00	\$50,293.72
4.	End-of-Road Barricade	L.F.	46	\$50.00	\$2,300.00
5.	Connect to Ex. Asphalt	L.F.	96	\$50.00	\$4,800.00
6.	Street Name Signs	Ea.	2	\$350.00	\$700.00
7.	Stop Signs	Ea.	1	\$400.00	\$400.00
8.	Street Excavation	C.Y.	19,876	\$2.75	\$54,659.73
9.	Clearing & Grubbing	Ac.	6.16	\$1,500.00	\$9,240.00
10.	Pavement Markings	L.S.	1	\$7,250.00	\$7,250.00
Paving Total					\$894,028.19

This Engineer's opinion of probable construction cost is made on the basis of the Engineer's experience and best judgment as a design professional. It must be recognized that any evaluation of work to be performed to construct this project must by necessity be speculative in nature until completion of its actual detailed design. In addition the engineer has no control over the cost of labor, material, or services to be furnished by others or over market conditions. Accordingly Goodwin & Marshall, Inc. can not guarantee that actual costs will not vary from the opinions expressed here in.



ENGINEER'S OPINION OF PROBABLE COST

Project Oak Hill Ranch Phase 2 - Collector Road Improvements (2,940 L.F.)

Date: March 25, 2021

Location: Cross Roads, Texas

Job No. 10736

Page: 2 of 5



ITEM				UNIT	TOTAL
No.	DESCRIPTION	UNIT	QUANTITY	PRICE	COST

Water Facilities

1.	12" PVC W.L.	L.F.	2,974	\$40.00	\$118,960.00
2.	12" Gate Valve & Box	Ea.	3	\$2,550.00	\$7,650.00
3.	Std. Fire Hydrant w/ 6" Gate Valve & Box	Ea.	5	\$5,000.00	\$25,000.00
4.	8" PVC W.L.	L.F.	110	\$28.00	\$3,080.00
5.	12"x12" Cut-In Tee	Ea.	1	\$5,000.00	\$5,000.00
6.	C.I.R.T. Fittings	Ton	0.6	\$10,500.00	\$6,300.00
7.	Trench Safety	L.F.	3,084	\$0.50	\$1,542.00
8.	Water Testing	L.F.	3,084	\$1.00	\$3,084.00

Water Total

\$170,616.00

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ENGINEER'S OPINION OF PROBABLE COST

Project Oak Hill Ranch Phase 2 - Collector Road Improvements (2,940 L.F.)

Date: March 25, 2021

Location: Cross Roads, Texas

Job No. 10736

Page: 3 of 5



ITEM		UNIT		TOTAL	
No.	DESCRIPTION	UNIT	QUANTITY	PRICE	COST
Sanitary Sewer Facilities					
1.	8" SDR-26 PVC	L.F.	170	\$50.00	\$8,500.00
2.	4' Dia. Std. S.S. Manhole	Ea.	1	\$6,200.00	\$6,200.00
3.	Trench Safety	L.F.	170	\$1.50	\$255.00
4.	T.V. Sanitary Sewer Line	L.F.	170	\$1.00	\$170.00
Sanitary Sewer Total					\$15,125.00

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ENGINEER'S OPINION OF PROBABLE COST

Project Oak Hill Ranch Phase 2 - Collector Road Improvements (2,940 L.F.)

Date: March 25, 2021

Location: Cross Roads, Texas

Job No. 10736

Page: 4 of 5



ITEM				UNIT	TOTAL
No.	DESCRIPTION	UNIT	QUANTITY	PRICE	COST

Storm Drain Facilities

1.	24" R.C.P.	L.F.	182	\$72.00	\$13,104.00
2.	2-24" Headwall	Ea.	2	\$7,500.00	\$15,000.00
3.	Rock Rip Rap/Gabion Matt.	S.Y.	60	\$200.00	\$12,000.00
4.	Trench Safety	L.F.	182	\$1.00	\$182.00
5.	Bar Ditch Excavation	C.Y.	5,388	\$4.75	\$25,593.00

Storm Drain Total **\$65,879.00**

Miscellaneous Facilities

1.	Landscaping	L.F.	2,940	\$45.00	\$132,300.00
2.	Street Lights - Collector	Ea.	22	\$6,000.00	\$132,000.00
3.	Rye Seeding Within R.O.W.	S.Y.	14,502	\$0.50	\$7,251.00
4.	Erosion Control	L.S.	1	\$15,000.00	\$15,000.00

Miscellaneous Total **\$286,551.00**

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ENGINEER'S OPINION OF PROBABLE COST

Project Oak Hill Ranch Phase 2 - Collector Road Improvements (2,940 L.F.)

Date: March 25, 2021

Location: Cross Roads, Texas

Job No. 10736

Page: 5 of 5



ITEM				UNIT	TOTAL
No.	DESCRIPTION	UNIT	QUANTITY	PRICE	COST

Collector Road Improvements Totals

Paving Total	\$894,028.19
Water Total	\$170,616.00
Sanitary Sewer Total	\$15,125.00
Storm Drain Total	\$65,879.00
Miscellaneous Total	\$286,551.00

Estimated Sub-Total	\$1,432,199.19
Payment/Performance/Maintenance Bonds	\$42,965.98
Engineering (8%) & Surveying (5%)	\$148,934.27

Estimated Total: Oak Hill Ranch Phase 2 - Collector Road **\$1,624,099.44**

BLOOMFIELD HOMES RESPONSIBILITY (50%) **\$812,049.72**

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COUNCIL AGENDA BRIEFING SHEET

Meeting Date:

May 17, 2021

Agenda Item:

Discuss and consider an appeal to a civil penalty in the amount of \$53,550 assessed on Mr. Margarito Espinoza and Imperial Products Supply, LLC. For removing protected trees without a permit on property located at 8801 E US 380.

Prepared by:

Kristi Gilbert, Interim Town Administrator

Description:

On March 9, 2021, staff drove by the above referenced address (Parcel IDs 38339, 121912, 178717, 38337 and 77737) and noticed several trees had been cut down and crews were still on the site. Jason Pool and Rodney Patterson made contact with Marco Espinoza and advised that all activity needed to stop immediately. The Town reached out to TreeNewal, a certified arborist, to determine the type and size of trees that were removed illegally. The report is attached for your reference.

Section 3.08.014 (a) of the Code of Ordinances provides for a civil penalty of not less than one hundred (\$100) nor more than one thousand (\$1,000) for each caliper inch of protected tree cut, removed or destroyed. In accordance with the referenced section, the Mayor determined the fine to be as listed below. Larger trees were assessed a larger penalty per caliper inch. The Code provides for individuals to appeal the assessment to the Town Council. The property owners have submitted an appeal through their representative, Travis D. Weitzel. Their appeal includes information disputing the findings of the arborist with TreeNewal. Staff forwarded the disputes to TreeNewal who responded in the attached email.

Tree Type	Measured at*	Tree Size	Penalty per inch	Penalty
Cedar Elm	12"	16.5"	\$ 350	\$ 5,775
Ash	48"	42.5"	\$ 750	\$ 31,875
American Elm	48"	30"	\$ 450	\$ 13,500
Bur Oak	17"	12"	\$ 200	\$ 2,400

TOTAL PENALTY \$ 53,550

*According to Town regulations, trees are measured at 54"

Recommended Action:

Council has the discretion to decrease the amount assessed by the Mayor.



COUNCIL AGENDA BRIEFING SHEET

Attachments:

TreeNewal's Response to Property Owner (4/13/21)

Appeal Letter and Email from Owner's Representative (4/9/21)

Notice to Property Owner with Attachments (3/22/21)

Original Letter from Imperial Products Supply (3/15/21)

Cease and Desist Letter (3/9/21)

From: Bud Reid [REDACTED]
Subject: Re: TreeNewa Report - Town of Cross Roads - 8801US-380 - Cross Roads
Date: Apr 13, 2021 at 8:05 AM
To: Stacy Ray [REDACTED]
Cc: Kr st G bert k.g bert@crossroadstx.gov

BR

I forgot about the Miltistem, ISA guidelines don't apply in this case. I would refer you to the City of Cross Roads guidelines for measuring Multistem trees.

On Mon, Apr 12, 2021 at 8:34 PM Bud Reid [REDACTED] wrote:

First in question is the (Cedar Elm)

The shoot Growth was not present when I was on site, but after seeing the shoot growth it actually appears to be a Pear not a Mulberry.

Second in question is that you state that I identified a Ash tree as a Texas Ash please reread the letter I sent. that will also clear up the part where you claim that I stated that I measured the Burr oak at 17 feet. That isnt what is stated in the letter. The measurements you have provided are all incorrect as that tape in the picture isn't a DBH tape and they aren't even using the tape correctly.

Third in question is the is (American Elm) after reviewing the pictures that tree could be a Mulberry.

I was not asked to give any assessment as to the health of said trees as they were no longer trees and just stumps. The time had past for a assessment of health of trees.

On Mon, Apr 12, 2021 at 5:16 PM Stacy Ray [REDACTED] wrote:

Hi Kristi,

Bud will review and get back to you on this.

Stacy

On Mon, Apr 12, 2021 at 4:12 PM Kristi Gilbert <k.gilbert@crossroadstx.gov> wrote:

Good Afternoon Stacy and Bud,

Attached is a letter we received from attorneys representing the owners of 8801 US 380. I was wondering if you could provide any input on some of the statements made in the letter.

Please let me know if you have questions.

Kristi Gilbert
Interim Town Administrator
Town of Cross Roads
k.gilbert@crossroadstx.gov
Ofc: 940.365.9693
Cell: 940.218.4241

ATTENTION: Please note any correspondence, such as e-mail or letters, sent to Town Staff or Town Officials may become a public record and made available for Public/Media review.

PUBLIC OFFICIALS: A "Reply to All" of this e-mail may lead to violations of the Texas Open Meetings Act. Please reply only to the sender.

On Mar 16, 2021, at 12:33 PM, Stacy Ray [REDACTED] wrote:

Hi Kristi,


Thank you for your patience, attached is the final report regarding trees at the 8801 US-380 site. Please don't hesitate if you have any questions.

Your invoice was already sent to you March 10th for payment.

Thank you

Sincerely,

Stacy Ray

From: Terri Rose terri.rose@travisweitzel.com 
Subject: FW: Appeal -- 8801 US Highway 380 Unpermitted Tree Removal
Date: April 9, 2021 at 10:21 PM
To: k.gilbert@crossroadstx.gov



Ms. Gilbert:

I thought I sent you a copy of this earlier today but discovered it was returned to me because had a typo in your email address.

Thank you.

Terri

From: Terri Rose
Sent: Friday, April 9, 2021 3:11 PM
To: l.tompkins@crossroadstx.gov; k.gilbert@crossroadstx.gov
Cc: 'Margarito' <margarito@lmslonestar.com>; Juan Diosdado <juan@imperialprosupply.com>; Yarit Tovar <yarit@stonebrothers.net>; Travis D. Weitzel <travis.weitzel@travisweitzel.com>; Shauna Gola <shauna.gola@travisweitzel.com>
Subject: Appeal -- 8801 US Highway 380 Unpermitted Tree Removal

Mayor Tompkins and Ms. Gilbert:

Attached please find the appeal of Margarito Espinoza and Imperial Products Supply, LLC relating to fines imposed for unpermitted tree removal at 8801 US Highway 380, Cross Roads, Texas. This appeal of the fines assessed is made pursuant to Article 3.08.014. Please acknowledge your receipt of this appeal.

If you have any questions or require any additional information, please do not hesitate to call upon us.

Thank you.

Terri Rose

Terri Rose
Board Certified Paralegal—Civil Trial Law
Texas Board of Legal Specialization
Travis Weitzel Law Firm
P.O. Box 1163
800 Highway 290 West, Suite D600
Dripping Springs, Texas 78620
(512) 640-2246 Main

(512) 649-2340 Main
(512) 649-1190 Direct Dial
(512) 649-2356 FAX

*******PLEASE NOTE OUR NEW MAILING ADDRESS.*******

****I DO NOT ACCEPT ELECTRONIC SERVICE AT THIS E-MAIL ADDRESS****
****FOR ELECTRONIC SERVICE, PLEASE USE eservice@travisweitzel.com****
****FOR SCHEDULING, PLEASE CONTACT shauna.gola@travisweitzel.com****

Note: The attorneys and staff in our office are actively working in a remote capacity but our physical office location is currently closed. Please refrain from sending paper mail as it will not be monitored while our office is closed. Instead direct all communication to me at this email address. Thank you for your understanding and courtesy

CONFIDENTIALITY NOTICE: This e-mail transmission (and/or the attachments accompanying it) may contain confidential information belonging to the sender which is protected by the attorney-client privilege. The information is intended only for the use of the intended recipient. If you are not the intended recipient, you are hereby notified that any disclosure, copying, distribution or the taking of any action in reliance on the contents of this information is strictly prohibited. Any unauthorized interception of this transmission is illegal. If you have received this transmission in error, please promptly notify the sender by reply e-mail, and then destroy all copies of the transmission.



2021.04.09
Appeal...its.pdf

Travis Weitzel



Law Firm

ATTORNEYS AND COUNSELORS AT LAW
P. O. BOX 1163 | 800 WEST HWY 290, SUITE D-600
DRIPPING SPRINGS, TEXAS 78620

—
TELEPHONE: (512) 649-2346
FACSIMILE: (512) 649-2356

April 9, 2021

Travis D. Weitzel
e-mail: travis@travisweitzel.com
Direct Dial: (512) 649-1215

VIA EMAIL: l.tompkins@crossroadstx.gov

Mayor T. Lynn Tomkins, Jr.
Town of Cross Roads
1401 RM 424
Cross Roads, Texas 76227

VIA EMAIL: k.gilbert@crossroadstx.gov

Kristi Gilbert
Interim Town Administrator
Town of Cross Roads
1401 RM 424
Cross Roads, Texas 76227

Re: Unpermitted Tree Removal at 8801 E. US Highway 380, Cross Roads, Texas

Dear Mayor Tomkins and Ms. Gilbert:

Our firm represents Mr. Margarito Espinoza, the owner of the real property located at 8801 E. US Highway 380, as well as Imperial Products Supply, LLC. Mr. Espinoza acquired the real property located at 8801 E. US Highway 380 in late January, 2021. Mr. Espinoza was unaware of the City's tree ordinance until the site was visited by City employees on March 13, 2021; however, the ordinance should not apply to certain species as detailed herein.

Accordingly, this letter serves as Mr. Espinoza's appeal of the fines imposed upon him for the alleged violations of Section 3.08.014(a) of the Code of Ordinances. Ms. Gilbert's March 22, 2021, letter references five (5) trees which I will address in order as they appear in her letter.

Tree Incorrectly Labeled as a 16.5-inch Diameter Cedar Elm at 12-foot Height:

This tree was incorrectly identified a Cedar Elm. Indeed, your arborist conceded that cedar elm was his "best guess." Attached are photos of the tree in question. This is a Mulberry tree, more specifically, comprised of multi trunk branch sucker growth. A stump is present and this sucker growth grew from the stump. Mulberry trees are an invasive species that displace desirable native

trees and vegetation, are susceptible to disease and are weak creating a hazard for the property owner, particular following the snow/ice storm in February 2021. This tree had numerous broken large branches following the February 2021 snow/ice storm. As a retail operation open to the public, Mr. Espinoza's utmost concern is for the safety of the public while on the property. Finally, although not specifically identified in the City's ordinance as an exception to a protected tree, most certified Texas ISA arborists agree that a Mulberry tree is a "trash" tree and is in the same category as hackberry and chinaberry trees (which are not considered a protected tree). As such, Mr. Espinoza and Imperial Products do not believe a penalty of \$5,775.00 is appropriate for this particular tree and that no penalty should be assessed for this tree.

Tree Incorrectly Labeled as 42.5-inch Texas Ash Tree at DBH:

Similarly, this tree was incorrectly identified as a Texas Ash. This is an Arizona Ash. This tree had a number of irregularities and flare-outs. We dispute the DBH as there were a number of unions and flares that do not represent the actual DBH. At approximately 18 inches, just above the root flare, the diameter of the tree was measured at 35 inches. According to ISA standards, a DBH should not be more than that of the measurement immediately about the root flare.

At best, an Arizona Ash has a life expectancy of 20 to 30 years when well-maintained and has good structural integrity. Unfortunately, this tree was not well-maintained, had substantial areas of rot and bad unions and suffered significant damage (at least 2 of the major branches were broken) by the February snow/ice storm. Attached are photos of the tree showing the substantial areas of rot and breakage caused in the storm. A weakened Arizona Ash may only live for 15 to 20 years and it is clear this tree was nearing the end of its life span even before the February snow/ice storm. Further, many ISA certified arborists consider an Arizona Ash to be an inferior tree and should not be considered a protected tree. Many cities and municipalities in Texas do not include the Arizona Ash in the protected tree category. As such, Mr. Espinoza and Imperial Products do not believe a penalty of \$31,875.00 is appropriate for this particular tree and a penalty of no more than \$1,750.00 be assessed for this tree.

Tree Incorrectly Labeled as 30-inch American Elm at DBH:

Similarly to the other trees, this tree was incorrectly identified as an American Elm. This is another Mulberry tree. Attached are photos of the tree. As the photos show, three (3) of the four (4) main leaders of the tree broke off in past years leaving the remaining portion of the tree with obvious and significant dead and rot. This tree was nearly 70% to 80% dead before the February snow/ice storm and had little, if any, chance of recovery. As such, Mr. Espinoza and Imperial Products do not believe a penalty of \$13,500.00 is appropriate for this particular tree and that no penalty should be assessed for this tree.

12-inch Burr Oak measured at a height of 17-feet:

We agree that this tree was correctly identified; however, we disagree as to the DBH. Two logs were recovered on site and stacked on the existing stump allowing for a correct DBH measurement. The DBH measured 10.5 inches. Mr. Espinoza disputes the amount assessed and believes the correct amount should be \$2,100.00

The tree cutting done by Mr. Espinoza was in direct response to the damage to the trees from the unprecedented February 2021 snow/ice storm that plagued all of Texas. Indeed, the snow/ice storm and its aftermath were severe enough for both Governor Abbott and President Biden to declare all of Texas as a major disaster and declare a state of emergency. I am quite sure Mr. Espinoza's property was not the only property with extensively damaged trees. Like all property owners, Mr. Espinoza only wanted to ensure his property would be safe for the public.

I respectfully request that this matter be scheduled for a hearing and that upon hearing, the town council modify the penalties assessed against Mr. Espinoza and Imperial Products. Please contact my assistant, Shauna Gola to schedule this matter.

If you have any questions or wish to discuss this matter further, please do not hesitate to call upon me. I look forward to working with the City to secure a prompt, fair and equitable resolution of this matter.

Very truly yours,

TRAVIS WEITZEL LAW FIRM

By: 
Travis D. Weitzel

ATTORNEY FOR APPELLEES
MARGARITO ESPINOZA AND
IMPERIAL PRODUCTS SUPPLY, LLC

TW:tlr

MULBERRY TREE
INCORRECTLY
IDENTIFIED AS
CEDAR ELM





ARIZONA ASH
INCORRECTLY
IDENTIFIED AS
TEXAS ASH









MULBERRY TREE
INCORRECTLY
IDENTIFIED AS
AMERICAN ELM



BURR OAK





Town of Cross Roads
1401 FM 424
Cross Roads, Texas 76227
940-365-9693 office | 469-375-5905 fax
crossroadstx.gov

Mayor and Council

T. Lynn Tompkins Jr.
Mayor

Bobby Phillips
Mayor Pro-Tem

Dave Meek
Council member

Wendy White-Stevens
Council member

Duke Roberson
Council member

Greg Gaalema
Council member

Staff

Kristi Gilbert
Interim
Town Administrator

Donna Butler
Town Secretary

Susan Zambrano
Director of Finance

Rodney Patterson
Building Official

March 22, 2021

Imperial Pro Supply
PO Box 177
Aubrey, TX 76227-9997

Via Email to:

Juan Diosdado, Imperial Property Supply via email: juan@imperialprosupply.com
Margarito Espinoza, LMS Lone Star via email: margarito@lmslonestar.com

RE: Unpermitted Tree Removal at 8801 E US Hwy 380

On March 9, 2021, staff drove by the above referenced address (Parcel IDs 38339, 121912, 178717, 38337 and 77737) and noticed several trees had been cut down and crews were still on the site. Jason Pool and Rodney Patterson made contact with Marco Espinosa and advised that all activity needed to stop immediately. The Town reached out to TreeNewal, a certified arborist, to determine the type and size of trees that were removed illegally. The report is attached for your reference.

Section 3.08.014 (a) of the Code of Ordinances, also attached for reference, provides for a civil penalty of not less than one hundred (\$100) nor more than one thousand (\$1,000) for each caliper inch of protected tree cut, removed or destroyed. In accordance with the referenced section, the Mayor has determined the fine to be as listed below, after consideration of the danger of repetition the severity of the offense and all relevant circumstances. You have twenty (20) days after receipt of this notice to request an appeal to the Town Council of the Mayor's assessment. Said notice of appeal must be timely and shall state the basis of the appeal in plain and intelligible language.

Tree Type	Measured at*	Tree Size	Penalty per inch	Penalty
Cedar Elm	12"	16.5"	\$ 350	\$ 5,775
Ash	48"	42.5"	\$ 750	\$ 31,875
American Elm	48"	30"	\$ 450	\$ 13,500
Bur Oak	17"	12"	\$ 200	\$ 2,400

TOTAL PENALTY \$ 53,550

*According to Town regulations, trees are measured at 54"

Payment must be made before the Town issues any permits or a Certificate of Occupancy for this property. If you need to set up a payment plan, please let me

know. If you have any additional questions concerning the Towns requirements, please feel free to contact me at (940)365-9693.

Sincerely,



Kristi Gilbert
Interim Town Administrator

CC:

Rodney Patterson
Jason Pool
Mayor Tompkins

Enclosures:

TreeNewal Final Report
Article 3.08 Tree Preservation and Protection



1712 FM 407, Argyle, TX 76226
817.329.2450
www.TreeNewal.com

TREENEWAL FINAL REPORT

Prepared For: Town of Cross Roads / Kristi Gilbert

Site Location: 8801 US-380, Cross Roads, TX 76227

There were a total of 9 trees removed, one of which I had a difficult time identifying. I will indicate the trees in question and give my best guess, (based on what was left behind) as to what they are. Some of the trees were cut below the 4 foot mark to get proper DBH, these trees I will list how high I was able to get a measurement in Inches from the ground.

Starting directly opposite from the gate working clock wise.

2 each Chinaberry 14 inch DBH and 21 inch DBH

1 Willow 18 inch measured 24 inches from the ground

1 multi stem 16.5 Cedar Elm measured 12 inches from the ground. This is the trees I had a hard time identifying. Cedar Elm is my best guess.

1 Hackberry 18.5 inch measured 12 inches from the ground

1 Ash 42.5 inch DBH

1 American Elm 20 inch DBH

1 Hackberry 20 inch measured 18 inches from the ground

1 Bur Oak 12 inch measured 17 inches from the ground

If you have any questions please contact me at (817) 832 9302.

Bud Reid

ISA Certified Arborist

TreeNewal





ARTICLE 3.08 TREE PRESERVATION AND PROTECTION



Sec. 3.08.001 Scope and purpose

- (a) This article shall be effective within the geographical limits of the town, including any areas subsequently annexed by the town.
- (b) The purpose of this article is to encourage the preservation of trees that once removed can be replaced only after generations, to preserve protected trees during construction and to control the removal of protected trees when necessary. It is the intent of this article to achieve the following:
- (1) Prohibit the indiscriminate clearing of property.
 - (2) Protect and increase the value of residential and commercial properties within the town.
 - (3) Maintain and enhance a positive image for the attraction of new business enterprises to the town.
 - (4) Protect healthy quality trees and promote the natural ecological environmental and aesthetic qualities of the town.
 - (5) Help provide needed shaded areas in order to provide relief from the heat by reducing the ambient temperature.
 - (6) Help prevent erosion.



Sec. 3.08.002 Definitions

For the purpose of this article, the following words and phrases shall have the meanings ascribed to them:

Building pad site, commercial. The area proposed by the original subdivider for placement of a commercial structure. If not designated by the original subdivider, this shall include the actual structure and the area within fifteen (15) feet surrounding the structure.

Building pad site, residential. The area proposed by the original subdivider for placement of a residential structure. If not designated by the original subdivider, this shall include the actual structure and the area within fifteen (15) feet surrounding the structure. If actual structure plans are not available, an area not to exceed 4,000 square feet may be designated.

Clear-cutting. The removal of all of the trees or a significant majority of the trees within an area of land.

Critical root zone. The area of native soil around a tree defined by a concentric circle with a radius equal to the distance from the trunk to the outermost portion of the drip line (Figure 2 on file in the office of the town secretary).

DBH or diameter at breast height. The diameter, in inches, of a tree as measured through the main trunk at a point four and one-half feet (4.5') above the natural grade. For a multi-trunk tree, the diameter shall be the total diameter of the largest trunk plus one-half (1/2) of the diameter of each additional trunk.

Drip line. The periphery of the area encompassing a tree determined by dropping imaginary vertical lines from the outermost portion of its canopy to the ground.

Grade change. Any changes in ground level or soil compaction within an area around or near the trunk of a tree that may adversely affect the health of the tree.

Limits of construction. Delineation on the site plan defining the areas within which all construction activity may occur.

Mayor. The mayor of the town and/or his designee.

Person. Any person, corporation, partnership, firm, association or artificial entity, or any agent or employee of the foregoing.

Protective fencing. A barrier from entry, constructed from chain link, orange plastic, or other similar material at a minimum height of four feet (4') above ground level, restricting access to a tree protection zone.

Tree. Any living, self-supporting, woody perennial plant which at maturity will attain a trunk diameter of two inches (2") or more when measured at DBH and which will typically attain at maturity a height of at least fifteen feet (15').

(Ordinance 2013-0715-01 adopted 7/15/13)

Tree, protected. Any tree having a DBH of six inches (6") or more, except any of the following species: mesquite, thorny honey locust, cottonwood, willow trees, hackberry, eastern red cedar, sweet gum, Texas persimmon, and chinaberry. (Ordinance 2018-0917-03 adopted 9/17/18)

Tree, replacement. A tree as listed in the approved tree replacement ([section 3.08.015](#)) that has a minimum caliper required by this article and a minimum height of seven feet (7'), measured at ground level (natural grade) at the time of planting.



Sec. 3.08.003 Applicability

The terms and provisions of this article apply to all property in the territorial limits of the town unless excepted herein. This article shall apply to all persons, including property owners, managers, trustees, and those persons who have control or responsibility over real property.



Sec. 3.08.004 Exceptions

(a) This article shall not apply to trees located in the yard area within the 3 acres surrounding a constructed primary dwelling of developed residential property. However, in the event that a protected tree is cut, removed or damaged from property described in this subsection and the property is transferred to or used for any purpose other than single-family residential within one

(1) year following the cutting, removal or damaging of the protected tree, then the provisions of [section 3.08.011](#) of this article shall, immediately upon the cessation of use as single-family residential property, apply to the protected trees cut, removed or damaged in the prior one (1) year period.

(b) Nothing herein contained shall require any change in the plans, construction or designated use of any parcel of property for which a permit for construction has been issued, as of the effective date of this article.

(c) During the period of an emergency, such as a tornado, storm, flood or other natural disaster, the requirements of this article may be waived as deemed necessary by the mayor or his designee.

(1) In addition to rights granted by easement, utility service providers lawfully within the right-of-way may remove trees during the period of an emergency that are determined by the provider to be a danger to public safety and welfare by interfering with utility service.

(2) The town may clear streets and public rights-of-way of damaged or fallen trees, tree limbs, or other debris as needed as a result of a storm event.

(d) In the installation or maintenance of facilities, utility service providers, including the town, or their contractors, agents, successors and assigns shall have the right to trim or remove trees so as to prevent any part of such trees from becoming a danger to public health, safety and welfare by interfering with utility service. Trimming shall be done in a manner such that the aesthetics and health of the trees are not destroyed. Existing trees already growing into utility lines shall be trimmed as necessary. The town may require boring under trees within the critical root zone area instead of trenching.

(e) In the installation or maintenance of drainage facilities, creek channel lining, or erosion control measures, the town, or its contractors, agents, successors and assigns shall have the right to trim or remove trees so as to prevent any part of such trees from becoming a danger to public health, safety and welfare by interfering with said drainage improvements. The town may require boring under trees within the critical root zone area instead of trenching.

(f) Diseased or damaged protected trees which are beyond the point of recovery, as determined by a International Society of Arboriculture certified town arborist, or in danger of falling shall be exempt from the tree replacement and preservation plan requirements of this article. A tree removal permit shall be required but no permit fee shall be assessed or charged. In the case of code enforcement action, the notice of violation and description of the action to be taken shall serve as the permit to commence work. The removal of a diseased tree may be required to reduce the chance of spreading the disease to adjacent, healthy trees.

(g) Plant nurseries shall be exempt from the provisions of this article only in relation to those trees planted and growing on the premises for sale, either retail or wholesale.

(h) Any paved surface within the critical root zone of a protected tree that is in existence on or before the effective date of this article may be replaced or maintained.

(i) Seven percent (7%) of the total caliper inches of all protected trees situated on property used for residential or agricultural purposes, but not in the commercial designated corridors, may be

removed per year. The maximum in any consecutive five-year period shall be twenty-one (21%) of the total caliper inches of all protected trees. Trees situated on the exempted three-acre area surrounding the primary dwelling under subsection (a) of this article shall not be used in or subject to this calculation. A tree removal permit shall be submitted and approved before any such removal is begun. No fee will be assessed or charged for the permit.

(j) Notwithstanding the foregoing, no person shall remove a protected tree with a DBH of 18 inches or more without approval of the town council.



Sec. 3.08.005 Tree preservation and protection

(a) No person shall cut down, destroy, remove or move, or effectively destroy through damaging, any protected tree, directly or indirectly, regardless of whether the protected tree is on private property or the abutting public right-of-way, unless exempt or excepted under the provisions of this article. No person shall remove a protected tree with a DBH of 18 inches or more without approval of the town council.

(b) The town may issue a stop-work order for any development or construction project or activity at any time if the requirements of this article are not being met. Efforts will be made to allow a developer or builder to comply before the project is shut down.

(c) No clear-cutting of land is allowed. Prior to the removal of any protected tree, regardless of construction or development schedule, a tree preservation plan must be submitted to and approved by the town.

(d) Prior to construction or development of a commercial or residential subdivision project on a site that contains one (1) or more trees, a tree preservation plan must be submitted to and approved by the town. If the site does not contain any protected trees, a letter, prepared by a registered surveyor, engineer, architect, landscape architect, or International Society of Arboriculture certified arborist shall be submitted to the town which verifies that protected trees are not on the subject site.

(e) The tree preservation plan submittal shall be accompanied by a site plan that includes but is not limited to the following:

- (1) Delineation of site boundaries.
- (2) Location of all existing or proposed structures and of all improvements such as streets, drives, alleys, septic systems, building pad sites, and easements.
- (3) Tree location map. All requests for tree removal permits must be accompanied by a map showing at a minimum the requirements as listed below.
- (4) Map requirements. Maps shall show: the location of all buildings, structures, pools, utilities, other improvements intended on the lot and limits of construction line shown if applicable; the location of all protected trees; the location of tree(s) to be removed and replacement trees with dimensions from two nearest property lines; the caliper and common name of trees to be removed and any required replacement trees shown with caliper size and the common name of tree.

(5) The reason for the proposed tree removal shall be summarized on legend form on the plan. The same summary shall also be submitted on a legible 8.5" x 11" document.



Sec. 3.08.006 Protection of trees

Protected trees that are not to be removed or have been identified on the tree preservation plan to be preserved must be protected under the following conditions:

- (1) No materials intended for use in construction or waste materials accumulated due to excavation or demolition shall be placed within the limits of the critical root zone.
- (2) No equipment shall be cleaned or other foreign materials deposited or allowed to flow overland within the critical root zone of a protected tree. This includes, without limitation, paint, oil, solvents, asphalt, concrete, mortar or similar materials.
- (3) No signs, wires or other objects, other than those of a protective nature, shall be attached to any protected tree. However, lighting of a decorative nature may be attached to a protected tree so long as the lighting is attached in a manner so as not to damage the protected tree.
- (4) Construction traffic or parking shall be limited so as to avoid taking place within the limits of the critical root zone of any protected tree other than on an existing paved surface. This restriction does not apply to access within the critical root zone for purposes of clearing underbrush, establishing the building pad and associated lot grading, vehicular traffic necessary for routine utility maintenance or emergency restoration of utility service, or routine mowing operations, however, these activities should be conducted in such a manner as to minimize the impact on the protected tree.
- (5) No grading or grade changes shall be conducted or allowed within the limits of the critical root zone of any protected tree unless required for structural integrity of buildings or improvements on approved building sites.
- (6) No paving with asphalt, concrete or other impervious materials shall be placed within the critical root zone of a protected tree. However, paving may encroach within the critical root zone of a tree upon approval by the town.
- (7) No person, directly or indirectly, shall prune, cut down, destroy, remove or move, or effectively destroy through damaging, any protected tree on town-owned property unless otherwise permitted by this article.



Sec. 3.08.007 Tree removal permit

(a) An application for tree removal permit must be submitted to and approved by the town prior to the removal of any protected tree unless exempt or excepted under this article. The fee for a tree removal permit shall be established by the town council.

(b) Permits for tree removal issued in connection with a building permit or site plan shall be valid for the period commensurate with the building permit or site plan. Permit(s) for tree removal not issued in connection with a building permit or a site plan shall become void one hundred

eighty (180) days after the issue date on the permit. Notwithstanding, a permit may be revoked by the mayor or his designee if the holder of the permit violates any provisions of the permit or this article.



Sec. 3.08.008 Action on permit application

(a) Upon receipt of a sufficient application for a tree removal permit, the mayor or his designee shall review and approve or deny all requests submitted in accordance with the requirements specified herein.

(b) Any denial of a permit by the mayor or his designee may be appealed to the town council. Action by the town council shall be final.

(c) Consideration for the approval of a tree removal permit shall be based upon the following guidelines:

(1) Whether the removal of the protected tree is permitted by this article and the exceptions enumerated herein;

(2) Whether or not a reasonable accommodation or alternative solution can be made to accomplish the desired activity without the removal of the protected tree;

(3) The effect of the removal of the protected tree on erosion, soil moisture, retention, flow of surface waters, and drainage systems;

(4) The need for buffering of residential areas from the noise, glare, and the visual effects of streets, highways and nonresidential uses;

(5) Whether the removal of the protected tree affects the public health, safety or welfare of the residents of the town; and

(6) Whether the application demonstrates the attempt to preserve existing trees on the site.

(d) No certificate of occupancy shall be issued until all fines and administrative and civil penalties for violations of this article have been paid to the town.



Sec. 3.08.009 Prior to construction

The following procedures shall be followed on all construction projects including but not limited to residential subdivisions, commercial, multifamily, manufacturing developments, residential builders and municipal/public, utility easement, right-of-way, manufactured housing development, road construction, and sidewalk construction:

(1) Tree flagging. All protected trees on the subject property within forty (40) feet of a construction area or surface improvements such as driveways, alleys or walks, shall be flagged with bright fluorescent orange vinyl tape of at least 2-inch width wrapped around the main trunk at a height of four (4) feet or more such that the tape is visible to workers operating construction equipment. This shall include the flagging of all

protected trees adjacent to rights-of-way within approved residential subdivisions during the construction of roadways. All flagging shall remain in place during the entire phase of construction at all times.

(2) Open space flagging. All trees or groups of trees within areas intended to be preserved as open space shall be enclosed with bright fluorescent orange vinyl tape of at least 2-inch width along all areas of possible access or intrusion by construction equipment. Tape shall be supported at a maximum of twenty-five (25) foot intervals by wrapping trees or other approved methods. Single incident access for the purposes of clearing underbrush is allowed. All flagging shall remain in place during the entire phase of construction at all times.

(3) Protective fencing. Protective fencing will be located at the drip lines of all protected trees that border the limits of construction, and only where construction activity occurs, as designated by the mayor or his designee. All protective fencing shall be maintained in good repair throughout construction.

(4) Bark protection. In situations where a protected tree remains in the immediate area of intended construction, the tree shall be protected by enclosing the entire circumference of the tree with 2-inch by 4-inch lumber encircled with wire or other means that do not damage the tree. The purpose is to protect the bark of the tree against incidental contact by large construction equipment.



Sec. 3.08.010 Permanent construction methods

(a) Boring. Boring of utilities under protected trees may be required in certain circumstances. When required, the length of the bore shall be the width of the critical root zone at a minimum and shall be a minimum depth of forty-eight (48) inches.

(b) Trenching. Where possible, all trenching shall be designed to avoid trenching across the critical root zone of any protected tree. This shall not inhibit the placement of necessary underground utility services such as electric, telephone, gas, etc. No trenches in the critical root zone of a protected tree may be left open for more than 24 hours.

(c) Root pruning. It is required that all roots two (2) inches or larger in diameter which are exposed as a result of trenching or other excavation be cut off square with a sharp medium tooth saw and covered with pruning compound within two hours of initial exposure.

(d) Rehabilitation. All post boring and trenching in the critical root zone and root pruning shall require rehabilitation treatments of watering and fertilizing with root stimulator as recommended by an arborist certified by the International Society of Arborists.



Sec. 3.08.011 Tree replacement requirements

(a) Replacement trees shall be required under the following conditions:

(1) To replace a protected tree that is removed as specified in this article, unless excepted by [section 3.08.004](#), or subsection (b) of this section;

(2) To replace a tree that was identified on a tree preservation plan but dies within two (2) years of the date it was planted; or

(3) To replace a tree that was previously identified as outside the building pad site on a development tree preservation plan, but due to property owner preference to shift the building pad site, now must be removed.

(b) Replacement trees shall not be required under the following conditions:

(1) To replace a protected tree that is removed because it is situated within the building pad site of a residential property;

(2) To replace a protected tree that is removed because it is situated within the building pad site or fire lane of a commercial property;

(3) To replace a protected tree that is removed because it is in conflict with a commercial driveway location that is specified by a governmental entity; or

(4) To replace a protected tree removed at the request of the property owner that is situated underneath an existing overhead utility line.

(Ordinance 2013-0715-01 adopted 7/15/13)

(c) Replacement trees shall be planted in accordance with the provisions of this article per the following rates:

For each protected tree with a DBH of greater than 6 inches to be removed, a minimum of three-inch DBH trees shall be planted equivalent to 150% of caliper inches removed.

(Ordinance 2018-0521-01 adopted 5/21/18)

(d) No more than 34% of the number of replacement trees shall be of the same species when twelve (12) or more replacement trees are required. All replacement trees must be of a species designated in the approved tree replacement list ([section 3.08.015](#)).

(e) The replacement trees shall be located on the subject site. However, if there is not a suitable location for the replacement trees on the subject site, the town council may approve either of the following or a combination of the following:

(1) The planting of the replacement trees within a public right-of-way, public park land or any other municipally-owned property;

(2) The planting of the replacement trees within private open space (common ground areas); and

(Ordinance 2013-0715-01 adopted 7/15/13)

(3) The payment of a fee into the town park fund in the amount of \$150.00 per caliper inch of tree removed. (Ordinance 2018-0521-01 adopted 5/21/18)



Sec. 3.08.012 Miscellaneous provisions

- (a) Trees required to be planted by this article shall be planted in such a manner as not to constitute, at the time of planting and at the point of full maturity, any interference with the visibility triangles at intersections nor to interfere with the view of motor vehicles.
- (b) If any tree required to be retained or planted as required by this article should die within a period of two (2) years after completion of the activities associated with construction or development, the property owner or person required to plant the replacement tree(s) shall replace the trees within six months at a ratio of one-to-one with an approved identical size tree from the approved replacement tree list ([section 3.08.015](#)).
- (c) The filling and reclamation of property and mitigation as delineated on a Section 404 Permit, issued by the U.S. Army Corps of Engineers, shall be permitted in lieu of the requirements of this article. The removal of any protected tree on the subject property shall be in accordance with a filling, reclamation, and mitigation plan approved and/or ordered by the Corps of Engineers incident to the filling and reclamation of wetlands and flood lands on such property. As soon as the reclamation and mitigation prescribed by the Corps of Engineers has been completed, and the property is no longer under the supervision and authority of the Corps of Engineers, this article shall immediately apply to such property thereafter.



Sec. 3.08.013 Appeals, variances

- (a) The town council shall hear appeals from decisions of the mayor or his designee and may approve a tree removal permit and approve an exception to all or a portion of the requirements of this article to provide for replacement trees for the following:
- (1) A public or recreational use or structure but not including rights-of-way or easements.
 - (2) A private use that usually requires large areas of open space or impervious surface.
 - (3) Development of heavily forested sites where strict compliance with the requirements of this article will unreasonably burden the use of the property.



Sec. 3.08.014 Penalties

- (a) Any person who cuts, removes or destroys a protected tree in violation of this article may be subject to a civil penalty imposed by the mayor or his designee of not less than one hundred dollars (\$100.00) nor more than one thousand dollars (\$1,000.00) for each caliper inch of protected tree cut, removed or destroyed. Upon a finding that a person has violated this article, the mayor or his designee shall determine an appropriate administrative penalty, after due consideration of the danger of repetition, the severity of the offense, and all relevant circumstances. The mayor or his designee shall transmit notice of the violation and of the assessment of administrative penalties to the offending person who may, within twenty (20) days after receipt of notice, request an appeal of the mayor's assessment to the town council. Said notice of appeal must be timely and shall state the basis of the appeal in plain and intelligible language. The town council shall, upon receipt of a notice of appeal, promptly schedule the matter for hearing and upon hearing, shall sustain, reverse or modify the determination and assessment of

the mayor [or] his designee, as the town council deems appropriate and in the ends of justice. The town council's determination shall be final.

(b) Any person violating any term or provision of this article shall be deemed guilty of a misdemeanor and subject to a penalty as provided for in this article, and upon conviction shall be punished by fine in accordance with the general penalty provision found in [section 1.01.009](#) of this code for each offense, and each and every day such violation shall continue shall constitute a separate offense.

(c) Any person who violates any of the provisions of this article, or who fails to comply therewith or with any of the requirements hereof, or who commences construction or development of any real property in violation of any plan submitted or approved under this article, or who fails to obtain a permit where required herein, or who erects, occupies or alters any structure or building, or commences to erect, occupy, or alter any structure or building in violation of any plan submitted or approved under this article, shall be deemed guilty of a misdemeanor and shall, upon conviction, be fined [in] accordance with the general penalty provision found in [section 1.01.009](#) of this code. Each and every day such violation exists or is continued to exist shall constitute a separate offense. The owner of the building, structure, property or premises, or part thereof, where such violation exists, and any architect, builder, contractor or agent employed in connection therewith who may have assisted in the commission of any such violation shall each be deemed guilty of a separate offense and, upon conviction, shall be subject to the penalties herein provided. Upon conviction, the judge may order the defendant to replace the tree or trees with other trees equal to or greater in height, diameter and type of that which was unlawfully removed.

(d) In addition to the penalties hereinabove provided, the town may, it its option, pursue compliance with the terms and provisions of this article by injunctive relief in the appropriate courts of Denton County, Texas.

(e) The remedies provided in this article shall be cumulative and the town's pursuit of any one remedy shall not be construed as an election; the town may pursue any and all remedies allowed by state law or the ordinances of the town.



Sec. 3.08.015 Approved new and replacement tree list

Large Trees		Small/Ornamental Trees	
Big Tooth Maple	Mountain Cedar/Ashe Juniper	American Holly	Mexican Redbud
Black Hickory*	Pecan	Aristocrat Pear	Mountain Laurel*
Blackjack Oak	Plateau/Escarpment Live Oak*	Bradford Pear	Nellie R. Stevens Holly
Buckeye*	Post Oak	Carolina Buckthorn	Oklahoma Redbud*
Bur Oak*	Red/Autumn Blaze Maple	Crepe Myrtle	Possumhaw*
Caddo Maple	Shumard Red Oak*	Desert Willow*	Prairie Flameleaf Sumac
Catalpa*	Southern Live Oak*	Dogwood	Rusty Blackhaw
Cedar Elm*	Southern Magnolia	Eve's Necklace	Saucer Magnolia
Chinquapin Oak*	Sweetgum	Forest Pansy Redbud*	Savannah Holly
Durand Oak	Texas Ash*	Foster Holly	Smoke Tree*

Eastern Red Cedar	Texas Red Oak*	Golden Raintree	Texas Persimmon*
Ginkgo	Trident Maple	Japanese Black Pine	Yaupon Holly*
Lacebark Elm*	Western Soapberry*	Japanese Maple	Vitex*
Lacey Oak	White Ash	Little Gem Magnolia	Wax Myrtle
		Mexican Plum*	

* Plants preferred due to lower water demand and high pest resistance.

** If determined by an International Society of Arboriculture certified town arborist that a tree not listed, for the area intended is a tree of equal or greater value of listed trees, may be included for mitigation.

(Ordinance 2013-0715-01 adopted 7/15/13)

March 15, 2021

Mayor T. Lynn Tompkins, Jr.
1401 FM 424
Cross Roads, Texas 76227

Dear Mayor Tompkins,

I, Juan Diosdado, a new resident of Cross Roads, am sending you this letter on behalf of Imperial Products Supply LLC., to offer our sincerest apologies for being unaware of the city's tree removal ordinance.

We are in receipt of your Cease and Desist letter. We recently acquired the property at 8801 E US Hwy 380 and were unaware of the tree removal ordinance. We will stop all activities that may involve any additional tree removal until we receive further guidance from your office and apply for and receive the necessary permits allowing us to remove trees.

As a new member of Cross Roads, I understand the responsibility it entails of researching the ordinances set forth by the city. During the winter storm, the weight of the ice and snow that accumulated resulted in the failure of branches and significant root damage. After carefully analyzing the trees to see if they had a good chance of recovery it was clear they were not.

As a family owned, small business we are excited to be opening our newest location in Cross Roads. We would like to involve the city in the ground opening of the store as well as all our future endeavours. We look forward to working with you and the Town of Cross Roads as we move forward and become part of the Cross Roads family.

Thank you for your time.

Sincerely,



Juan Diosdado



Town of Cross Roads

1401 FM 424

Cross Roads, Texas 76227

940-365-9693 office | 469-375-5905 fax

crossroadstx.gov

Mayor and Council

*T. Lynn Tompkins Jr.
Mayor*

*Bobby Phillips
Mayor Pro-Tem*

*Dave Meek
Council member*

*Wendy White-Stevens
Council member*

*Duke Roberson
Council member*

*Greg Gaalema
Council member*

Staff

*Kristi Gilbert
Interim
Town Administrator*

*Donna Butler
Town Secretary*

*Susan Zambrano
Director of Finance*

*Rodney Patterson
Building Official*

Juan Diosdado, Imperial Property Supply via email: juan@imperialprosupply.com
Margarito Espinoza, LMS Lone Star via email: margarito@lmslonestar.com

CEASE AND DESIST - Tree Removal at 8801 E US Hwy 380

On March 9, 2021, staff drove by the above referenced address (Parcel IDs 38339, 121912, 178717, 38337 and 77737) and noticed several trees had been cut down and crews were still on the site. Jason Pool and Rodney Patterson made contact with Marco Espinosa and advised that all activity needed to stop immediately. This was also conveyed to Delma Saavedra by phone at approximately 2:20 p.m. The notice included direction to leave the trees laying in place so they could be identified and measured. The Town of Cross Roads has a tree ordinance that requires the application and issuance of a permit prior to removing any trees 6" or greater from any site. Our records indicate we have not received or approved a tree removal application for this property. Please cease all activity on this site until an accurate assessment of the number and size of trees removed can be determined. The Town will use a certified arborist to determine the size and type of trees removed. After the Town has received the report, we will schedule a meeting to discuss next steps.

If you have any additional questions concerning the Towns requirements, please feel free to contact me at (940)365-9693.

Sincerely,

Kristi Gilbert
Interim Town Administrator

CC:
Rodney Patterson
Jason Pool
Mayor Tompkins



COUNCIL AGENDA BRIEFING SHEET

Meeting Date:
May 17, 2021

Agenda Item:

Discuss and consider an amendment to the architectural elevations for a commercial building permit application for property generally located at the northeast corner of FM 424 and US 380 for Bank of America. (2021-0308-04C)

Prepared by:
Kristi Gilbert, Interim Town Administrator

Description:

The Town Council approved the commercial building permit for applicant Bank of America on April 19, 2021. The applicant has since made modifications to the architectural elevations as detailed in the attached staff report. Their modifications are consistent with the Town's ordinances.

Recommended Action:

Staff is recommending approval of the amended architectural elevations.

Attachments:

Explanation of Proposed Changes
Proposed Elevations
Approved Elevations

Explanation of the Proposed Changes to Elevations

South Elevation (Front)

Applicant removed the gray stucco band above the awning and lowered that section of roofline accordingly. This modification provides additional variation between the height of the façade and the “sign tower” on the left side of this elevation. They also removed the darker gray limestone cladding on the right corner of this façade and continued the awning and wood below across the entire façade.

East Elevation (Right)

Applicant removed the gray stucco band above the awning and lowered that section of roofline accordingly. They also lowered the height of the limestone cladding and stucco sections to match the height of the top of the awning. This modification provides additional variation between the height of the façade and the “sign tower” on the right side of this elevation. They also removed the dark gray limestone cladding along the bottom of the lighter gray stucco section.

North Elevation (Rear)

Applicant lowered the height of the limestone cladding and stucco sections to match the height of the top of the awning and lowered that section of roofline accordingly. This modification provides additional variation between the height of the façade and the higher portions of the façade on both sides of this elevation. They also decreased the width of the higher portion of the rear wall on the right side and increased the width of the portion on the left side to create a “sign tower”. They increased and decreased the width of the limestone cladding at both corners to match the width of the modified roofline sections. They moved the sign from the center of the wall to the tower on the left side of the wall. They added an awning across the top of the stucco section and also removed the dark gray limestone cladding along the bottom of the stucco section.

West Elevation (Left)

Applicant removed the gray stucco band above the awning and lowered that section of roofline accordingly. They also lowered the height of the limestone cladding and stucco sections to match the height of the top of the awning. This modification provides additional variation between the height of the façade and the higher portions of the façade on both sides of this elevation. They also narrowed the width of the left “sign tower” and the limestone cladding below. Additionally, they reduced the size of the drive through canopy by removing approximately 12’ from the front and removing one support pillar. They added a small gray stucco section of wall at the end of the new canopy. They removed the lower section of dark gray limestone cladding at the lighter gray stucco sections and the pillars of the drive through.

ACM METAL PANEL

STUCCO/PLASTER

EXTERIOR GLAZING

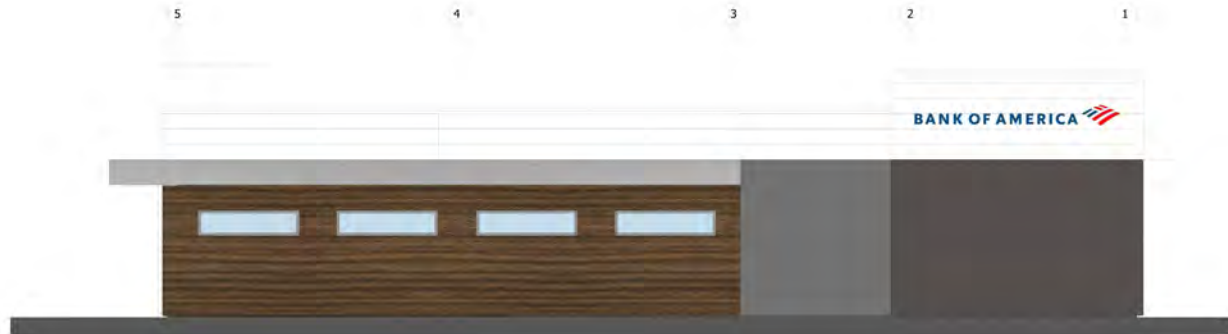
ALUMINUM GLAZING FRAME

METAL COPING

EXTERIOR PAINT

EXTERIOR LIMESTONE CLADDING

EXTERIOR SEALANT COLOR



EXTERIOR FINISH SCHEDULE:

ACM METAL PANEL

STUCCO/PLASTER

EXTERIOR GLAZING

ALUMINUM GLAZING FRAME

METAL COPING

EXTERIOR PAINT

EXTERIOR LIMESTONE CLADDING

EXTERIOR SEALANT COLOR

ELEVATION GENERAL NOTES:

ELEVATION KEYNOTES:

NELSON
NELSON ARCHITECTURE, INC.

12400 Cole Road
Suite 510
Dallas, TX 75251
Phone: (972) 844-8838
Fax: (972) 844-8888

Client Representative:
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Amy Clark
2705 Corporate Dr., 5th Floor
Plano, TX 75024
Tel: 214-799-3183
amy.clark@bankofamerica.com

Architect:
NELSON
Nelson Architecture Inc.
Project Contact: Sarah Winkler
Tel: 972-844-8838
Email: swinkler@nelsonarch.com
Attn: Sarah Winkler
Tel: 972-844-8838
Email: swinkler@nelsonarch.com
Architect of Record: Michael Durr
Tel: 214-823-6620
Email: mdurr@nelsonarch.com
TX License No. 24666

MEP Engineer:
Bentley Engineering
Attn: Charles Colburn
Tel: 972-844-8888
Email: cc@bentleyengineering.com

Civil Engineer:
Adams Engineering & Development Consultants
Attn: Ben Berry
Tel: 817-328-3388
Email: ben.berry@adamsengineering.com

DESCRIPTION	DATE	BY	CHKD
ISSUE FOR SCHEMATIC DESIGN	11/15/2019	JL	SW
ISSUE FOR PERMITS	02/05/2020	JL	SW
ISSUE FOR PERMITS	03/05/2020	JL	SW
ISSUE FOR LANDSCAPE REVIEW	03/05/2020	JL	SW
17. CITY COMMENTS & RESPONSE	04/02/2020	JL	SW

Proposed Amended Elevations

THESE DRAWINGS DO NOT REFLECT THE
GUIDELINES SET FORTH BY THE WORLD
HEALTH ORGANIZATION AND CENTER FOR
DISEASE CONTROL OR OTHER GOVERNMENTAL
AGENCY GUIDELINES RELATED TO COVID-19

BANK OF AMERICA

**CROSS ROADS
GROUND UP**

Cross Roads Hwy 380 + FM 424
Denton, TX 76227

PROPERTY ID: TXW-D71

NSRP VERSION: 2.0

BULLETIN: 4-2020

EXTERIOR ELEVATIONS

I hereby certify that this plan, specification or
report was prepared by me or under my direct
supervision and that I am a duly Licensed
Architect under the laws of the State of Texas

ADW - Vincent Durr
TX License No. 24666

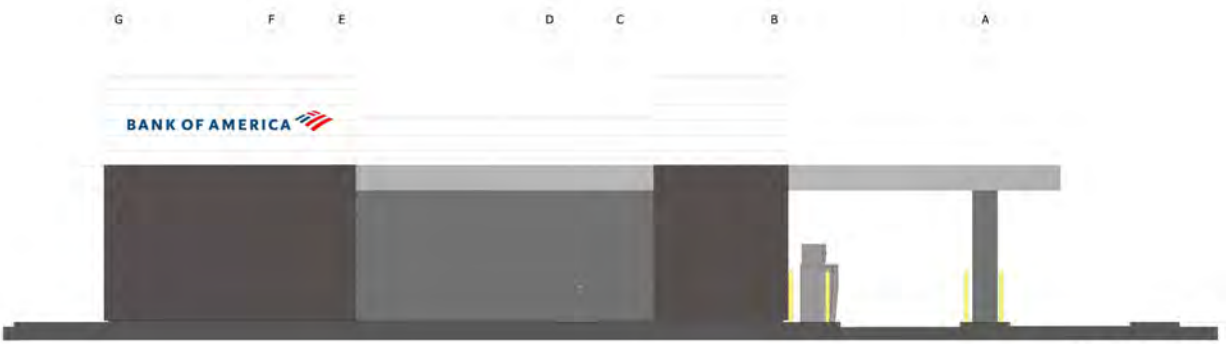
Proj. No.: 19-0001343.000 Reviewed By: SW

A09.02



02 WEST ELEVATION

ADW:SW 1/4" = 1'-0"



03 NORTH ELEVATION

ADW:SW 1/4" = 1'-0"



Urbana Smooth
(Click to view all color options)

EXTERIOR FINISH SCHEDULE:

ACM METAL PANEL

1. 30 YEAR MINIMUM LIFE EXPECTANCY
2. 1/2" THICKNESS
3. 1/2" MINIMUM R-VALUE
4. 1/2" MINIMUM R-VALUE
5. 1/2" MINIMUM R-VALUE
6. 1/2" MINIMUM R-VALUE
7. 1/2" MINIMUM R-VALUE
8. 1/2" MINIMUM R-VALUE
9. 1/2" MINIMUM R-VALUE
10. 1/2" MINIMUM R-VALUE

STUCCO/PLASTER

EXTERIOR GLAZING

ALUMINUM GLAZING FRAME

METAL COPING

EXTERIOR PAINT

STAINLESS STEEL BASE

EXTERIOR LIMESTONE CLADDING

EXTERIOR SEALANT COLOR

ELEVATION GENERAL NOTES:

1. ALL ELEVATIONS SHALL BE CONFORMANT WITH THE LATEST EDITION OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE LATEST EDITION OF THE INTERNATIONAL MECHANICAL AND ELECTRICAL CODE (IMC).
2. ALL ELEVATIONS SHALL BE CONFORMANT WITH THE LATEST EDITION OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE LATEST EDITION OF THE INTERNATIONAL MECHANICAL AND ELECTRICAL CODE (IMC).
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ELEVATION KEYNOTES:

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NELSON
Nelson Architecture, Inc.

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Dallas, TX 75251
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Fax: (972) 444-8828

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Nelson Architecture Inc.
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Architect of Record: Vincent D'Adda
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TX LICENSE NO. 24646

MSP Engineer:
Borja Engineering
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Tel: 972.328.4440
Email: ccullerton@borja.com

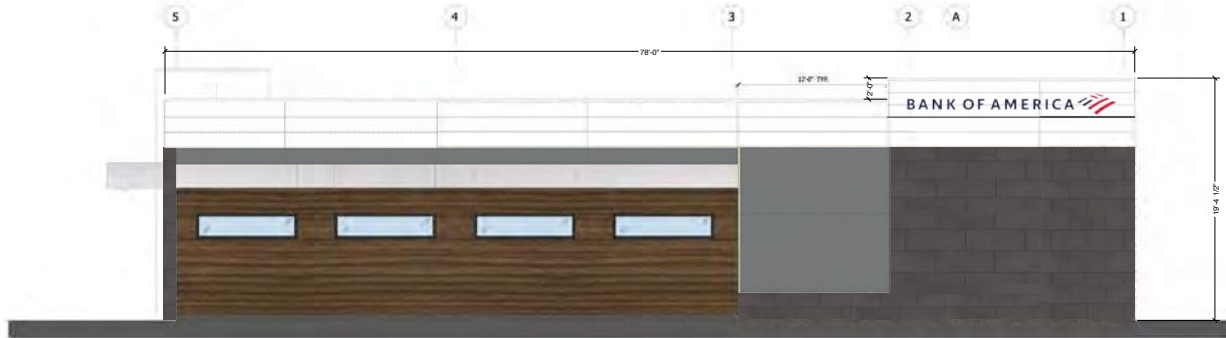
Civil Engineer:
Adams Engineering & Development Consultants
Attn: Ben Henry
Tel: 817.328.3386
Email: ben.henry@adamseng.com

Construction:
ISSUE FOR PERMITS DESIGN
DATE: 01.21.2020
ISSUE FOR PERMITS DESIGN
DATE: 01.21.2020
ISSUE FOR PERMITS DESIGN
DATE: 01.21.2020

Approved Elevations

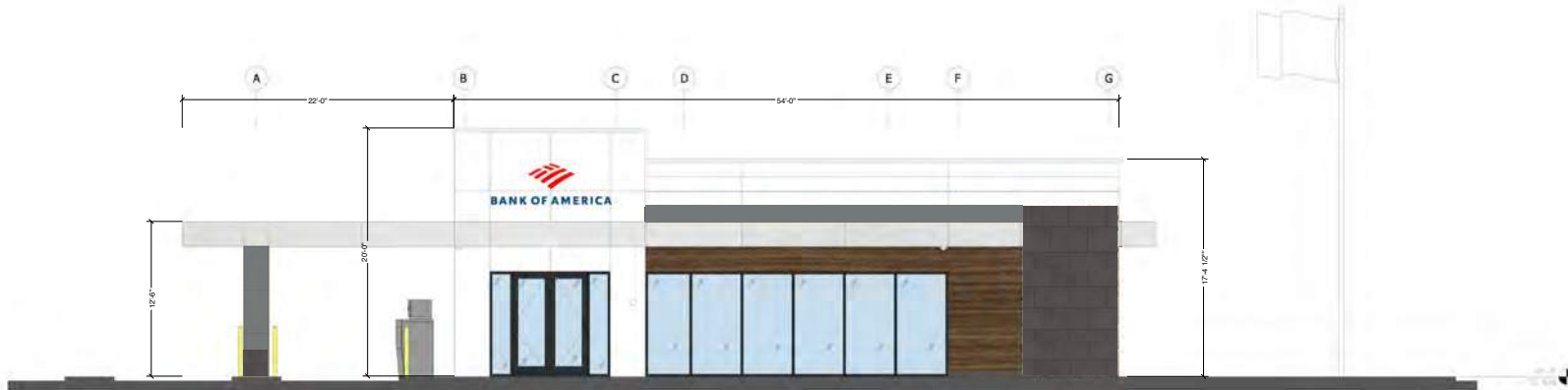
EAST ELEVATION

1/4" = 1'-0"



SOUTH ELEVATION

1/4" = 1'-0"



THESE DRAWINGS DO NOT REFLECT THE
CUTS/LINES SET FORTH BY THE WORLD
HEALTH ORGANIZATION AND CENTER FOR
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BANK OF AMERICA

CROSS ROADS
GROUND UP

Cross Roads Hwy 380 + FM 424
Denton, TX 76227

PROPERTY ID: TXW-D71

NSRP VERSION: 2.0

BULLETIN: 4-2020

EXTERIOR ELEVATIONS

I hereby certify that this plan, specification or
report was prepared by me or under my direct
supervision and that I am a duly licensed
Architect under the laws of the State of Texas.

ADT - Vincent D'Adda 01.20.2020

TX LICENSE NO. 24646

Proj. No.: 19-0001341-000 Reviewed By: 138

A09.01



COUNCIL AGENDA BRIEFING SHEET

Meeting Date:
May 17, 2021

Agenda Item:
Discuss and consider action on an amended technical and site plan/landscape plan for 3000 Moseley Road for 29 Acres. (2021-0308-08TSP)

Prepared by:
Kristi Gilbert, Interim Town Administrator

Description:
Applicant 29 Acres submitted a technical site plan application on March 8, 2021 as part of an application for two building permits for additional residences at 3000 Moseley Road. Several comments were made by staff, including items related to tree removal. The applicant resubmitted a site plan which addresses the engineer's comments on the hammerhead. The applicant has made modifications to their site plan to protect 151" more than their original plan indicated with mitigation reduced to 309" versus the originally planned 559.5".

Recommended Action:
Staff is recommending approval.

Attachments:
Engineer Review Letter – 3/23/2021
Tree Protection and Mitigation Review
Plans



Town of Cross Roads

1401 FM 424

Cross Roads, Texas 76227

940-365-9693 office | 469-375-5905 fax

town-information@crossroadstx.gov / crossroadstx.gov

Civil Engineer Comments

3000 Moseley Road

29 Acres

03-23-2021

Buildings 900 and 1000 were contemplated on the original Technical Site Plan for 29 Acres. OSSF system capacity and site drainage were also included in the original final plat and civil plans sets.

For the Technical Site Plan Review I am using the overall site plan and the enlarged site plan sheets from the construction plan set submission.

Comments on the Technical Site Plan are below, ordinance in black, **my response in red**:

The total number of building on the Phase two submission is the same as the original submission, just minor location adjustments.

The original plan showed a circular turn around instead of the proposed hammerhead fire lane alignment for the added fire lane. The hammer head as shown does not meet the geometry requirements for the 2006 IFC. The 58 ft dimension needs to be revised to 60 ft.

There is a tree survey included with the submission. Pdf submission resolution makes some of the numbers not legible. No summary of trees proposed for removal/mitigation is provided. Provide a legible copy of the tree survey and show the trees planned for removal/mitigation and protection.

Sec. 14.03.111 (b) (2) Adjoining property, owners, and zoning. Adjoining DCAD tract R numbers are show, on the site plan. Adjoining property owner's names and zoning are not shown on the TSP. Adjoining owner name is shown on the filed final plat included with the civil plan set.

Sec. 14.03.111 (b) (6) Existing and proposed utility lines showing sizes of water and sewer lines. **Not shown on the TSP, but included in the civil plan set.**

Sec. 14.03.111 (b) (7) Existing and proposed fire hydrants and fire lanes. **Not shown on the TSP, but included in the civil plan set.**

Sec. 14.03.111 (b) (9) Building setback lines. **Not shown on the TSP, but shown on the filed final plat in the civil plan set.**

Sec. 14.03.111 (b) (12) Engineering for drainage. **Not shown on the TSP, but included in the civil plan set.**

Sec. 14.03.111 (b) (13) Areas designated for landscaping and location of exterior lighting. **Not shown on the TSP or included in the civil plan set.**

Sec. 14.03.111 (b) (16) Must provide signature lines for chairman of planning and zoning commission, and mayor to signify approval. **Add signature line to the overall site plan sheet for approval**

Let me know if you have any questions.

Jason Pool, P.E.
Tx Lic #92623, Tx Firm #11096
TCEQ #OS0033361 DR

29 Acres Site Plan Review

Tree Protection and Mitigation only.

The site plan that was originally submitted for this project showed the removal of an extremely large number of trees including nine trees 18" or larger which would require Council approval. Following the second round of review comments concerning tree removal and mitigation, the owner asked the design engineer to look at redesigning the site plan in an attempt to save more of the large trees on the site. The Town received the revised site plans and tree removal plans at the end of April and the following is a comparison of the old site plan to the plan currently proposed.

The initial site plan showed a total of 758 caliper inches of trees on site with 552 inches to be removed and 559.5 inches of mitigation required. The original plan called for the removal of 5-18" Oak trees, 1-19" Oak tree, 1-20" Oak tree, and 2-24" Oak trees. By moving one of the buildings back and re-routing the fire lane, along with some creative grading, the engineer was able to save a number of large diameter trees.

The revised site plan shows a total of 758 caliper inches of trees on site with 401 inches to be removed and 309 inches of mitigation required. By revising the site plan, they were able to save 4-18" Oak trees (#'s 419, 420, 433, and 545), 1-19" Oak tree (#542), 1-20" Oak tree (#435) and 1-24" Oak tree (#421). The revised landscape plans show a total of 336 inches of trees to be planted. The following is a breakdown of the trees proposed:

28 - 6" Bald Cypress
18 - 4" Lace Bark Elm
14 - 3" Live Oak
18 - 3" Shumard Red Oak

The applicant has asked staff to consider allowing them to take credit for trees that were planted in Phase I which were above and beyond what was required in order to off set some of the required mitigation. They are asking for credit for the following:

10 - Sweet Gum
6 - Lace Bark Elm
3 - Red Oak

If potential credit is approved, staff will verify trees were not required as a part of the original project and the current size of these trees for credit.

CONSTRUCTION PLANS

FOR

29 ACRES

PHASE 2

LOT 1, BLOCK A
29 ACRES ADDITION

3000 MOSELEY LANE
CROSS ROADS, TEXAS

APPROVALS

DATE _____
ALL RESPONSIBILITY FOR THE ACCURACY OF THESE PLANS REMAINS WITH THE
OWNER. THE ENGINEER HAS CONDUCTED A VISUAL GENERAL CHECK OF THE
SPECIAL UTILITY DISTRICT MAPS RELYING UPON THE ACCURACY OF THE WORK OF
THE PERSON PREPARER.

Recommendations for Approval

City Engineer, Planning and Zoning Commission _____ Date _____
Treasurer of Cross Roads, Texas _____
Approved For Construction _____ Date _____
Mayor of Cross Roads, Texas _____



LOCATION MAP
SCALE 1" = 100'

Sheet List Table

Sheet Number	Sheet Title
C-00	COVER SHEET
C-01	FINAL PLAT
C-02	OVERALL SITE PLAN
C-03	PHASE 2 SITE PLAN
C-04	OVERALL GRADING PLAN
C-05	PHASE 2 GRADING PLAN
C-06	PHASE 2 UTILITY PLAN
C-08	PHASE 2 PAVING PLAN
C-09	SITE DETAILS SHEET 1
C-10	SITE DETAIL SHEET 2
C-11	EXISTING DRAINAGE AREA MAP
C-12	PROPOSED DRAINAGE AREA MAP

ENGINEER:



4500 Fuller Drive, Suite 220
Irving, Texas 75038
(972) 717-5151
Contact Person: Mike Glenn, P. E.

OWNER:

29 ACRES, INC.
3000 Moseley Road
Cross Roads, Texas 76227

DEVELOPER:

5910 N. Central Expressway
Suite 1400
Dallas, Texas 75206
(214) 916-5750
Contact Person: David Bates

ARCHITECT:

WRIGHT GROUP
1430 South Broadway Street
Carrollton, Texas 75006
(972) 242-1015
Contact Person: Terry Wright



COVER SHEET

29 ACRES-PHASE 2

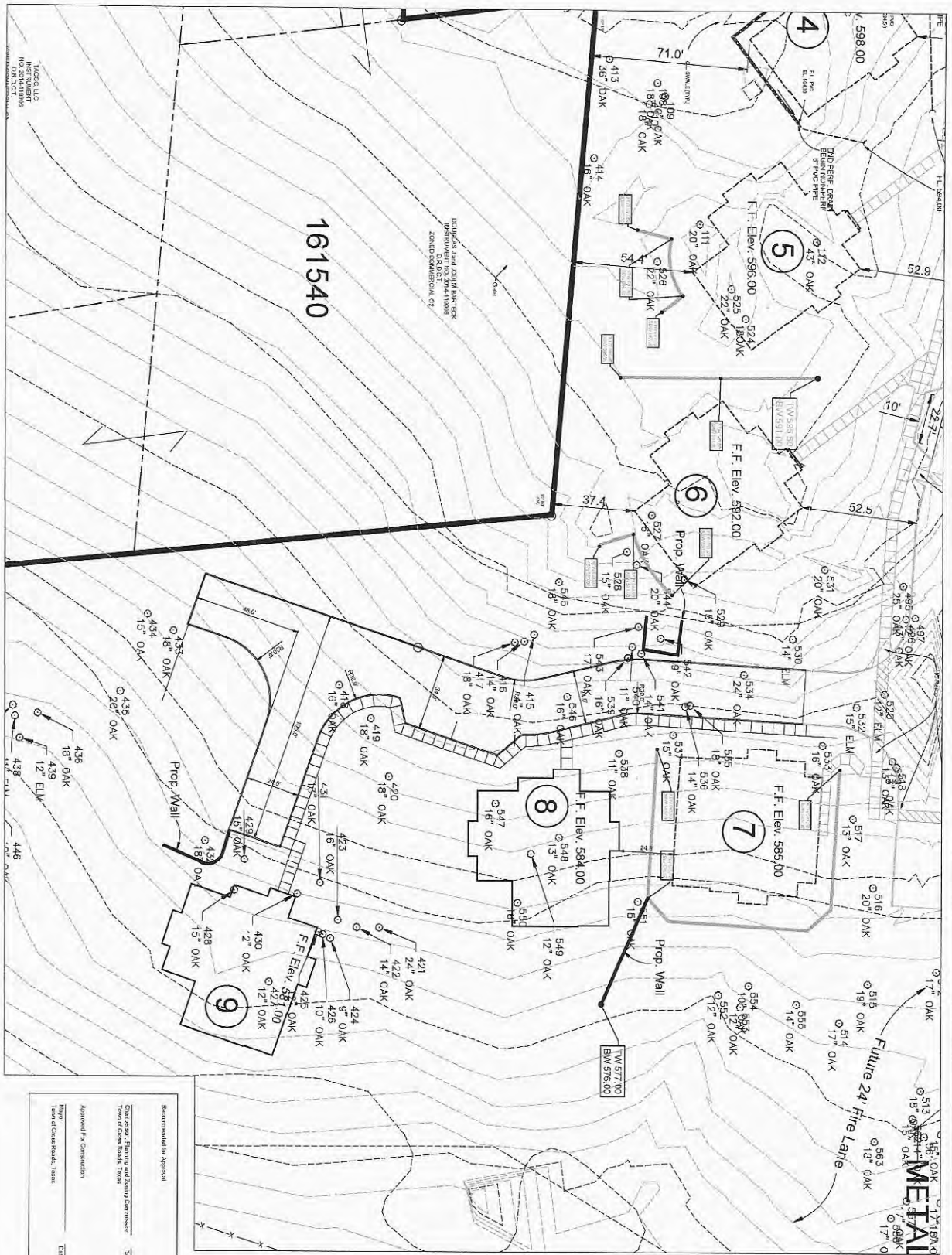
3000 MOSELEY ROAD
CROSS ROADS, TEXAS



TEXAS REGISTRATION NUMBER: F-593
PHONE (972) 717-5151 FAX (469) 472-3192
4500 FULLER DRIVE, STE. 220 IRVING, TEXAS 75038

C-00

Sheet



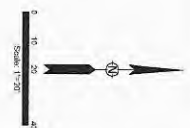
Recommended by Approval _____

Chairperson, Planning and Zoning Commission _____ Date _____

Team of Cross Roads, Texas _____

Approved for Construction _____ Date _____

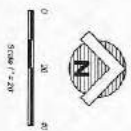
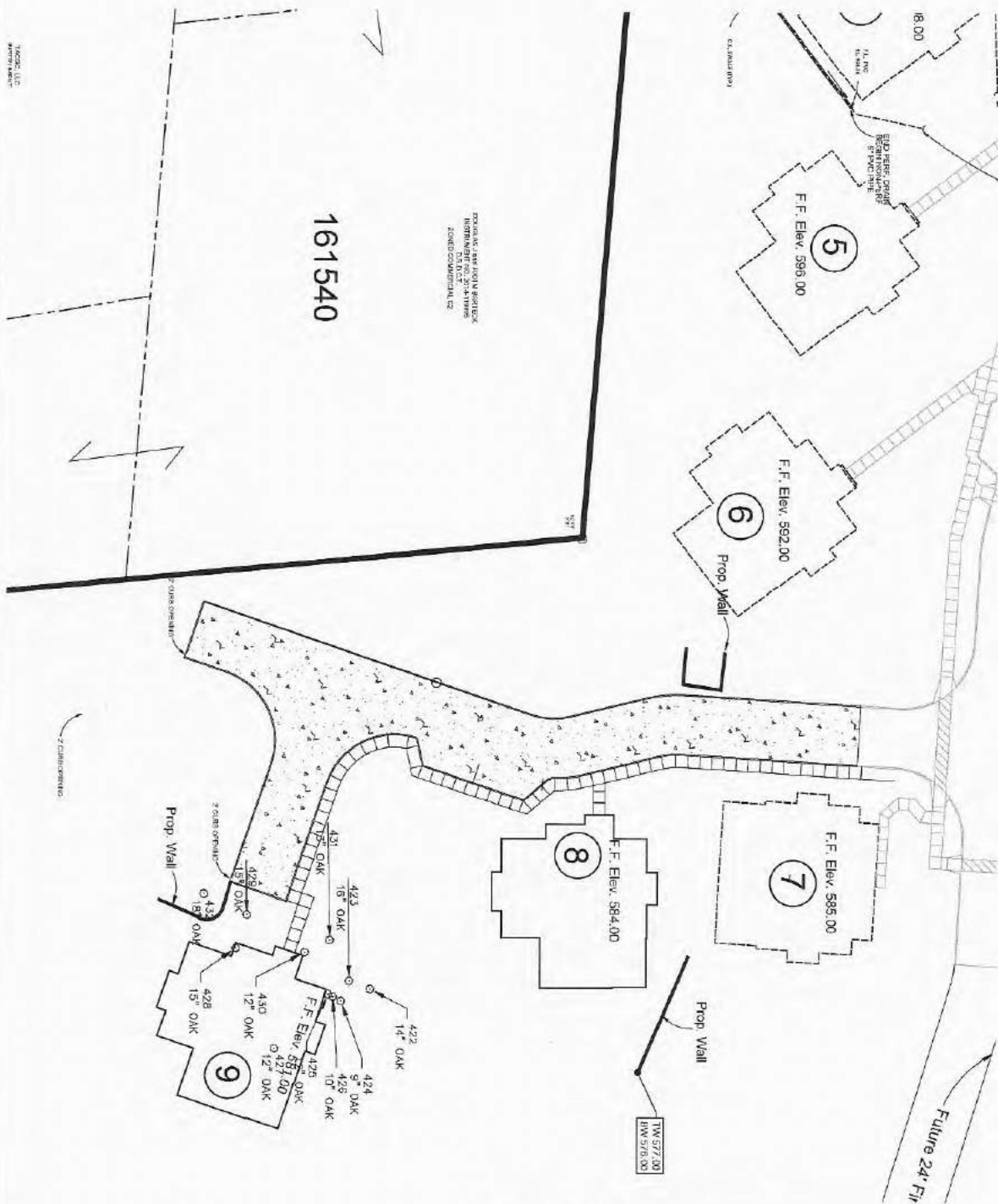
Team of Cross Roads, Texas _____





<p>PHASE 2</p> <p>GRADING PLAN</p>	<p>29 ACRES-PHASE 2</p>		<p>GLENN ENGINEERING</p> <p>TEXAS REGISTRATION NUMBER: F-363</p> <p>PHONE (972) 717-5161</p> <p>1500 FULLER DRIVE, STE. 220</p> <p>IRVING, TEXAS 75039</p>																																
	<p>3000 MOSELEY ROAD</p> <p>CROSS ROADS, TEXAS</p>																																		
<p>Sheet</p> <p>C-05</p>	<p>Revision</p> <table border="1"> <tr> <th>Rev.</th> <th>Date</th> <th>Description</th> </tr> <tr> <td>1</td> <td>3-2-21</td> <td>Initial</td> </tr> <tr> <td>2</td> <td>3-2-21</td> <td>Revised</td> </tr> <tr> <td>3</td> <td>3-2-21</td> <td>Revised</td> </tr> <tr> <td>4</td> <td>3-2-21</td> <td>Revised</td> </tr> <tr> <td>5</td> <td>3-2-21</td> <td>Revised</td> </tr> <tr> <td>6</td> <td>3-2-21</td> <td>Revised</td> </tr> <tr> <td>7</td> <td>3-2-21</td> <td>Revised</td> </tr> <tr> <td>8</td> <td>3-2-21</td> <td>Revised</td> </tr> <tr> <td>9</td> <td>3-2-21</td> <td>Revised</td> </tr> <tr> <td>10</td> <td>3-2-21</td> <td>Revised</td> </tr> </table>	Rev.	Date	Description	1	3-2-21	Initial	2	3-2-21	Revised	3	3-2-21	Revised	4	3-2-21	Revised	5	3-2-21	Revised	6	3-2-21	Revised	7	3-2-21	Revised	8	3-2-21	Revised	9	3-2-21	Revised	10	3-2-21	Revised	
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9	3-2-21	Revised																																	
10	3-2-21	Revised																																	

THOMSON, INC.
WATFORD, ALABAMA



GENERAL PRINCIPLES OF THE...

1. IDENTIFYING THE PROBLEM: WHAT IS THE PROBLEM? WHAT ARE THE FACTORS INVOLVED? WHAT ARE THE CAUSES OF THE PROBLEM? WHAT ARE THE EFFECTS OF THE PROBLEM? WHAT ARE THE POSSIBLE SOLUTIONS?
2. ANALYZING THE PROBLEM: WHAT ARE THE UNDERLYING CAUSES OF THE PROBLEM? WHAT ARE THE EFFECTS OF THE PROBLEM? WHAT ARE THE POSSIBLE SOLUTIONS?
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10. ANALYZING THE PROBLEM: WHAT ARE THE UNDERLYING CAUSES OF THE PROBLEM? WHAT ARE THE EFFECTS OF THE PROBLEM? WHAT ARE THE POSSIBLE SOLUTIONS?

PAVING LEGEND

804-271-1234 • 1100 FORD COLUMBIA BLVD
CITY CENTER PLAZA
CITY CENTER PLAZA
CITY CENTER PLAZA

Resident:	
Room:	
Phone:	5555
Location:	
Notes:	
Admitted By:	WHL
Discharged By:	DAW
Physician:	

Sheet

C-08

PHASE 2 PAVING PLAN

29 ACRES-PHASE 2

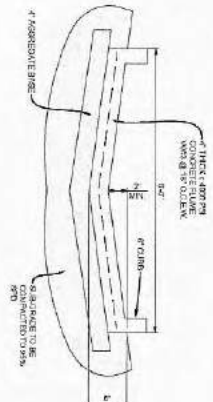
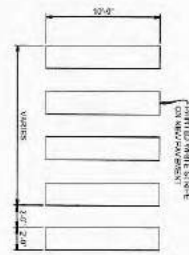
3000 MOSELEY ROAD
CROSS ROADS, TEXAS

**GLENN
ENGINEERING**



TEXAS REGISTRATION NUMBER: F-333
PHONE (872) 717-5151 FAX (868) 472-6192
4500 FULLER DRIVE, STE. 220 IRVING, TEXAS 75020

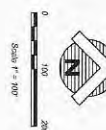
FAX (959) 472-9132
IRVING, TEXAS 75030

1. CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND OTHER EXISTING STRUCTURES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES AND STRUCTURES.
2. THE TOWN OF CHOCOMAUNDO SHALL BE APPLIED IN ACCORDANCE WITH THE TOWN OF CHOCOMAUNDO ZONING ORDINANCE.



A1	PRECAST CONCRETE WHEEL STOP	A2	CROSSWALK STRIPING	A3	5' CONCRETE FLUME SECTION
175		175		175	

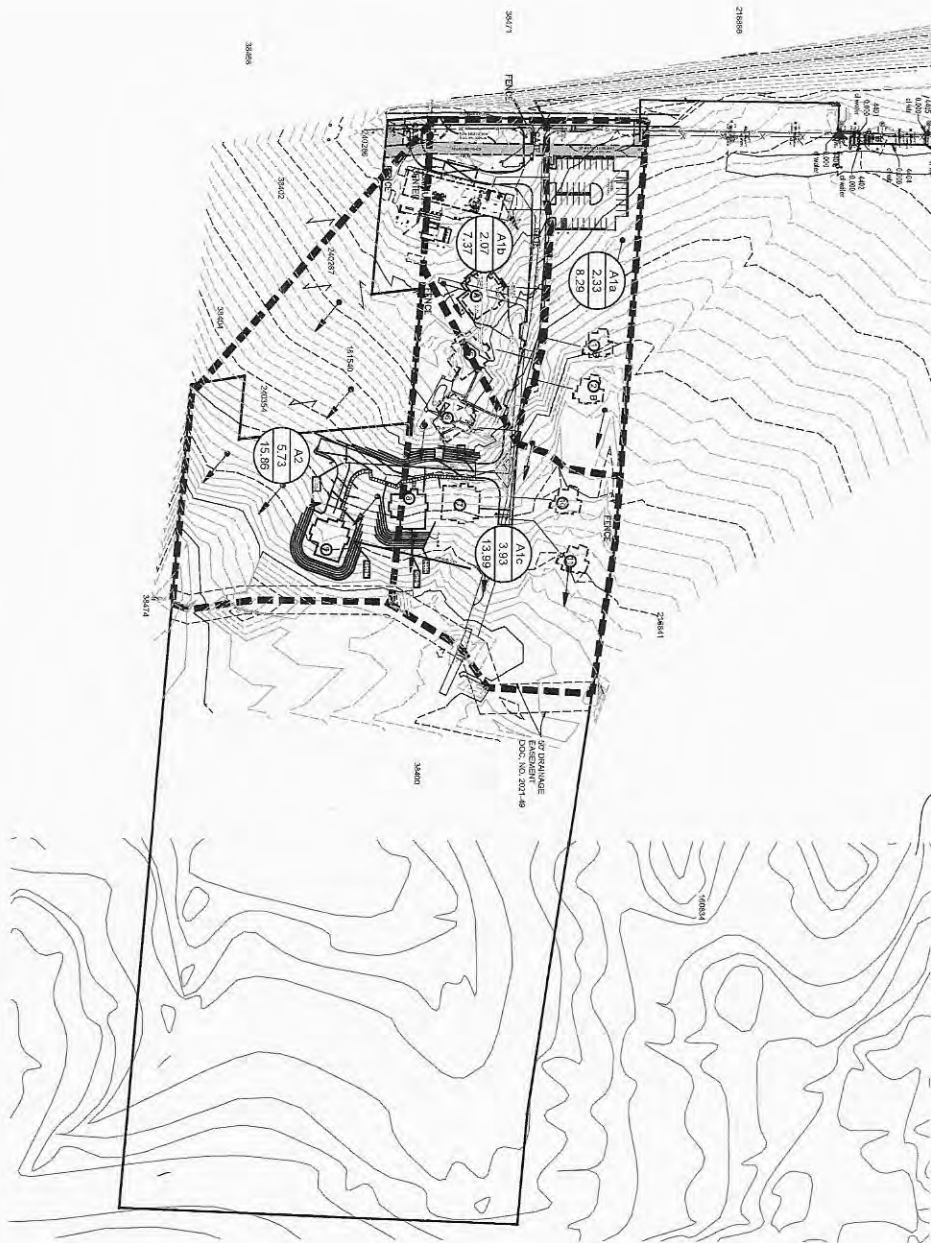
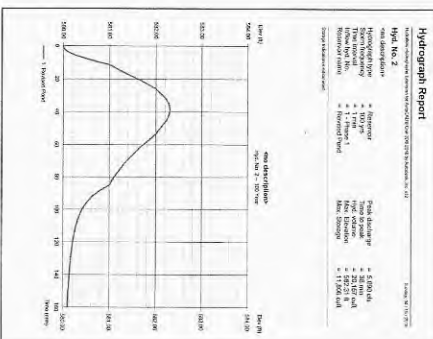
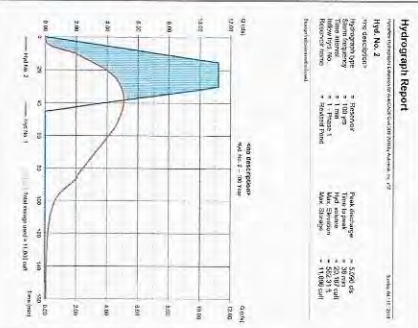
C-10	Sheet	Date 11/1/2010	Revision 1.1.2.0	Drawn By J. H. H.	Check By J. H. H.	Date 11/1/2010	Project 11/1/2010	Title 11/1/2010	Description 11/1/2010	Notes 11/1/2010	29 ACRES-PHASE 2	3000 MOSELEY ROAD CROSS ROADS, TEXAS		 GLENN ENGINEERING TEXAS REGISTERED LAND SURVEYORS F-1233 PH: (409) 271-1511 4300 PULLEN DRIVE, STE. 200 HOUSTON, TEXAS 77060

[illegible]

FAX (469) 472-9192
IRVING, TEXAS 75030

[illegible]

C-77

[illegible]

DETENTION POND CALCULATIONS

TOTAL RELEASE = 13.99 + 5.09 = 19.08 CFS
ALLOWABLE RELEASE = 19.77 CFS

TOTAL RELEASE = 13.99 + 5.09 = 19.08 CFS
ALLOWABLE RELEASE = 19.77 CFS

Revisions:	

Issue Dates:	
Renewal:	
Permit:	3-2-98
Construction:	
Stake:	
Drawn By:	WQJ
Checked By:	CMS
Project No.	

Sheet _____ of _____

C-12

PROPOSED DRAINAGE AREA MAP

29 ACRES-PHASE 2

3000 MOSELEY ROAD
CROSS ROADS, TEXAS



**GLENN
ENGINEERING**

TEXAS REGISTRATION NUMBER: F-203

PHONE (972) 717-5151
4500 FULLER DRIVE, STE. 220

FAX (469) 472-9192
IRVING, TEXAS 75031



COUNCIL AGENDA BRIEFING SHEET

Meeting Date:

April 19, 2021

Agenda Item:

Discuss and consider action on building permit plans for 3000 Moseley Road, Building #900 and #1000. (2021-0308-01C and 2021-0308-02C)

Prepared by:

Kristi Gilbert, Interim Town Administrator

Description:

Applicant 29 Acres submitted an application for two building permits for additional residences at 3000 Moseley Road. The Building Official has reviewed both permits and is recommending approval

Recommended Action:

Staff is recommending approval.

Attachments:

Building Code Comments #900 – 3rd Review
Building Code Comments #1000 – 3rd Review
Applications
Plans



Town of Cross Roads

1401 FM 424

Cross Roads, Texas 76227

940-365-9693 office | 469-375-5905 fax

town-information@crossroadstx.gov / crossroadstx.gov

5-04-21
3700 Sq. Ft.

**3rd Building Code Comments for 29 Acres Single Story Residence
#900 Located at 3000 Moseley**

Approved

**Comments to be Addressed Before Permit May be Issued
(All comments addressed)**

1. Application packet is for a residential permit. This is a commercial project and will require a Commercial Permit Application and checklist.
2. No Civil plans submitted.
3. Box checked on Tree Removal Application is for a residential project. This project is a commercial project. (still need revised Tree removal Permit Application)
4. No tree survey submitted. (received a site plan showing trees but it does not show which trees are anticipated to be removed and there is no tree table. Provide a list of the trees to be removed including tree number, species and size.)
5. Change the address at the top of the Cover sheet of the Architectural plans from 2900 to 3000 Moseley Rd. Also change address in Project Data table. All other sheets appear to contain the proper address.
6. Energy Code Information Worksheet is incomplete. Also, information provided does not match information on ResCheck report submitted.
7. Energy Code report shows compliance with the 2012 IECC. The Town has currently adopted the 2015 IECC.

Comments to be Addressed During Construction

1. Comments cover an in-depth look at plans as submitted. However, omission of specific plan comments does not absolve the contractor of the responsibility for insuring that all construction complies with the 2012 International Codes as adopted by the Town of Cross Roads including the 2015 International Energy Conservation Code. Requirements for residential construction can be found in the 2012 International Residential Code (Electrical to comply with the 2008 NEC as well as the 2015 IECC)
2. Smoke detectors are required in all sleeping areas and in areas immediately adjacent to all sleeping areas.
3. Receptacles required in restrooms within 36" of edge of lavatories. Receptacles in restrooms to be on dedicated GFCI circuit.

4. Receptacles in garage and on exterior to be GFCI protected. (Separate circuit from bath and kitchen)
5. Arc fault protection required for all bedroom receptacles.
6. Minimum 2 dedicated GFCI circuits required in kitchen area for countertop appliances. All plugs on kitchen countertops must be GFI protected.
7. Bubble covers required for exterior plugs located in wet areas.
8. Check spacing of plugs throughout. Must meet minimum 6'/12' spacing.
9. Walk boards required in attic to provide minimum 24" wide walkway to mechanical equipment. Also, 30" clear working platform required on service side of equipment. Equipment to be located no more than 20' from attic access.
10. Exhaust fans required in all restrooms unless the bathroom has an operable window. If exhaust fan is installed in an enclosed toilet area, an additional fan must be installed in the area outside the toilet area in the restroom.
11. Heat traps required at water heaters.
12. Windows around tub and shower and within 24" of all doors must be tempered glass.
13. Windows in bedrooms must meet minimum 5.7 sq. ft. egress requirements (5.0 sq. ft. for first floor). Also maximum sill height of 44".
14. Combustion air duct required for interior fireplace.
15. Form Board Survey and engineer's inspection required at foundation Inspection.

All Items above must be addressed during construction. Pay particular attention to items in RED.

If you have any questions or comments, please feel free to contact me at (940)383-4447 or contact the Town of Cross Roads at (940)365-9693.

Thank You,

Rodney Patterson
Plans Examiner/Inspector
North Central Texas Inspection and Plan Review Services



Town of Cross Roads

1401 FM 424

Cross Roads, Texas 76227

940-365-9693 office | 469-375-5905 fax

town-information@crossroadstx.gov / crossroadstx.gov

5-04-21
3700 Sq. Ft.

**3rd Building Code Comments for 29 Acres Single Story Residence
#1000 Located at 3000 Moseley**

Approved

**Comments to be Addressed Before Permit May be Issued
(All Items Addressed)**

1. Application packet is for a residential permit. This is a commercial project and will require a Commercial Permit Application and checklist.
2. No Civil plans submitted.
3. Box checked on Tree Removal Application is for a residential project. This project is a commercial project. (Still Need revised application)
4. No tree survey submitted. (received a site plan showing trees but it does not show which trees are anticipated to be removed and there is no tree table. Provide a list of the trees to be removed including tree number, species and size.)
5. Plans appear to be a mix of an old set for Building 3 and the new set for Building 9.
6. Change the address at the top of the Cover sheet of the Architectural plans from 2900 to 3000 Moseley Rd. Also in the Project Data Table on the Cover sheet. All other sheets appear to contain the proper address.
7. Also change the building number throughout to building #1000. (Did not receive full revised set. Cannot verify changes were made.)
8. Energy Code Information Worksheet is incomplete. Also, information provided does not match information on ResCheck report submitted.
9. Energy Code report shows compliance with the 2012 IECC. The Town has currently adopted the 2015 IECC.

Comments to be Addressed During Construction

1. Comments cover an in-depth look at plans as submitted. However, omission of specific plan comments does not absolve the contractor of the responsibility for insuring that all construction complies with the 2012 International Codes as adopted by the Town of Cross Roads including the 2015 International Energy Conservation Code. Requirements for residential construction can be found in the 2012 International Residential Code (Electrical to comply with the 2008 NEC as well as the 2015 IECC)

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15. Form Board Survey and engineer's inspection required at foundation Inspection.

All Items above must be addressed during construction. Pay particular attention to items in RED.

If you have any questions or comments, please feel free to contact me at (940)383-4447 or contact the Town of Cross Roads at (940)365-9693.

Thank You,

Rodney Patterson
Plans Examiner/Inspector
North Central Texas Inspection and Plan Review Services

TOWN OF CROSS ROADS COMMERCIAL PERMIT APPLICATION

Date: 2-23-21		Application # _____	
Permit Address 29 Acres - 3000 Moseley Rd. Bldg. 900 Cross Roads TX 76227			
Business Name 4F Custom Homes	Finished Sq Ft 3700	Unheated Sq Ft 651	
Property Description (Acreage or Sq Ft of Lot)	Lot	Block	Legal Description 29 Acres
Description of Work/Intended Use: (Materials exterior & roof, New, Remodel, Expansion, etc.) Stucco & Siding; 5 Bath; 4 Bedrooms			
General Contractor Mike Fritz		Phone 214-850-8315	
Email Address: 4F Custom Homes & Framing fritzbuild@yahoo.com		Fax: _____	
Owner/Tenant Debra Caudy		Phone 817-832-9346	
Mailing Address 29 Acres			
Electrical Contractor RPM		Phone 972-533-8915	
Plumbing Contractor Tim Long		Phone 817-439-3629	
HVAC Contractor Air Rey		Phone 817-525-0460	
Other Contractor		Phone	
<p>I agree to allow no work on which separate Permits are required (signs, gasoline tanks, plumbing installations, electrical work, awnings, etc.) to be done until such Permits are obtained. I have carefully examined and read the completed and know the same to be true and correct, and hereby agree that if a Permit is issued, all provisions of the Town Ordinances and State laws will be complied with, whether herein specified or not. This permit becomes null and void if work or construction is not commenced within 180 days, or if construction or work is suspended or abandoned for a period of 180 days at any time after work has commenced. I also agree that this Permit is not transferable to any other party (ies) I have filed a MSDS for all hazardous materials with the Aubrey Fire Department.</p> <p><i>*If construction is not completed within 1 year, applicant must apply to Planning and Zoning for an extension of the original Building Permit.</i> I verify that this building site does not lie within the 100 YEAR FLOOD PLAIN.</p>			
Property Owner's Signature _____		Date _____	
Applicant Signature _____		Date 2-23-21	
Applicant Name (Please Print) MIKE FRITZ		Tel #: 214-850-8315	
For Office Use Only			
Date rec'd Application _____		Rec'd by _____	
Site Plan _____ (4) Sets of Building Plans _____		CD of Building Plans _____ (2) Engineered Foundation Plans _____	
Code Info _____ Sub Contractor Info _____		Architectural Review _____ Inspector's Review _____	
Plan Review Amt. _____	CK # _____	Date Rec'd _____	Receipt # _____
Septic Review Amt. _____	CK # _____	Date Rec'd _____	Receipt # _____
Bldg Permit Amt. _____	CK # _____	Date Rec'd _____	Receipt # _____
Inspections/C of O/			
Culvert Amt. _____	CK # _____	Date Rec'd _____	Receipt # _____
Permit Issued by _____		Date _____	

TOWN OF CROSS ROADS COMMERCIAL PERMIT APPLICATION

Date: <u>2-23-21</u>		Application # _____	
Permit Address <u>29 Acres - 3000 Moseley Rd. Bldg. 1000 Cross Roads TX 76227</u>			
Business Name <u>HF Custom Homes & Framing, Inc.</u>		Finished Sq Ft <u>3700</u>	Unheated Sq Ft <u>651</u>
Property Description (Acreage or Sq Ft of Lot)	Lot	Block	Legal Description <u>29 Acres</u>
Description of Work/Intended Use: (Materials exterior & roof, New, Remodel, Expansion, etc.) <u>Stucco & Siding; 5 Bath; 4 Bedrooms</u>			
General Contractor <u>Mike Fritz</u>		Phone <u>940-735-1617</u>	
Email Address: <u>fritzbuild@yahoo.com</u>		Fax: _____	
Owner/Tenant <u>Debra Candy</u>		Phone <u>817-832-9346</u>	
Mailing Address <u>29 Acres</u>			
Electrical Contractor <u>RPM</u>		Phone <u>972-533-8915</u>	
Plumbing Contractor <u>Tim Long</u>		Phone <u>817-439-3629</u>	
HVAC Contractor <u>Air Rey</u>		Phone <u>817-525-0460</u>	
Other Contractor _____		Phone _____	
<p>I agree to allow no work on which separate Permits are required (signs, gasoline tanks, plumbing installations, electrical work, awnings, etc.) to be done until such Permits are obtained. I have carefully examined and read the completed and know the same to be true and correct, and hereby agree that if a Permit is issued, all provisions of the Town Ordinances and State laws will be complied with, whether herein specified or not. This permit becomes null and void if work or construction is not commenced within 180 days, or if construction or work is suspended or abandoned for a period of 180 days at any time after work has commenced. I also agree that this Permit is not transferable to any other party (ies) I have filed a MSDS for all hazardous materials with the Aubrey Fire Department.</p> <p><i>*If construction is not completed within 1 year, applicant must apply to Planning and Zoning for an extension of the original Building Permit.</i> I verify that this building site does not lie within the 100 YEAR FLOOD PLAIN.</p>			
Property Owner's Signature _____		Date _____	
Applicant Signature <u>[Signature]</u>		Date <u>2-23-21</u>	
Applicant Name (Please Print) <u>Mike Fritz</u>		Tel #: <u>214-850-8315</u>	
For Office Use Only			
Date rec'd Application _____		Rec'd by _____	
Site Plan _____ (4) Sets of Building Plans _____		Culvert Application _____ Septic Plans _____	
CD of Building Plans _____		(2) Engineered Foundation Plans _____ Energy _____	
Code Info _____ Sub Contractor Info _____		Architectural Review _____ Inspector's Review _____	
Plan Review Amt. _____	CK # _____	Date Rec'd _____	Receipt # _____
Septic Review Amt. _____	CK # _____	Date Rec'd _____	Receipt # _____
Bldg Permit Amt. _____	CK # _____	Date Rec'd _____	Receipt # _____
Inspections/C of O/ _____			
Culvert Amt. _____	CK # _____	Date Rec'd _____	Receipt # _____
Permit Issued by _____		Date _____	

GENERAL NOTES

REVIEW OF CONSTRUCTION DOCUMENTS:

THE CONTRACTOR SHALL REVIEW CONSTRUCTION DOCUMENTS, INCLUDING PLANS AND SPECIFICATIONS, BEFORE BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY AND SUBMIT DISCREPANCIES OR CONFLICTS TO THE ARCHITECT FOR CLARIFICATION OR RESOLUTION. OBTAIN SATISFACTORY RESOLUTION OF ALL DISCREPANCIES AND CONFLICTS PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR AGREES THAT CONSTRUCTION DOCUMENTS ARE SATISFACTORY AND SUFFICIENT TO PROVIDE THE INDICATED WORK FOR THE AGREED AMOUNT AND NEITHER THE PROJECT NOR THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE OWNER OR THE ARCHITECT'S RESPONSIBILITY FOR COSTS OR DELAYS RESULTING FROM THE CONTRACTOR'S FAILURE TO VERIFY DISCREPANCIES OR CONFLICTS PRIOR TO BID.

ACCESSIBILITY:

ACCESSIBILITY IN CONFORMANCE WITH THE "AMERICANS WITH DISABILITIES ACT" (ADA) AND TEXAS ACCESSIBILITY STANDARDS (TAGS) LATEST VERSIONS, FOR THE AREAS AFFECTED BY THESE CONSTRUCTION DOCUMENTS IS INTENDED AND REQUIRED BY THE DESIGNER AND SPECIFICATIONS HEREIN. THE CONTRACTOR SHALL INFORM THE ARCHITECT OF ANY UNEXPECTED NON-COMPLIANT CONDITIONS IN THE WORK AREAS, OR OTHER NON-WORK AREAS, THAT THE CONTRACTOR MAY ENCOUNTER.

ASBESTOS MATERIALS:

IT IS THE INTENT OF THESE CONSTRUCTION DOCUMENTS TO NEGOTIATE MATERIALS AND PRODUCTS FOR USE IN THE CONSTRUCTION WHICH DO NOT CONTAIN ASBESTOS. THE CONTRACTOR SHALL NOT CAUSE TO BE INCORPORATED INTO THE WORK MATERIALS OR PRODUCTS WHICH CONTAIN ASBESTOS IN ANY DEGREE WHATSOEVER.

PERMITS, FEES:

THE CONTRACTOR SHALL OBTAIN REQUIRED PERMITS AND INSPECTIONS FOR THE WORK, INCLUDING BUT NOT LIMITED TO THESE CONSTRUCTION DOCUMENTS AND PAY ASSOCIATED FEES.

CONTRACTOR'S INSPECTIONS:

MAKE DETAILED INSPECTIONS OF WORK AREAS AND ADVISE ARCHITECT PRIOR TO BEGINNING VARIOUS INSTALLATIONS, VERIFY WORKING DIMENSIONS AND OTHER PERMISSIBLE EXTENSIONAL TO BRACKETS. REPORT IN WRITING UNSATISFACTORY CONDITIONS ENCOUNTERED. DO NOT BEGIN INSTALLATION UNTIL CONDITIONS ARE CORRECT. BEGINNING INSTALLATION IMPLIES ACCEPTANCE OF CONDITIONS.

PROTECTION OF THE WORK:

PROTECT EXISTING BUILDINGS AND/OR SITE CONDITIONS INDICATED TO REMAIN OR UNEXPECTED BY THE WORK. PROTECT NEW WORK, INCLUDING STORED MATERIALS AND EQUIPMENT, FROM CONSTRUCTION DAMAGE, THEFT, OR VANDALISM.

CLEANING OF WORK AREAS:

MAINTAIN WORK AREAS CLEAN AND FREE OF OBSTRUCTIONS TO THE ORDINARY PROGRESS OF THE WORK. CLEAN, PROPERLY REMOVE TRASH AND DEBRIS FROM THE JOB SITE DAILY.

WARRANTY:

WORKMANSHIP, MATERIAL AND EQUIPMENT PROVIDED AND/OR INSTALLED UNDER THESE CONSTRUCTION DOCUMENTS SHALL BE GUARANTEED BY THE CONTRACTOR FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF FINAL ACCEPTANCE OF THE WORK. COVERING DEFECTIVE MATERIALS OR DEFECTIVE WORKMANSHIP. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OR REPLACEMENT OF FAULTY OR DEFECTIVE ITEMS AND DAMAGE CAUSED BY SUCH FAILURE OR DEFECT DURING THE GUARANTEE PERIOD AT NO ADDITIONAL COST TO THE OWNER.

SUBSTITUTIONS:

SUBSTITUTION REQUESTS MUST BE SUBMITTED PRIOR TO BID DATE PER SECTION 01100 PRODUCT OPTIONS AND SUBSTITUTIONS.

VICINITY MAP

NOT TO SCALE



PROJECT DATA

PROJECT ADDRESS:	3000 Moseley Rd. Bldg 900,
LEGAL DESCRIPTION:	Acres Ranch, Texas 76227
BUILDING CODE:	2012 INTERNATIONAL RESIDENTIAL CODE
FLOOR AREA:	3,044 SF
PHONE (PATIO):	366 SF
DECK (PATIO):	246 SF
TOTAL AREA:	3,636 SF
MAXIMUM HEIGHT:	20'-0"
CONSTRUCTION TYPE:	R-3, TYPE V-48
FIRE SPRINKLERS:	SPRINKLED (RPA 10-0)
OCCUPANCY LOAD:	5

CONSULTANTS:

Root Engineering Services
M.E.P. Engineer
45 FM 3356
Suite 108
Van Alstyne, TX 75495
(903) 375-9303

D & E Consulting Engineers
Structural Engineer
1010 E. Arapaho Road
Richardson, TX 75081
(214) 741-3095

OWNER'S CONSULTANTS:

Glenn Engineering
Civil Engineer
105 Decker Court
Suite 910
Irving, TX 75062
(972) 717-5151

29 ACRES

3000 Moseley Rd, Bldg. 900, Cross Roads, Texas 76227



WRIGHT GROUP

1430 South Broadway Street, Carrollton TX 75006

ARCHITECTS - PLANNERS, PLLC

(972) 242-1015

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1430 S BROADWAY STREET
CARROLLTON, TEXAS
75006
(972) 242-1015



D-10-2020

242-202 CITY COMMENTS

29 Acres: Single Story Residence

29 Acres Ranch Development
3000 Moseley Road, Building 900
Cross Roads, Texas 76227

JOB NO. A3022
DATE: September 24, 2020

SHEET NO.

COVER

GENERAL NOTES

REVIEW OF CONSTRUCTION DOCUMENTS:

FOR CONTRACTOR SHALL REVIEW CONSTRUCTION DOCUMENTS INCLUDING PLANS AND SPECIFICATIONS, EXISTING METEOROLOGICAL AND BUILDING CONDITIONS PRIOR TO ANY NOTIFICATION AND SUBMITTALS. DISCREPANCIES OR CONFLICTS TO THE ARCHITECT FOR CLARIFICATION OR RESOLUTION. OBTAIN SATISFACTORY RESOLUTION OF ANY DISCREPANCIES PRIOR TO BEGINNING OF CONSTRUCTION. THE CONTRACTOR AGREES THAT CONSTRUCTION DOCUMENTS ARE SATISFACTORY AND WAIVES TO PROVIDE THE INDICATED WORK FOR THE AGREED AMOUNT AND WITHIN THE PROJECT SCHEDULE. THE CONTRACTOR SHALL NOT HOLD THE OWNER OR THE ARCHITECT RESPONSIBLE FOR COSTS OR DELAYS RESULTING FROM THE CONTRACTOR'S FAILURE TO IDENTIFY DISCREPANCIES OR CONFLICTS PRIOR TO BID.

ACCESSIBILITY:

ACCESSIBILITY IN CONFORMANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND TECHNICAL ACCESSIBILITY STANDARDS (TAS) LATEST VERSIONS, FOR THE AREAS AFFECTED BY THESE CONSTRUCTION DOCUMENTS IS INTENDED AND INDICATED BY THE DIMENSIONS AND SPECIFICATIONS HEREIN. THE CONTRACTOR SHALL INSURE THE ADEQUACY OF ANY REQUIRED NON-COMPLIANT CONDITIONS IN THE WORK AREAS, OR OTHER NON-WORK AREAS, THAT THE CONTRACTOR MAY ENCOUNTER.

ASBESTOS MATERIALS:

IT IS THE INTENT OF THESE CONSTRUCTION DOCUMENTS TO INDICATE MATERIALS AND PRODUCTS SHOWN IN THE CONSTRUCTION DOCUMENTS DO NOT CONTAIN ASBESTOS. THE CONTRACTOR SHALL NOT CLAIM TO BE INCORPORATED INTO THE WORK MATERIALS OR PRODUCTS WHICH CONTAIN ASBESTOS IN ANY DEGREE WHATSOEVER.

PERMITS, FEES:

THE CONTRACTOR SHALL OBTAIN REQUIRED PERMITS AND INSPECTIONS FOR THE WORK INDICATED IN THESE CONSTRUCTION DOCUMENTS AND PAY ASSOCIATED FEES.

CONTRACTOR'S INSPECTIONS:

MAKE DETAILED INSPECTIONS OF WORK AREAS AND ADJOINING CONSTRUCTION PRIOR TO BEGINNING VARIOUS INSTALLATIONS. VERIFY GOVERNANCE JURISDICTIONS AND OTHER PERMISSIBLE DETENTIONAL JURISDICTIONS. REPORT IN WRITING INSTANTANEOUS CONDITIONS ENCOUNTERED DO NOT BEGIN INSTALLATION UNTIL CONDITIONS ARE CORRECT. BEGINNING DETAILATION SIGNIFIES ACCEPTANCE OF CONDITIONS.

PROTECTION OF THE WORK:

PROTECT EXISTING BUILDINGS AND/OR SITE CONDITIONS INDICATED TO REMAIN OR UNEXPECTED BY THE WORK. PROTECT NEW WORK INCLUDING STORED MATERIALS AND EQUIPMENT FROM CONSTRUCTION DAMAGE, WEATHER, OR VANDALISM.

CLEANING OF WORK AREAS:

MAINTAIN WORK AREAS CLEAN AND FREE OF OBSTRUCTIONS TO THE ORIGINALLY REQUIRED OF THE WORK. CLEAN & PROPERLY REMOVE TRASH AND DEBRIS FROM THE JOB SITE DAILY.

GUARANTEE:

WORKMANSHIP, MATERIAL AND EQUIPMENT PROVIDED AND/OR INSTALLED UNDER THESE CONSTRUCTION DOCUMENTS SHALL BE GUARANTEED BY THE CONTRACTOR FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF FINAL ACCEPTANCE OF THE WORK. COVERING DEFICIENT FAILURE, DEFECTIVE MATERIALS OR FAULTY WORKMANSHIP. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OR REPLACEMENT OF FAULTY OR DEFECTIVE ITEMS AND DAMAGES CAUSED BY SUCH FAILURE OR DEFECT DURING THE GUARANTEE PERIOD AT NO ADDITIONAL COST TO THE OWNER.

SUBSTITUTIONS:

SUBSTITUTION REQUESTS MUST BE SUBMITTED PRIOR TO BID DATE PER SECTION 01630 PRODUCT OPTIONS AND SUBSTITUTIONS.

VICINITY MAP

NOT TO SCALE



PROJECT DATA

PROJECT ADDRESS:	3000 Moseley Rd. Bldg. 5, Cross Roads, Texas 76227
LOCAL JURISDICTION:	
BUILDING CODE:	2012 INTERNATIONAL RESIDENTIAL CODE
FLOOR AREA:	3,044 S.F.
FRONT YARD:	250 S.F.
REAR YARD:	250 S.F.
TOTAL AREA:	3,544 S.F.
MAXIMUM HEIGHT:	20' 0"
CONSTRUCTION TYPE:	R-3, TYPE V-B
FIRE SPRINKLERS:	SPRINKLED NFA 0-0
OCCUPANCY LOAD:	5

CONSULTANTS:

Root Engineering Services
M.E.P. Engineer
45 FM 3356
Suite 108
Van Alstyne, TX 75495
(903) 375-9303

D & E Consulting Engineers
Structural Engineer
1010 E. Arapaho Road
Richardson, TX 75081
(214) 741-3095

Belle Firms, Inc.
Landscape Architect
4245 N. Central Expressway
Suite 501
Dallas, TX 75205
(214) 865-7192

DEVELOPER:

Mike Galindo
CADDIS HEALTH CARE REAL ESTATE
5910 N. Central Expy.
Suite 1400
Dallas, TX 75206
(972) 993-1410

OWNER'S CONSULTANTS:

Glenn Engineering
Civil Engineer
105 Decker Court
Suite 910
Irving, TX 75062
(972) 717-5151

29 ACRES

3000 Moseley Rd. Bldg. 5, Cross Roads, Texas 76227



WRIGHT GROUP

1430 South Broadway Street, Carrollton TX 75006

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(972) 242-1015

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		LANDSCAPE - UNDER SEPARATE COVER		PLA	PUMPING WATER PLANS
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1430 S BROADWAY STREET
CARROLLTON, TEXAS
7 5 0 0 6
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0-10-2011

3-22-2022 CITY COMMENTS

29 Acres: Single Story Residence

29 Acres Ranch Development
3000 Moseley Road, Building 1000
Cross Roads, Texas 76227

JCS No. A3022
DATE: September 24, 2020

SHEET NO.

COVER



COUNCIL AGENDA BRIEFING SHEET

Meeting Date:

May 17, 2021

Agenda Item:

Discuss and consider an application for a tree removal permit submitted by Kerry Ainsworth, representing property owner Mike Koenig, for property located at 6755 Mountain Lake Parkway. (2021-0406-03TREE)

Prepared by:

Kristi Gilbert, Interim Town Administrator

Description:

On April 6, 2021, applicant Kerry Ainsworth submitted the attached Tree Removal Permit Application to remove 17 trees of a one-acre lot within the footprint of a new single-family home and within 10 feet of the foundation and driveway. Of the 17 trees to be removed, only two (2) require Council approval per Section 3.08.004(j) of the Code of Ordinances as they are 18" or greater in size. The applicant submitted building plans for the single-family house on May 4, 2021 and the trees are located within the building footprint.

Recommended Action:

Staff recommends the approval of the tree removal permit to allow for the removal of two 18" trees within the pad site of the single-family residence.

Attachments:

Tree Removal Permit Application

Tree Survey



TREE REMOVAL PERMIT APPLICATION

Based on Town of Cross Roads Ordinance # 2005-0613-05

Date: 4-6-2021

Name: KERRY AINSWORTH
(Applicant)

Property Owner: MIKE KOENIG
(If Different)

Property Address: 6755 Mountain Lake Pkwy

Phone: 214-329-6750 email: kainsworth@crossroads2005@gmail.com

REASON FOR PERMIT REQUEST

A Tree Preservation and Protection permit is required for the following:

- ☒ Tree 18 inches or greater DBH (diameter at breast height/ 4 ½ foot height).
- ☒ Undeveloped residential development property or lots prior to any clearing of trees over 6" in DBH. Tree preservation plan must be submitted prior to clearing any trees larger than 6" DBH.
- ☐ Agricultural/Residential property greater than 3 acres in size – permit required for removing trees 6" or greater DBH including dead trees.
- ☐ Commercial development **PRIOR** to any clearing or removal of trees or other action that could impact the trees.
- ☐ Dead trees over 6" DBH (diameter at breast height/4 ½ foot height). Describe below
- ☐ No trees on the property

Description of Action: REMOVE 17 TREES OFF 1 ACRE LOT THAT ARE IN
FOOT PRINT OF NEW HOME CONSTRUCTION AND WITHIN 10' OF FOUNDATION
AND DRIVEWAY 48 TOTAL TREES ON 1 ACRE LOT 31 TREES TO REMAIN
ALL TREES ARE OAK TREES

(Please attach an additional sheet if more space needed)

DOCUMENTATION ATTACHED

- ☐ Photos
- ☐ Tree Preservation Plan
- ☒ Tree Location
- ☐ Map
- ☐ Signed Affidavit
- ☐ Other TREE SURVEY - TREE

OFFICE USE ONLY

Rec'd by: _____ Date _____ Time _____ ☐ Approved ☐ Denied

Signature: _____

Date: _____

Reason: _____

6755 Mountain Lake Parkway

Being Lot 6, Block A, Phase 1, Stone Mountain Estates, an Addition to the Town of Cross Roads, Denton County, Texas, according to the Plat thereof recorded in Cabinet X, Page 987, Map Records, Denton County, Texas.

THE FOLLOWING TREES ARE WITHIN THE 10' FOOTPRINT OF THE HOUSE 4, 5, 6, 7, 8, 36, 37, 38, 39, 40, 41, 42, 43, 45, 46, 47 & 48

BUILDER TO VERIFY LIST, CBG IS NOT RESPONSIBLE FOR THE REMOVAL OF TREES WE ARE SHOWING THE TREES ON THE LOT AND THE TREES THAT SIT INSIDE OF A PROPOSED RESIDENCE.

SURVEYOR'S CERTIFICATE

The undersigned Registered Professional Land Surveyor (Bryan Connally) hereby certifies to Daltex Builders Group LLC., that, (a) this survey and the property description set forth hereon were prepared from an actual on-the-ground survey; (b) such survey was conducted by the Surveyor, or under his direction; (c) all monuments shown hereon actually existed on the date of the survey, and the location, size and type of material thereof are correctly shown; Use of this survey by any other parties and/or for other purposes shall be at User's own risk and any loss resulting from other use shall not be the responsibility of the undersigned. The plat hereon is a correct and accurate representation of the property lines and dimensions as indicated; location and type of buildings are as shown; and EXCEPT AS SHOWN, all improvements are located within the boundaries the distances indicated and there are no visible and apparent encroachments or protrusions on the ground.

Executed this 4th day of March, 2021

Bryan Connally

Bryan Connally
Registered Professional Land Surveyor No. 5513



NOTE: According to the F.I.R.M. in Map No. 48121C0385G, this property does lie in Zone X and does not lie within the 100 year flood zone.

ACCEPTED BY: _____ SIGNATURE _____ DATE _____ SIGNATURE _____ DATE _____

NOTE: This survey is made in conjunction with the information provided by the client. CBG Surveying Texas, LLC has not researched the land title records for the existence of easements, restrictive covenants or other encumbrances.

NOTE: 1/2" YELLOW CAPS FOUND ARE STAMPED METROPLEX 1849

NOTES:
BEARINGS, EASEMENTS AND BUILDING LINES ARE BY RECORDED PLAT UNLESS OTHERWISE NOTED.

REVISIONS		
DATE	BY	NOTES

LEGEND	
CM CONTROLLING MONUMENT	PE - POOL EQUIPMENT
1/2" IRON ROD FOUND	COLUMN
1/2" IRON ROD SET	AC - AIR CONDITIONING
1" IRON PIPE FOUND	FIRE HYDRANT
FENCE POST CORNER	PIPE FENCE
"X" FOUND / SET	COVERED PORCH, DECK OR CARPORT
5/8" ROD FOUND	OVERHEAD ELECTRIC SERVICE
UNDERGROUND ELECTRIC	OVERHEAD POWER LINE
OVERHEAD ELECTRIC	CONCRETE PAVING
POWER POLE	DOUBLE SIDED WOOD FENCE
POINT FOR CORNER	
GRAVEL/ROCK ROAD OR DRIVE	

		12025 Shiloh Road, Ste. 240 Dallas, TX 75228 P 214.349.8485 F 214.349.2216 Firm No. 10168800 www.cbgtxllc.com		
SCALE	DATE	JOB NO.	G.F. NO.	DRAWN
1" = 30'	03/04/2021	2103050	--	OR/EAN

TREE SURVEY	
LOT 6, BLOCK A, PHASE 1, STONE MOUNTAIN ESTATES	
CROSS ROADS, DENTON COUNTY, TEXAS	
6755 MOUNTAIN LAKE PARKWAY	



COUNCIL AGENDA BRIEFING SHEET

Meeting Date:
May 17, 2021

Agenda Item:
Consider a resolution appointing individuals to the Planning and Zoning Commission.

Prepared by:
Kristi Gilbert, Interim Town Administrator

Description:
On March 19th, Chairperson John Lynn resigned from the Planning and Zoning Commission after many years of service to the town. This creates one vacancy on the Planning and Zoning Commission. Currently, the Commission has two alternates, Eddie Army and Sylvia Phillips. Mr. Army has expressed an interest in being appointed as a full member, while Ms. Phillips has expressed that she does not want to be appointed as a full member. If the Council chooses to appoint Mr. Army as a full member, there will be a vacancy of an alternate position created. Mr. Gary Daniels and Ms. Blanche Dillon have also expressed an interest in serving on the Commission.

Recommended Action:
Staff recommends approval of a resolution making appointments to the Planning and Zoning Commission.

Attachments:
Resolution
Resignation Letter
Applications (Under separate cover)

RESOLUTION 2021-0517-__

**A RESOLUTION OF THE TOWN COUNCIL OF THE TOWN OF CROSS ROADS,
TEXAS APPOINTING MEMBERS TO SERVE ON THE PLANNING AND ZONING
COMMISSION.**

WHEREAS, pursuant to Chapter 14 of the Town of Cross Roads Code of Ordinances, the Planning & Zoning Commission was created for the town; and

WHEREAS, the Commission is charged with the task of creating ordinances for the town, and any other duties or authority conferred on it by the town council or otherwise granted by state law; and

WHEREAS, on MARCH 19, 2021 a vacancy was created on the Planning and Zoning Commission through the resignation of John Lynn; and

WHEREAS, the Town Council of the Town of Cross Roads has determined it is in the best interest of the public to appoint an individual to fill the remainder of John Lynn's term.

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE TOWN OF
CROSS ROADS, TEXAS:**

SECTION 1. The following appointments are made to the Cross Roads Planning and Zoning Commission:

_____, Commission Member

_____, Alternate Member (if necessary)

SECTION 2. This Resolution shall take effect upon its passage and approval.

DULY RESOLVED AND ADOPTED by the Town Council of the Town of Cross Roads, Texas, on this the 17th day of May, 2021.

TOWN OF CROSS ROADS, TEXAS

T. Lynn Tompkins, Jr., Mayor

ATTEST:

Donna Butler, Town Secretary

APPROVED AS TO FORM:

David Berman, Town Attorney

From: John Lynn III john.lynn3@gmail.com
Subject: Resignation from P&Z
Date: March 19, 2021 at 2:00 PM
To: d.butler@crossroadstx.gov
Cc: Kristi Gilbert k.gilbert@crossroadstx.gov, Mayor Tompkins l.tompkins@crossroadstx.gov



Good afternoon Donna, Kristi and Mayor Tompkins-

It is certainly with mixed emotions that I am stepping down from the P&Z commission. I have found that I cannot devote sufficient time to commission activities with my current schedule to ensure I do the job in the manner that our town's residents deserve. I have been proud of my years of service to our town and some of our accomplishments along the way. Hopefully I will get the opportunity to sit on the other side of the table and provide some input to the commission and council. Best wishes to all and for Cross Roads, Sincerely,

John R. Lynn III

Sent from my iPad



COUNCIL AGENDA BRIEFING SHEET

Meeting Date:

May 17, 2021

Agenda Item:

Discuss and consider action on a resolution relating to the Town of Cross Roads appointed representatives to the Northeast Police Department Commission, including the possibility of replacing current appointed members.

Requested by:

Mayor T. Lynn Tompkins, Jr.

Prepared by:

Kristi Gilbert, Interim Town Administrator

Description:

Mayor Tompkins requested this item be added for Council consideration. Attached for your reference is the current Northeast Police Department (NEPD) contract set to expire September 30, 2021, that outlines the appointment process for NEPD Commission Members in Section 6.

Fiscal Impact:

None

Recommended Action:

Staff is seeking Council direction.

Attachments:

Northeast Police Department Interlocal Agreement
Proposed Resolution

NORTHEAST POLICE DEPARTMENT AGREEMENT

THE STATE OF TEXAS)
) **KNOW ALL MEN BY THESE PRESENTS:**
COUNTY OF DENTON)

THIS AGREEMENT ("Agreement") is entered into by and between the CITY OF KRUGERVILLE, TEXAS ("KRUGERVILLE"), a Type A general-law municipality, and the TOWN OF CROSS ROADS, TEXAS ("CROSS ROADS"), a Type A general-law municipality, both of which municipalities are hereinafter sometimes referred to as "contracting municipalities."

WHEREAS, KRUGERVILLE has for a number of years operated a police department, commonly known as the Krugerville Police Department, for the enforcement of law, preservation of the peace, and police protection for the benefit of KRUGERVILLE; and

WHEREAS, CROSS ROADS has not had law enforcement, preservation of the peace, and police protection for its city through a police department; and

WHEREAS, KRUGERVILLE and CROSS ROADS now wish to establish a common municipal police department; and

WHEREAS, pursuant to the authority of the Interlocal Cooperation Act, Chapter 791, Texas Government Code, as amended, the contracting municipalities desire to create and establish a jointly owned and operated municipal police department, to be known as the "NORTHEAST POLICE DEPARTMENT"; and

WHEREAS, to supervise and administer the provisions of this Agreement and the affairs of such NORTHEAST POLICE DEPARTMENT (sometimes referred to in this Agreement as the "Department"), it is the desire of the contracting municipalities to create a Board of Commissioners of the NORTHEAST POLICE DEPARTMENT, hereinafter sometimes referred to as the "Board of Commissioners"; and

WHEREAS, the contracting municipalities intend and do hereby agree that the NORTHEAST POLICE DEPARTMENT and the Board of Commissioners, as the successor to the existing Krugerville Police Department, shall continue to enjoy the privileges and immunities of a municipal police department under the laws of the State of Texas and the United States; and

WHEREAS, KRUGERVILLE and CROSS ROADS wish to contract with each other to create the NORTHEAST POLICE DEPARTMENT to furnish such police services subject to the supervision and administration of the Board of Commissioners, as well as contracting by separate interlocal agreement to create a combined municipal court; and

NOW, THEREFORE, in consideration of the foregoing and of the mutual benefits to be derived hereunder, KRUGERVILLE and CROSSROADS do hereby AGREE, COVENANT and BIND themselves as follows:

1. Amended Agreement. This Agreement supersedes and replaces in its entirety the Northeast Police Department Agreements approved by KRUGERVILLE and CROSSROADS on August 27, 2013, September 24, 2014, September 19, 2016, and May 21, 2018.

2. Term: The initial term of this Agreement shall be from January 24, 2020, at 12:01 a.m., and until September 30, 2022, at 12:00 midnight, and shall be automatically renewed for additional periods of four years each, such renewal terms to commence on October 1 of the appropriate year and continue until September 30 of the next following year, unless written notice of termination or dissolution is received from one or more of the parties at least six (6) months prior to the expiration date of this Agreement or of any renewal term.

3. Police Services: The NORTHEAST POLICE DEPARTMENT shall provide law enforcement personnel, each of whom shall be commissioned as a peace officer by each of the contracting municipalities, for the preservation of the peace in the contracting municipalities.

4. Immunity From Liability: It is understood that the governmental immunity from liability to which a municipality or its police department is entitled under the law is extended to and includes the NORTHEAST POLICE DEPARTMENT, its Board of Commissioners, and the contracting municipalities.

5. Northeast Police Department: KRUGERVILLE and CROSSROADS, being the contracting municipalities, do hereby create, pursuant to the Interlocal Cooperation Act, Chapter 791, Texas Government Code, as amended, the NORTHEAST POLICE DEPARTMENT, which shall be jointly owned and operated by the contracting municipalities, for the furnishing of police services to the contracting municipalities.

6. Board of Commissioners: The affairs of the NORTHEAST POLICE DEPARTMENT shall be administered by a six (6) member Board of Commissioners, to serve without pay, of which one member shall serve as the Commission Chair who shall only be authorized to vote in the event of a tie vote of the Board of Commissioners. The Board of Commissioners shall consist of two (2) commissioners from KRUGERVILLE and Four (4) commissioners from CROSS ROADS. The commissioners representing each of the contracting municipalities on the Board of Commissioners shall be named thereto as the representative of that contracting municipality by formal resolution of the governing body of each contracting municipality.

Commissioners so named by any contracting municipality may be changed at will by formal resolution of the governing body of that contracting municipality. In the event there is such a change of commissioner by a contracting municipality, the contracting municipality making such a change shall immediately give notice as provided herein by furnishing a copy of the resolution of change to the other contracting municipality. The Board of Commissioners is empowered specifically to:

- (a) Draft a constitution, by-laws, and procedures for the orderly execution of its duties; provided, however, such constitution and by-laws shall not become

effective until they have been approved by the governing body of both of the contracting municipalities.

- (b) Prepare and submit annual budgets on a calendar year basis to the contracting municipalities by July 31 of each year.
- (c) Prescribe a table of organization and provide or assist in the provision of the police services described herein as may be deemed necessary by the Board of Commissioners.
- (d) Determine the policies for the Chief of Police in the use of the police resources and services described.
- (e) Purchase, receive, lease or otherwise acquire, use, and otherwise deal in and with any personal property necessary to the performance of the police services described herein.
- (f) Keep and maintain an account with financial institutions in which the income of the Department may be deposited and its expenses, bills and costs paid.
- (g) Maintain its accounting records in accordance with the generally accepted accounting principles. The records shall be kept at the Town of Cross Roads. Such records shall be available at all reasonable times for inspection by a representative duly authorized by the governing body of both of the contracting municipalities.
- (h) To the extent permitted by law, enter into such contracts, within the limits of the applicable approved budget, and exercise all powers necessary or appropriate to effectuate any or all of the purposes and powers described above, but shall not incur any indebtedness beyond that which may be satisfied from its budget for the fiscal year in which the indebtedness is incurred, and may not, without written resolution or ordinance adopted by the governing body of each contracting municipality, incur any obligation that may be binding on either municipality.
- (i) To employ, assign, reassign, promote, demote, discipline and discharge any and all officers and employees of the NORTHEAST POLICE DEPARTMENT, all of whom shall serve and hold their offices of employment at the pleasure of the Board of Commissioners. It is specifically provided, however, that said Board of Commissioners may by resolution duly adopted delegate to the Chief of Police of the NORTHEAST POLICE DEPARTMENT any or all of the following authority: to employ, assign, reassign, promote, or demote all or specified personnel within the Department, to discipline any officer or employee of the Department by

suspension from duty without pay, to adopt, administer and enforce general and operational orders, and to manage the daily affairs of the Department.

(j) To establish a police reserve force subject to the following conditions and limitations:

- 1) members of the police reserve force ("Reserve Officers") shall be appointed by, and serve at the discretion of, the Chief of Police;
- 2) appointments of Reserve Officers shall not be effective unless and until approved by the Board of Commissioners;
- 3) Reserve Officers may act only in a supplementary capacity to the regular police force and may not assume the full-time duties of regular police officers without first complying with all requirements applicable to the qualification and appointment of regular police officers;
- 4) the number of Reserve Officers shall not exceed the number of regular police officers employed by the Department;
- 5) Reserve officers may carry weapons and act as peace officers only after their appointment has been approved by the Board of Commissioners and only during such time as they are called into service by the Chief of Police;
- 6) the Chief of Police may call the Reserve force into service at any time the Chief considers it necessary to have additional officers to preserve the peace and enforce the laws; and
- 7) Reserve Officers shall be required to meet all applicable requirements of the Texas Commission on Law Enforcement Standards and Education.
- 8) The Board of Commissioners may establish such rules and policies concerning Reserve Officers as it deems appropriate provided that such rules and policies are consistent with state law and the terms of this Agreement.

(k) To the extent permitted by law, to lease, on behalf of the Northeast Police Department, real property necessary for the performance of the police services described herein.

The Board of Commissioners shall hold at least four meetings a year. A majority of the regular voting members of the Board of Commissioners (*i.e.*, three Commissioners) shall constitute a quorum for the transaction of business. Any action of the Board of Commissioners must be approved by the favorable vote of a majority of its members.

7. Chair and Vice Chair of the Board of Commissioners: A member of the Board of Commissioners shall be designated as Chair. The Chair shall call and preside at all meetings of the Board of Commissioners but shall not be a voting member except in the event of a tie vote of the Board of Commissioners. The Vice Chair will serve as a voting member of the Commission. If the Chair is absent or position is vacant, then the Vice Chair will serve as Chair.

8. Cross Roads Responsibilities

CROSS ROADS shall be responsible for the following:

- (a) Collect the funds paid by each contracting municipality for the provision of police services as contracted for herein and pursuant to the formula for payment set forth herein.
- (b) Disburse the collected funds for the purposes and to the extent authorized in the budget approved by the contracting cities to procure and provide those items and services contemplated by this Agreement. Any intra-budget transfer of funds in excess of 5% of the respective annual budget must first be approved by the governing body of both the contracting cities. Although only Commission approval is required to utilize and incorporate prior year unexpended capitol reserve funds into the budget throughout the year as Councils have already authorized its use.
- (c) Prepare quarterly statements of accounts, income, and expense paid during said quarter and cumulatively during the current calendar year on an accrual basis. Copies of such statements are to be delivered to each of the contracting municipalities quarterly.
- (d) Contract an independent auditor to conduct an annual audit of NORTHEAST POLICE DEPARTMENT'S financial accounting within 90 days after the close of the fiscal year.

9. Krugerville Responsibilities

KRUGERVILLE shall be responsible for the following:

- (a) Prepare quarterly statements of payroll, income, and expense paid during said month and cumulatively during the current calendar year on an accrual basis. Copies of such statements are to be delivered to each of the contracting municipalities quarterly.

- (b) May keep and maintain all existing personnel of the Department as employees of KRUGERVILLE for TMRS reporting only at the direction of the Commission. All personnel and benefits shall be subject to the control and supervision of the Commissioners. Future employees will be carried as an employee by either municipality as determined by the Commission at the time of hire for TMRS purposes. Current employees may request municipality transfer to either city, with approval by both Commission and receiving municipality, for TMRS purposes.
- (c) Krugerville will keep TMRS benefits to 7% with a 2 to 1 match rate.
- (d) Contract an independent auditor to conduct an annual audit of NORTHEAST MUNICIPAL COURTS financial accounting to be completed within 90 days after the close of the fiscal year.

10. Funding: KRUGERVILLE agrees to provide 30% (percent) per fiscal year and CROSS ROADS agrees to provide 70% (percent) per fiscal year towards funding of the budget as approved by the contracting municipalities for the NORTHEAST POLICE DEPARTMENT. The amount due by each contracting municipality shall be paid in twelve (12) equal monthly installments beginning on the October 1st and continuing thereafter on the first day of each succeeding month.

Although it is contemplated that the needs of the contracting municipalities for police services and court services will be relatively equal, the Board of Commissioners shall proceed to devise a reasonable formula to determine usage of police and court services by both contracting municipalities. The formula shall be submitted to the contracting municipalities for their approval. After this Agreement has been in force for two years, so as to eliminate any abnormal demand of any particular contracting municipality caused by isolated incidents, the Board of Commissioners shall by August 1 of each year apply the formula to determine the average use of police services by each contracting municipality during the previous two-year period.

Each contracting municipality's share of such cost, thereafter, shall be upon a use basis, as determined from year-to-year to be paid by each contracting municipality as provided herein, and each contracting municipality's new or revised percentage shall be determined for the ensuing year prior to August 1 of each year, and the new or revised percentage shall become effective on the following October 1.

In the event that funding for the Department in any fiscal year is inadequate, any operating losses, deficits or capital or financial needs of the Department shall be provided by the contracting municipalities based on the formula set forth in the foregoing paragraph or, if no formula has been established, then on a 70/30 percent split, whereby CROSS ROADS shall be responsible for 70% (percent) of the expense and KRUGERVILLE shall be responsible for 30% (percent) of the expense.

In the event that proceeds derived by the operations of the Department exceed the funding provided for herein, then the excess shall be distributed to each municipality based on the formula set forth in the foregoing paragraph or, if no formula has been established, then on a 70/30 percent split, whereby CROSS ROADS shall receive 70% (percent) of the excess and KRUGERVILLE shall receive 30% (percent) of the excess.

All books and records of the Department shall be open and available for inspection, review and/or audit by either contracting municipality, at that municipality's expense.

10a. Additional Police Services. Notwithstanding any other provision of this Agreement, should a contracting city desire additional police services over and above that provided on a substantially equal basis to all contracting cities under the terms of this Agreement, such contracting city shall make a request in writing to the other contracting city for such additional police services. Such request shall specify the number of police officers desired for additional service and the period of time for which such additional service is desired.

If the governing bodies of both contracting cities agree in writing to such request and to the extent, time, and manner in which the requesting city shall pay for such additional services, such written agreement shall be forwarded to the Board of Commissioners and shall constitute authorization and requirement for said Board to fulfill such request, in accordance with the terms and conditions of such written agreement, at the earliest possible time.

11. Ownership: To the extent permitted by law, the NORTHEAST POLICE DEPARTMENT shall hold title to all equipment and vehicles acquired and used by it and shall be permitted to enter into any and all lease agreements in the capacity of tenant or landlord thereunder. Such property shall be held or leased, as applicable, in trust for the contracting municipalities.

12. Notice: Any notice required to be given by terms of this Agreement shall be given by registered or certified mail, return receipt requested, to the contracting municipalities at the following mailing addresses:

City of Krugerville
5097 Highway 377
Krugerville, Texas 76227

Town of Cross Roads
1401 FM 424
Cross Roads, Texas 76227

Notice also may be given by actual delivery of notice to the office of the contracting municipality during normal business hours on Monday through Friday, except on national holidays. Notice of a change of address shall be given in like manner.

13. Service of Process: Upon receipt of service of process naming it, the NORTHEAST POLICE DEPARTMENT, as the police department for the contracting municipalities, the Board of Commissioners shall cause a complete copy of such process to be delivered promptly to both of the contracting municipalities.

14. Citations Not Accepted: The Board of Commissioners of the NORTHEAST POLICE DEPARTMENT is not authorized to and shall not accept service of citation or other process for the contracting municipalities upon matters which are the subject of this Agreement.

15. Insurance: For the protection of the officers and employees of the NORTHEAST POLICE DEPARTMENT, the Board of Commissioners and employees thereof, the contracting municipalities, their respective mayors, councilmembers, officers, and employees thereof, the Board of Commissioners shall acquire and maintain in force the following insurance protection, with NORTH EAST POLICE DEPARTMENT being responsible for paying and maintaining insurance coverage.

- (a) Fidelity and surety insurance covering theft, embezzlement, or other wrongful or fraudulent taking, pledging, appropriation or use of any funds or property of the NORTHEAST POLICE DEPARTMENT.
- (b) Comprehensive liability insurance coverage on all such personnel in the amount of \$1,000,000.00 aggregate /\$1,000,000.00 per occurrence, each contracting municipality shall also be named on the face of the policy as an "insured."
- (c) Public liability insurance coverage on all vehicles, each contracting municipality being named on the face of the policy as an "insured," such policy to afford bodily injury coverage of \$100,000 for one person, \$300,000 for more than one person, property damage coverage of \$50,000, \$100 deductible comprehensive coverage for actual value, \$1,000 deductible collision coverage on all emergency vehicles and \$500 deductible collision coverage on all non-emergency vehicles.

16. Control of Personnel and Equipment: All police personnel are under the direction, control and supervision of the NORTHEAST POLICE DEPARTMENT. All vehicles and equipment owned and/or operated by the NORTHEAST POLICE DEPARTMENT, pursuant to this Agreement, shall be used only for official police business.

17. First Right of Refusal: In the event the commission proposes to sell real property located at 100 Kruger Rd. Krugerville, TX 76227, KRUGERVILLE shall have the first right of refusal to purchase said property. KRUGERVILLE shall have 90 days to meet the terms of the agreement and pay any consideration required thereunder.

18. Termination (Non-Renewal by One Contracting Municipality): Notice of termination or non-renewal of this Agreement by one contracting municipality must be delivered by March 30, to be effective on September 30 of that year. Upon timely receipt of notice of termination or non-renewal from a contracting municipality, the following procedures will control:

- (a) At the time of termination, the assets of the NORTHEAST POLICE DEPARTMENT, less outstanding liabilities shall be distributed in kind and in shares equal to the 70/30 percent proportion whereby 70% (percent) of the assets shall be distributed to Cross Roads and 30% (percent) to Krugerville. If the assets are not susceptible to division in kind, the assets shall be distributed on the basis of their market value and, if necessary, the distribution shall be made by drawing of lots.
- (b) Notwithstanding any provisions of this paragraph 18, the contracting municipalities may mutually agree to any other suitable withdrawal or termination procedure.

19. Damages for Breach: Maintaining uninterrupted police service in each contracting municipality is of paramount importance. Therefore, each contracting municipality agrees that the terms of this Agreement will be deemed to be breached by a contracting municipality (1) upon a contracting municipality's failure to timely remit (within 30 days) its respective share of the budgeted funds as provided herein, or (2) upon the withdrawal of any contracting municipality from the Agreement not in accordance with the terms hereof.

20. Nepotism. No person having a family relationship with a member of the governing body of either of the contracting municipalities (KRUGERVILLE and CROSS ROADS), a member or alternate member (commissioner or alternate commissioner) of the Board of Commissioners of the NORTHEAST POLICE DEPARTMENT, or the Chief of Police of said Department shall be employed by or continue to be employed by the NORTHEAST POLICE DEPARTMENT in any capacity. The term "family relationship" means relationship within the third degree by consanguinity or the second degree by affinity.

The foregoing prohibitions shall not apply to any person who shall have been or who has been continuously employed in his or her position in the NORTHEAST POLICE DEPARTMENT for a period of at least one year prior to the election, appointment, or employment of the official (member of any of such governing bodies, member or alternate member of such Board of Commissioners, or Chief of Police) related to such employee within the prohibited degree.

Any person presently employed by the NORTHEAST POLICE DEPARTMENT who has a family relationship with another person who presently holds any of the offices or positions heretofore identified and described, and who does not fall within the exception described in the preceding paragraph, shall cease to be eligible for employment by the NORTHEAST POLICE DEPARTMENT and shall be removed from such employment with such Department as of October 1, 2013, the effective date of this provision regarding nepotism.

EXECUTED in multiple originals on the latest date shown below.

ATTEST:

Sandy Frantz
Sandy Frantz, City Secretary

CITY OF KRUGERVILLE

Jeff Parrent
Jeff Parrent, Mayor
Date: 10/19/2020



ATTEST:

Donna Butler
Donna Butler - City Secretary

TOWN OF CROSSROADS

Bob Gorton
Bob Gorton, Mayor
Date: 10/19/2020

**TOWN OF CROSS ROADS
RESOLUTION NO. 2021-0517-**

**A RESOLUTION OF THE TOWN OF CROSS ROADS, TEXAS, APPOINTING
THREE NEW COMMISSIONERS TO THE BOARD OF COMMISSIONERS OF
THE NORTHEAST POLICE DEPARTMENT; AND PROVIDING AN
EFFECTIVE DATE.**

WHEREAS, on August 19, 2013, the Town of Cross Roads, Texas ("Cross Roads"), entered into the Northeast Police Department Agreement ("Agreement") with the Town of Krugerville, Texas ("Krugerville"), creating the Northeast Police Department ("Department"), which Department has jurisdiction over police matters in both Krugerville and Cross Roads; and

WHEREAS, the Agreement, as amended, provides that the Department will be governed by a six (6) member Board of Commissioners ("Board"), and that each Town may appoint certain members to serve on the Board; and

WHEREAS, the Town of Cross Roads desires to designate the persons named herein to serve as members of the Board immediately upon adoption of this Resolution.

**NOW, THEREFORE, BE IT RESOLVED BY THE TOWN COUNCIL OF THE
TOWN OF CROSS ROADS, TEXAS:**

Section 1. The above and foregoing premises are true and correct legislative findings and they are incorporated herein and made a part hereof for all purposes.

Section 2: The following individuals be and are hereby appointed as Commissioners to the Board of Commissioners of the Northeast Police Department, to preside in the places of _____, _____, _____, who are hereby removed:

Commissioner _____
Commissioner _____
Commissioner _____
Commissioner _____

Section 3. That this resolution, and the removal and appointment herein, shall take effective immediately from and after the date of its passage.

DULY PASSED by the Town Council of the Town of Cross Roads, Texas, on **the ____ day of May, 2021.**

TOWN OF CROSS ROADS, TEXAS

T. Lynn Tompkins, Jr., Mayor

ATTEST:

Donna Butler, Town Secretary

APPROVED AS TO FORM:

David Berman, Town Attorney



COUNCIL AGENDA BRIEFING SHEET

Meeting Date:

May 17, 2021

Agenda Item:

Discuss and consider approval of a resolution establishing a regular meeting schedule for 2021.

Prepared by:

Kristi Gilbert, Interim Town Administrator

Description:

Section 22.038(a) of the Texas Local Government Code states “the governing body of the municipality shall meet at the time and place determined by a resolution adopted by the governing body.” Some of the upcoming meetings are scheduled for holidays. The attached resolution will establish the regular meetings for the remainder of 2021 and will allow staff to update the development submission schedule appropriately.

Recommended Action:

Staff recommends approval.

Attachments:

Proposed Resolution

RESOLUTION NO. 2021-__

**A RESOLUTION OF THE TOWN COUNCIL OF THE TOWN OF CROSS
ROADS, TEXAS SCHEDULING ADDITIONAL REGULAR TOWN
COUNCIL MEETINGS FOR THE REMAINDER OF THE 2021
CALENDAR YEAR AND PROVIDING AN EFFECTIVE DATE.**

WHEREAS, Section 22.038(a) of the Texas Local Government Code provides that the governing body of the municipality shall meet at the time and place as determined by a resolution adopted by the governing body.

NOW, THEREFORE, BE IT RESOLVED BY THE TOWN COUNCIL OF THE TOWN OF ARGYLE, TEXAS:

SECTION 1.

That the Town Council will conduct regular meetings at 7:00 p.m. at Cross Roads Town Hall located at 1404 FM 424, Cross Roads, Texas on the following dates:

1. Monday, June 7, 2021
2. Monday, June 23, 2021
3. Tuesday, July 5, 2021 – Moved due to July 4th holiday
4. Monday, July 19, 2021
5. Monday, August 7, 2021
6. Monday, August 16, 2021
7. Tuesday, September 7, 2021 – Moved due to Labor Day holiday
8. Monday, September 20, 2021
9. Monday, October 4, 2021
10. Monday, October 18, 2021
11. Monday, November 1, 2021
12. Monday, November 15, 2021
13. Monday, December 6, 2021
14. Monday, December 20, 2021

SECTION 2.

That this Resolution shall take effect immediately from and after its adoption and it is so resolved.

PASSED AND APPROVED by the Town Council of the Town of Cross Roads, Texas, on this _____ day of _____, 2021.

APPROVED:

T. Lynn Thompkins, Jr., Mayor

ATTEST:

Donna Butler, Town Secretary

APPROVED AS TO FORM:

David M. Berman, Town Attorney

TOWN OF CROSS ROADS
Budget vs. Actuals: FY21 Budget - FY21 P&L
October 2020 - April 2021

	Total			
	Actual	Budget	over Budget	% of Budget
Income				
1000 Sales Tax Collections	1,521,817.18	1,175,000.00	346,817.18	129.52%
1004 Beverage Tax Collections	13,358.06	12,250.00	1,108.06	109.05%
1006 Franchise Tax-Telecom	2,852.37	7,550.00	-4,697.63	37.78%
1008 Franchise Tax- Waste	17,068.43	18,000.00	-931.57	94.82%
1010 Franchise Tax-Electric/Gas	97,031.48	106,500.00	-9,468.52	91.11%
1018 Franchise Tax- Mustang SUD	9,823.83	7,500.00	2,323.83	130.98%
2000 Development/Platting Permit Fees	8,240.25	3,500.00	4,740.25	235.44%
2002 Residential/Commercial Building Permits and Inspections	245,000.05	100,000.00	145,000.05	245.00%
2004 Septic Permits and Fees	3,450.00	1,750.00	1,700.00	197.14%
2006 Health Inspection and Fees	10,385.00	4,500.00	5,885.00	230.78%
2008 Signs Permit and Fees	2,030.00	1,175.00	855.00	172.77%
3000 Administrative Fees	1,310.00	1,458.00	-148.00	89.85%
3001 Un-Permitted Tree Kill Fine	1,232.00		1,232.00	
Total 3000 Administrative Fees	\$ 2,542.00	\$ 1,458.00	\$ 1,084.00	174.35%
3004 MDD Contribution	180,000.00	180,000.00	0.00	100.00%
3006 Interest Income	5,020.12	3,850.00	1,170.12	130.39%
3009 NEMC Personnel Reimbursement	58,910.57	60,576.92	-1,666.35	97.25%
3011 NEPD Personnel Reimbursement	6,750.00	10,125.00	-3,375.00	66.67%
3014 Credit Card Processing Fee	788.61	583.35	205.26	135.19%
Total Income	\$ 2,185,067.95	\$ 1,694,318.27	\$ 490,749.68	128.96%
Gross Profit	\$ 2,185,067.95	\$ 1,694,318.27	\$ 490,749.68	128.96%
Expenses				
6001 Accounting and Auditing Fees		4,500.00	-4,500.00	0.00%
6002 Advertising and Promotion	262.63	583.35	-320.72	45.02%
6004 Software	19,259.21	14,583.35	4,675.86	132.06%
6006 Codification Services	1,824.00	583.35	1,240.65	312.68%
6008 Election Costs	8,371.30	4,000.00	4,371.30	209.28%
6010 TML Insurance	6,842.26	7,500.00	-657.74	91.23%
6012 Legal Fees	24,392.85	7,000.00	17,392.85	348.47%
6014 Office Expenses	5,614.25	5,833.35	-219.10	96.24%
6016 Public Notices/Dues	411.75	583.35	-171.60	70.58%
6018 Repair and Maintenance	8,405.83	13,200.00	-4,794.17	63.68%
6020 Vehicles Maintenance	1,327.75	1,100.00	227.75	120.70%
6022 Training	1,085.75	2,917.50	-1,831.75	37.22%
6024 Utilities	9,323.56	11,083.35	-1,759.79	84.12%
6028 Lovetts 380 Agreement		0.00	0.00	
6030 Paypal Charge	791.59	583.35	208.24	135.70%
7000 Police Department Services	573,209.00	573,209.00	0.00	100.00%
7002 Interlocal Ambulance	27,830.00	27,830.00	0.00	100.00%
7004 Interlocal Fire	318,750.00	318,750.00	0.00	100.00%

8000 A Park Maintenance	7,773.51	5,550.00	2,223.51	140.06%
8002 Park Events	3,216.24	5,000.00	-1,783.76	64.32%
8004 Park Improvement Fund	495.00	3,750.00	-3,255.00	13.20%
8006 Careflite Services	1,944.00	2,500.00	-556.00	77.76%
8007 Capital Additions	344.64	11,250.00	-10,905.36	3.06%
8008 City of Aubrey Library Fund	17,161.65	17,865.00	-703.35	96.06%
8500 Street Materials and Signs	1,899.05	4,700.00	-2,800.95	40.41%
8502 Street and Row Cleanup	15,035.00	23,400.00	-8,365.00	64.25%
8504 Street Contract/Repairs	283,518.56	343,500.00	-59,981.44	82.54%
9000 Engineering Services	28,516.13	45,000.00	-16,483.87	63.37%
9002 Res & Com Building Review & Insp.	4,512.00	6,750.00	-2,238.00	66.84%
9004 Other Professional Services	31,386.97	1,125.00	30,261.97	2789.95%
9006 Code Enforcement Services		1,500.00	-1,500.00	0.00%
9008 Sanitarian Services	2,100.00	2,500.00	-400.00	84.00%
9010 Animal Control	8,050.00	8,050.00	0.00	100.00%
9506 Employee Health Benefits	21,003.03	21,291.69	-288.66	98.64%
Payroll Expenses			0.00	
9502 Taxes	19,651.17	20,192.31	-541.14	97.32%
9504 Wages	247,476.95	239,423.09	8,053.86	103.36%
Company Contributions			0.00	
9500 Retirement	15,450.28	18,043.27	-2,592.99	85.63%
Total Company Contributions	\$ 15,450.28	\$ 18,043.27	-\$ 2,592.99	85.63%
Total Payroll Expenses	\$ 282,578.40	\$ 277,658.67	\$ 4,919.73	101.77%
Total Expenses	\$ 1,717,235.91	\$ 1,775,230.31	-\$ 57,994.40	96.73%
Net Operating Income	\$ 467,832.04	-\$ 80,912.04	\$ 548,744.08	-578.20%
Other Income				
3500 PASS THROUGH INCOME	0.00		0.00	
3550 Grant Revenues Cares Act	111,000.00		111,000.00	
Total Other Income	\$ 111,000.00	\$ 0.00	\$ 111,000.00	
Net Other Income	\$ 111,000.00	\$ 0.00	\$ 111,000.00	
Net Income	\$ 578,832.04	-\$ 80,912.04	\$ 659,744.08	-715.38%

Friday, May 07, 2021 12:44:42 PM GMT-7 - Cash Basis

TOWN OF CROSS ROADS
Budget vs. Actuals: FY21 Budget - FY21 P&L
October 2020 - April 2021

	Total			
	Actual	Budget	over Budget	% of Budget
Income				
1000 Sales Tax Collections	1,521,817.18	2,100,000.00	-578,182.82	72.47%
1004 Beverage Tax Collections	13,358.06	16,000.00	-2,641.94	83.49%
1006 Franchise Tax-Telecom	2,852.37	10,000.00	-7,147.63	28.52%
1008 Franchise Tax- Waste	17,068.43	24,000.00	-6,931.57	71.12%
1010 Franchise Tax-Electric/Gas	97,031.48	107,000.00	-9,968.52	90.68%
1018 Franchise Tax- Mustang SUD	9,823.83	12,000.00	-2,176.17	81.87%
2000 Development/Platting Permit Fees	8,240.25	6,000.00	2,240.25	137.34%
2002 Residential/Commercial Building Permits and Inspections	245,000.05	175,000.00	70,000.05	140.00%
2004 Septic Permits and Fees	3,450.00	3,000.00	450.00	115.00%
2006 Health Inspection and Fees	10,385.00	9,000.00	1,385.00	115.39%
2008 Signs Permit and Fees	2,030.00	2,000.00	30.00	101.50%
3000 Administrative Fees	1,310.00	2,500.00	-1,190.00	52.40%
3001 Un-Permitted Tree Kill Fine	1,232.00		1,232.00	
Total 3000 Administrative Fees	\$ 2,542.00	\$ 2,500.00	\$ 42.00	101.68%
3004 MDD Contribution	180,000.00	240,000.00	-60,000.00	75.00%
3006 Interest Income	5,020.12	7,000.00	-1,979.88	71.72%
3009 NEMC Personnel Reimbursement	58,910.57	105,000.00	-46,089.43	56.11%
3011 NEPD Personnel Reimbursement	6,750.00	13,500.00	-6,750.00	50.00%
3014 Credit Card Processing Fee	788.61	1,000.00	-211.39	78.86%
Total Income	\$ 2,185,067.95	\$ 2,833,000.00	-\$ 647,932.05	77.13%
Gross Profit	\$ 2,185,067.95	\$ 2,833,000.00	-\$ 647,932.05	77.13%
Expenses				
6001 Accounting and Auditing Fees		4,500.00	-4,500.00	0.00%
6002 Advertising and Promotion	262.63	1,000.00	-737.37	26.26%
6004 Software	19,259.21	25,000.00	-5,740.79	77.04%
6006 Codification Services	1,824.00	1,000.00	824.00	182.40%
6008 Election Costs	8,371.30	14,000.00	-5,628.70	59.80%
6010 TML Insurance	6,842.26	7,500.00	-657.74	91.23%
6012 Legal Fees	24,392.85	12,000.00	12,392.85	203.27%
6014 Office Expenses	5,614.25	10,000.00	-4,385.75	56.14%
6016 Public Notices/Dues	411.75	1,000.00	-588.25	41.18%
6018 Repair and Maintenance	8,405.83	20,000.00	-11,594.17	42.03%
6020 Vehicles Maintenance	1,327.75	2,000.00	-672.25	66.39%
6022 Training	1,085.75	5,000.00	-3,914.25	21.72%
6024 Utilities	9,323.56	19,000.00	-9,676.44	49.07%
6028 Lovetts 380 Agreement		85,451.00	-85,451.00	0.00%
6030 Paypal Charge	791.59	1,000.00	-208.41	79.16%
7000 Police Department Services	573,209.00	982,644.00	-409,435.00	58.33%
7002 Interlocal Ambulance	27,830.00	27,830.00	0.00	100.00%
7004 Interlocal Fire	318,750.00	425,000.00	-106,250.00	75.00%

8000 A Park Maintenance	7,773.51	10,000.00	-2,226.49	77.74%
8002 Park Events	3,216.24	5,000.00	-1,783.76	64.32%
8004 Park Improvement Fund	495.00	5,000.00	-4,505.00	9.90%
8006 Careflite Services	1,944.00	2,500.00	-556.00	77.76%
8007 Capital Additions	344.64	15,000.00	-14,655.36	2.30%
8008 City of Aubrey Library Fund	17,161.65	21,500.00	-4,338.35	79.82%
8500 Street Materials and Signs	1,899.05	8,000.00	-6,100.95	23.74%
8502 Street and Row Cleanup	15,035.00	40,000.00	-24,965.00	37.59%
8504 Street Contract/Repairs	283,518.56	458,000.00	-174,481.44	61.90%
9000 Engineering Services	28,516.13	75,000.00	-46,483.87	38.02%
9002 Res & Com Building Review & Insp.	4,512.00	9,000.00	-4,488.00	50.13%
9004 Other Professional Services	31,386.97	1,500.00	29,886.97	2092.46%
9006 Code Enforcement Services		2,000.00	-2,000.00	0.00%
9008 Sanitarian Services	2,100.00	5,000.00	-2,900.00	42.00%
9010 Animal Control	8,050.00	13,800.00	-5,750.00	58.33%
9506 Employee Health Benefits	21,003.03	36,500.00	-15,496.97	57.54%
Payroll Expenses			0.00	
9502 Taxes	19,651.17	35,000.00	-15,348.83	56.15%
9504 Wages	247,476.95	415,000.00	-167,523.05	59.63%
Company Contributions			0.00	
9500 Retirement	15,450.28	31,275.00	-15,824.72	49.40%
Total Company Contributions	\$ 15,450.28	\$ 31,275.00	-\$ 15,824.72	49.40%
Total Payroll Expenses	\$ 282,578.40	\$ 481,275.00	-\$ 198,696.60	58.71%
Total Expenses	\$ 1,717,235.91	\$ 2,833,000.00	-\$ 1,115,764.09	60.62%
Net Operating Income	\$ 467,832.04	\$ 0.00	\$ 467,832.04	
Other Income				
3500 PASS THROUGH INCOME	0.00		0.00	
3550 Grant Revenues Cares Act	111,000.00		111,000.00	
Total Other Income	\$ 111,000.00	\$ 0.00	\$ 111,000.00	
Net Other Income	\$ 111,000.00	\$ 0.00	\$ 111,000.00	
Net Income	\$ 578,832.04	\$ 0.00	\$ 578,832.04	

Friday, May 07, 2021 12:44:42 PM GMT-7 - Cash Basis

Bank Balances as of April 30, 2021

<u>Account</u>	<u>March Balance</u>	<u>April Balance</u>
NEPD	\$141,654.60	\$170,113.99
PID	\$101,337.44	\$102,030.90
General Fund	\$1,286,662.81	\$1,284,210.45
Public Safety Fund	\$683,081.45	\$683,356.55
Road Improvement	\$217,731.51	\$217,819.20
Cares Fund Act	\$6,599.70	\$5,827.29
MDD	\$395,435.84	\$350,572.15
NEPD Seizure	\$13,108.02	\$12,738.68
Legal Contingency	\$254,322.31	\$254,424.74
NEMC	\$350,626.39	\$388,099.63
PD Charitable Don.	\$1,262.19	\$1,262.70
TOTAL	\$3,451,822.26	\$3,470,456.28

TOWN OF CROSS ROADS

Check Detail

April 2021

DATE	TRANSACTION TYPE	NUM	NAME	MEMO/DESCRIPTION	CLR	AMOUNT
10100 CASH-OPERATING						
04/01/2021	Check	Transfer	Northeast Police Department	April 2021 Town of Cross Roads Contributions		-81,887.00
				April 2021 Town of Cross Roads Contributions		81,887.00
04/01/2021	Check	10191	Avenue Muniservices	INV06-011315 - SUTA TX - Q1, 2021		-337.13
				INV06-011315 - SUTA TX - Q1, 2021		-337.13
04/02/2021	Payroll Check	DD	Rodney D. Patterson	Pay Period: 03/20/2021-04/02/2021		-1,704.91
				Direct Deposit		-1,704.91
04/02/2021	Payroll Check	DD	Rebecca Ross	Pay Period: 03/20/2021-04/02/2021		-952.64
				Direct Deposit		-952.64
04/02/2021	Payroll Check	DD	Rebecca Ross	Pay Period: 03/20/2021-04/02/2021		-2,000.00
				Direct Deposit		-2,000.00
04/02/2021	Payroll Check	DD	Donna J. Butler	Pay Period: 03/20/2021-04/02/2021		-1,842.05
				Direct Deposit		-1,842.05
04/02/2021	Payroll Check	DD	Susan D. Zambrano	Pay Period: 03/20/2021-04/02/2021		-2,330.25
				Direct Deposit		-2,330.25
04/02/2021	Payroll Check	DD	Brenda Sanchez	Pay Period: 03/20/2021-04/02/2021		-1,633.63
				Direct Deposit		-1,633.63
04/02/2021	Payroll Check	DD	Brenda Sanchez	Pay Period: 03/20/2021-04/02/2021		-50.00
				Direct Deposit		-50.00
04/05/2021	Check	10192	iWorq Systems	Acct 1470/Community Dev. Pkg./ Data Pkg/Software Manag. May 2021 to October 2021		-1,250.00
				Acct 1470/Community Dev. Pkg./ Data Pkg/Software Manag. May 2021 to October 2021		1,250.00
04/05/2021	Check	10193	Denton	Invoice 0321635/Mar/Apr Full Page DMCM		-1,750.00

TOWN OF CROSS ROADS

Check Detail

April 2021

DATE	TRANSACTION TYPE	NUM	NAME	MEMO/DESCRIPTION	CLR	AMOUNT
			Record- Chronicle	Invoice 0321635/Mar/Apr Full Page DMCM		-1,750.00
04/05/2021	Check	10194	Mustang Special Utility District	002-0077400-001/ 002-0081400-002, City Hall and City Park		-59.03
				City Hall/002-0077400-001		30.79
				City Park/002-0081400-002		28.24
04/05/2021	Check	10195	CoServ	Acct: 9000272762-9000272767/Town of Cross Roads, Town Park, Walmart, Fishtrap, and Hwy 377 and Dr Griffin Road Lights		-204.86
				Acct: 9000272765/ 9000272766/ 9000272767 / Walmart, Fishtrap, and Hwy 377 and Dr Griffin Road Lights		62.51
				Acct: 9000272762/Town of Cross Roads Lights		113.38
				Acct: 9000272764/Town Park Lights		28.97
04/05/2021	Check	10196	Avenue Muniservices	INV06-011364 - STARS TX - Q4, 2020		-910.04
				INV06-011364 - STARS TX - Q4, 2020		910.04
04/05/2021	Check	10197	City of Aubrey	ILA Aubrey Fire FY21 3rd Qtr.		-
				ILA Aubrey Fire FY21 3rd Qtr.		106,250.00
				ILA Aubrey Fire FY21 3rd Qtr.		106,250.00
04/06/2021	Tax Payment		IRS	Tax Payment for Period: 04/01/2021-04/02/2021 Federal Tax Payment		-4,207.25
				Federal Taxes (941/944)		-4,207.25
04/06/2021	Check	10198	380Guide Magazine	Invoice 13952/ Full page ad in 380Guide Magazine for April/May 2021		-999.00
				Invoice 13952/ Full page ad in 380Guide Magazine for April/May 2021		-999.00
04/06/2021	Check	10199	380News	Invoice 465772/ Full Page as in April 380News		-899.00
				Invoice 465772/ Full Page as in April 380News		-899.00
04/06/2021	Check	10200	Ben Brown Electric, Inc	Invoice m308/Repair parking lot lights at Town Hall and Re- secure pavilion light fixture at the park		-589.64
				Invoice m308/Repair parking lot lights at Town Hall		344.64
				Invoice m3608/Re-secure pavilion light fixture at the park		245.00
04/06/2021	Check	10201	WEX Bank	Acct: 0496-00-205129-0/Invoice 70939809/March Fuel		-41.51

TOWN OF CROSS ROADS

Check Detail

April 2021

DATE	TRANSACTION TYPE	NUM	NAME	MEMO/DESCRIPTION	CLR	AMOUNT
				Acct: 0496-00-205129-0/Invoice 70939809/March Fuel		41.51
04/06/2021	Check	10202	CLC Signs by Design	Invoice 7418/Roberson Way Street Sign with Logo		-85.00
				Invoice 7418/Roberson Way Street Sign with Logo		85.00
04/07/2021	Check	ACH	JPMorgan Chase Bank NA	Acct:5567 0879 0008 2141 - March 2021 (Auto Draft)		-10,439.32
				Amazon (11)/Amazon Credits (2)		-774.81
				Coserv (2) Naylor Road & Hwy. 377 & Dr Griffin		273.06
				Lights/Walmart(4)/Denton Co Land Fill (6)		
				Walmart/The UPS Store/Amazon/Vista Print		679.99
				USPS/FedEx - Strategic Planning		1,165.12
				Amazon (4) for Easter Event		225.28
				Intuit Payroll/QB Online /Adobe / Calendar Wiz /Acrobat Pro		205.94
				Verizon/SR Fax		41.44
				Car Wash		15.00
				Northeast Police Department Credit Card Reimbursement for March 2021		-6,699.92
				Northeast Municipal Court Credit Card Reimbursement for February 2021		-358.76
04/08/2021	Check	10203	Amanda Escovedo	Invoice 995652/Clean Town Hall for March 27, 2021		-175.00
				Invoice 995652/Clean Town Hall for March 27, 2021		175.00
04/08/2021	Check	10204	Nichols, Jackson, Dillard, Hager & Smith	Bill 33310 - E-mails to Council/Kristi reg ETJ Plats, Review of Materials, Telephone Conference with Kristi Gilbert, Telephone Conference with R. Patterson reg McCallum/Gartske Roadway, Email to Mayor Reg KV ILA, Review of AG Letter Opinion for ORR, Conference with Mayor for ILA extension with KV, Telephone Conference with K. Gilbert and Council Member		-832.50
				Bill 33310 - E-mails to Council/Kristi reg ETJ Plats, Review of Materials, Telephone Conference with Kristi Gilbert, Telephone Conference with R. Patterson reg McCallum/Gartske Roadway, Email to Mayor Reg KV ILA, Review of AG Letter Opinion for ORR, Conference with Mayor for ILA extension with KV, Telephone Conference with K. Gilbert and Council Member		832.50
04/09/2021	Check	10205	Strategic	Invoice 2021-103054/ Town Administrator for 3-21-21 to 3-27-		-4,350.34

TOWN OF CROSS ROADS

Check Detail

April 2021

DATE	TRANSACTION TYPE	NUM	NAME	MEMO/DESCRIPTION	CLR	AMOUNT
			Government Resources	21 and 3-28-21 to 4-3-21 - 89 Total hours worked		
				Invoice 2021-103054/ Town Administrator for 3-21-21 to 3-27-21 and 3-28-21 to 4-3-21 - 89 Total hours worked		4,350.34
04/12/2021	Check	10206	Xerox Corporation	Invoice 013023934/Metered 2-21-21 to 3-21-21		-217.89
				Invoice 013023934/Metered 2-21-21 to 3-21-21		217.89
04/13/2021	Check	10207	Amanda Escovedo	Invoice 995653/Clean Town Hall for April 12, 2021		-175.00
				Invoice 995653/Clean Town Hall for April 12, 2021		175.00
04/14/2021	Payroll Check	DD	Greg L. Bertrand	Pay Period: 03/15/2021-04/14/2021 March 2021 (2) Full Court Days/Other Duties		-1,625.73
				Direct Deposit		-1,625.73
04/14/2021	Check	10208	Angela Gorton	Reimbursement of Postage for Town April 2021 Spring Cleanup Postcards (650 Stamps)		-234.00
				Reimbursement of Postage for Town April 2021 Spring Cleanup Postcards (650 Stamps)		234.00
04/14/2021	Check	10209	Billy Joe Lerma	Invoice 169341/Put up Sneeze Guards, Changed Lights, Replaced Plants and Bushes, Cleaned Up Flower Beds at Town Hall, Took Trash to the Denton Landfill and Picked up trash at Town Park (2)		-1,232.50
				Invoice 169341/Put up Sneeze Guards, Changed Lights, Replaced Plants and Bushes, Cleaned Up Flower Beds at Town Hall, Took Trash to the Denton Landfill		1,157.50
				Invoice 169341/Picked up trash at Town Park (2)		75.00
04/14/2021	Check	10210	Humana Compbenefits Ins Co	Billing ID: 548675-001/ Invoice 831011312- May 2021 Vision/Dental/Life		-308.00
				Billing ID: 548675-001/ Invoice 831011312- May 2021 Vision/Dental/Life		308.00
04/14/2021	Check	10211	EDP Best Practices, LLC	Invoice 011-2021-03-30 / Update Traffic Count report, MDD Website Enhancement Recommendations and Sites & Building Summary		-7,770.00
				Invoice 011-2021-03-30 / Update Traffic Count report, MDD Website Enhancement Recommendations and Sites & Building Summary		-7,770.00
04/15/2021	Check	10212	The UPS	Invoice 101/Post Card for Town of Cross Roads Spring Clean		-119.00

TOWN OF CROSS ROADS

Check Detail

April 2021

DATE	TRANSACTION TYPE	NUM	NAME	MEMO/DESCRIPTION	CLR	AMOUNT
			Store	Up Event Invoice 101/Post Card for Town of Cross Roads Spring Clean Up Event		119.00
04/16/2021	Payroll Check	DD	Rodney D. Patterson	Pay Period: 04/03/2021-04/16/2021 Direct Deposit		-1,704.89 -1,704.89
04/16/2021	Payroll Check	DD	Rebecca Ross	Pay Period: 04/03/2021-04/16/2021 Direct Deposit		-952.64 -952.64
04/16/2021	Payroll Check	DD	Rebecca Ross	Pay Period: 04/03/2021-04/16/2021 Direct Deposit		-2,000.00 -2,000.00
04/16/2021	Payroll Check	DD	Donna J. Butler	Pay Period: 04/03/2021-04/16/2021 Direct Deposit		-1,842.04 -1,842.04
04/16/2021	Payroll Check	DD	Brenda Sanchez	Pay Period: 04/03/2021-04/16/2021 Direct Deposit		-1,633.63 -1,633.63
04/16/2021	Payroll Check	DD	Brenda Sanchez	Pay Period: 04/03/2021-04/16/2021 Direct Deposit		-50.00 -50.00
04/16/2021	Payroll Check	DD	Susan D. Zambrano	Pay Period: 04/03/2021-04/16/2021 Direct Deposit		-2,330.26 -2,330.26
04/16/2021	Tax Payment		TX TWC	Tax Payment for Period: 01/01/2021-03/31/2021 TX Unemployment Tax TX Unemployment Tax		-760.00 -760.00
04/16/2021	Check	10213	Granulawn	Customer 354/2021 Lawn Application #2 for Town Hall Customer 354/2021 Lawn Application #2 for Town Hall		-118.00 118.00
04/20/2021	Tax Payment		IRS	Tax Payment for Period: 04/14/2021-04/16/2021 Federal Tax Payment Federal Taxes (941/944)		-4,626.91 -4,626.91
04/20/2021	Check	10214	Kathryn	Expense Reimbursement for Easter and Spring Clean Up		-181.42

TOWN OF CROSS ROADS

Check Detail

April 2021

DATE	TRANSACTION TYPE	NUM	NAME	MEMO/DESCRIPTION	CLR	AMOUNT
			Langley	Evetns - (2) Walmart, (1) Walmart Credit, (1) Sams Club Expense Reimbursement for Easter and Spring Clean Up Evetns - (2) Walmart, (1) Walmart Credit, (1) Sams Club		181.42
04/23/2021	Check	10215	Blue Cross Blue Shield	Acct: 092928/Medical for 5-1-21 to 6-1-20 Medical Coverage for 5-1-21 to 6-1-21 Dependent Medical Coverage - May 2021		-3,201.27 2,829.65 -371.62
04/23/2021	Check	10216	Strategic Government Resources	Invoice 2021-103111/ Town Administrator for 4-4-21 to 4-10- 21 and 4-11-21 to 4-17-21 - 101.50 Total hours worked Invoice 2021-103111/ Town Administrator for 4-4-21 to 4-10- 21 and 4-11-21 to 4-17-21 - 101.50 Total hours worked		-4,879.11 4,879.11
04/26/2021	Check	10217	All American Dog	Invoice 4352/ Animal Control Services Invoice 4352/ Animal Control Services		-1,150.00 1,150.00
04/27/2021	Check	10218	Jason R. Pool P.E.	Invoice 09001-105/Services from 1/21/21 to 4/26/21 PZ, Council, Workshop, Committee and Staff Meeting, Preliminary Development Meetings/Questions, Drainage, Tree Ord., Septic Reviews, Culvert Inspection, Retaining wall, Demo, Town Projects/Coordination/Village of Cross Roads Commercial Pre Development meeting Attwoods Final Plat (storm/ erosion/ paving/ Septic/Irrigation/Site Visits) 29 Acres Final Plat (Plan Review/ Tree Coordination) Bank of America (Plan Review/ Variance Coordination) Bartel Preliminary Plat (Plan Review/ Coordination) Greenway Preliminary /Final Plat (Plan Pickup & Review/ County & TXDOT Review/ Coordination) Hillside Estate (Landscape/Retaining Wall/ Erosion Site Visit/Landscape Revision Review/ Plat File Coordination) Ok Hill Ranch Phase 2 (Plan Review/ Coordination) Pohlman Preliminary Plat (Plan Review) and Developer Meeting Rustic Furniture PD (Plan Review) Smokey Rose Grading/TXDOT (Developer/ MSUD/TXDOT Coordination/Plan Review) Stone Mountain L 1/2/3 Replat (Plan Review) Liberty Storage (MSUD & County Coordination/ Plan Review) Developer Questions		-14,265.13 6,672.67 -1,519.25 -450.00 -525.00 -375.00 -937.17 -1,349.03 -982.73 -255.00 -255.00 -225.00 -150.00 -464.28 -105.00

TOWN OF CROSS ROADS

Check Detail

April 2021

DATE	TRANSACTION TYPE	NUM	NAME	MEMO/DESCRIPTION	CLR	AMOUNT
04/27/2021	Check	10219	Texas Municipal Retirement System	00321/April 2021 Town of Cross Roads		-4,644.48
				Employee TMRS		-2,237.52
				Employer TMRS		-2,406.96
04/27/2021	Check	10220	Billy Joe Lerma	Invoice 169342/169343 - Gathered Items for Town Clean Up, Picked up Chipper, Picked up Debris and Disposed of Tires, Took to Dump, Worked Park Event Unloading Trucks, Took Chipper Back For Spring Clean Up;Cleaned up Tool Shed, Cleaned out and planted flowers at Town Hall and Picked up trash on Moseley Road and took to dump		-1,130.00
				Invoice 169342 - Cleaned up Tool Shed, Cleaned out and planted flowers at Town Hall		250.00
				Invoice 169342/169343 - Gathered Items for Town Clean Up, Picked up Chipper, Picked up Debris and Disposed of Tires, Took to Dump, Worked Park Event Unloading Trucks, Took Chipper Back For Spring Clean Up		760.00
				Picked up trash on Moseley Road and took to dump		120.00
04/27/2021	Check		Billy Joe Lerma	Voided - Invoice 169342/169343 - Gathered Items for Town Clean Up, Picked up Chipper, Picked up Debris and Disposed of Tires, Took to Dump, Worked Park Event Unloading Trucks, Took Chipper Back For Spring Clean Up;Cleaned up Tool Shed, Cleaned out and planted flowers at Town Hall and Picked up trash on Moseley Road and took to dump		0.00
				Invoice 169342 - Cleaned up Tool Shed, Cleaned out and planted flowers at Town Hall		0.00
				Invoice 169342/169343 - Gathered Items for Town Clean Up, Picked up Chipper, Picked up Debris and Disposed of Tires, Took to Dump, Worked Park Event Unloading Trucks, Took Chipper Back For Spring Clean Up		0.00
				Picked up trash on Moseley Road and took to dump		0.00
04/27/2021	Check		Billy Joe Lerma	Voided - Invoice 169342/169343 - Gathered Items for Town Clean Up, Picked up Chipper, Picked up Debris and Disposed of Tires, Took to Dump, Worked Park Event Unloading Trucks, Took Chipper Back For Spring Clean Up;Cleaned up Tool Shed, Cleaned out and planted flowers at Town Hall and Picked up trash on Moseley Road and took to dump		0.00
				Invoice 169342 - Cleaned up Tool Shed, Cleaned out and planted flowers at Town Hall		0.00
				Invoice 169342/169343 - Gathered Items for Town Clean Up,		0.00

TOWN OF CROSS ROADS

Check Detail

April 2021

DATE	TRANSACTION TYPE	NUM	NAME	MEMO/DESCRIPTION	CLR	AMOUNT
				Picked up Chipper, Picked up Debris and Disposed of Tires, Took to Dump, Worked Park Event Unloading Trucks, Took Chipper Back For Spring Clean Up Picked up trash on Moseley Road and took to dump		0.00
04/27/2021	Check	10221	Billy Joe Lerma	Reimbursement for Rosa's and Tip for Newman BBQ		-56.34
				Reimbursement for Rosa's and Tip for Newman BBQ		56.34
04/29/2021	Check	10222	Pilot Point Post Signal	Invoices 94796/Legal Notice Rustic Furniture Rezoning and Replat/2 Affidavits/2 Tearsheets Invoices 94796/Legal Notice Rustic Furniture Rezoning and Replat/2 Affidavits/2 Tearsheets		-137.00 137.00
04/29/2021	Check	10223	AT&T	831-000-7892-703/831-000-7892-704 - 4-19-21 thru 5-18-21 831-000-7892-703/831-000-7892-704 - 4-19-21 thru 5-18-21		-1,015.05 1,015.05
04/30/2021	Payroll Check	DD	Rodney D. Patterson	Pay Period: 04/17/2021-04/30/2021 Direct Deposit		-1,704.90 -1,704.90
04/30/2021	Payroll Check	DD	Donna J. Butler	Pay Period: 04/17/2021-04/30/2021 Direct Deposit		-1,842.05 -1,842.05
04/30/2021	Payroll Check	DD	Susan D. Zambrano	Pay Period: 04/17/2021-04/30/2021 Direct Deposit		-2,330.25 -2,330.25
04/30/2021	Payroll Check	DD	Brenda Sanchez	Pay Period: 04/17/2021-04/30/2021 Direct Deposit		-1,633.63 -1,633.63
04/30/2021	Payroll Check	DD	Brenda Sanchez	Pay Period: 04/17/2021-04/30/2021 Direct Deposit		-50.00 -50.00
04/30/2021	Payroll Check	DD	Rebecca Ross	Pay Period: 04/17/2021-04/30/2021 Direct Deposit		-952.62 -952.62
04/30/2021	Payroll Check	DD	Rebecca Ross	Pay Period: 04/17/2021-04/30/2021 Direct Deposit		-2,000.00 -2,000.00

TOWN OF CROSS ROADS

Check Detail

April 2021

DATE	TRANSACTION TYPE	NUM	NAME	MEMO/DESCRIPTION	CLR	AMOUNT

TOWN OF CROSS ROADS

Deposit Detail

April 2021

DATE	TRANSACTION TYPE	NUM	CUSTOMER	VENDOR	MEMO/DESCRIPTION	CLR	AMOUNT
10100 CASH-OPERATING							
04/01/2021	Deposit			MDD			337.13
				MDD	Transfer of Funds to the Town of Cross Roads for Avenue MuniServices SUTA TX - Q1 Invoice INV06-011315		337.13
04/01/2021	Deposit						569.95
		0574-4180-5962-6848	Sparrow Electric		2185 Alamandine Avenue permit for roof mounted solar panels PayPal: 0574-4180-5962-6848		-119.93
		0574-2078-0437-0151	Melanie Vaughn-Herbert		3241 New Hope Road - fee for re-inspection PayPal: 0574-2078-0437-0151		-99.92
		0574-4095-9374-5319	Alert 360		3401 US 377 fire alarm application for Atwoods PayPal: 0574-4095-9374-5319		-350.10
04/01/2021	Deposit		Lows Custom Homes, Inc				479.00
		7909	Lows Custom Homes, Inc		401 Oak View DR remodel permit Check No. 7909		-479.00
04/06/2021	Deposit			MDD			1,898.00
				MDD	Transfer for payment of 380Guide and 380News Ads		1,898.00
04/06/2021	Deposit						8,005.35
		3125	Dave Murphy		Re-plat application 2021-0405-01 for SME (Stone Mountain Estate) Preservation Check No. 3125		-1,160.00
		3058	Peter Pohlman		Peter Pohlman - Keyes Lane preliminary plat application Check No. 3058		-1,210.00
		1671	Rustic Furniture Warehouse		Planned Development Application for Proposed Rustic Furniture Clearance Center Check No. 1673		-1,255.35
		1671	Rustic Furniture Warehouse		Professional Deposit for Planned Development Application for Proposed Rustic Furniture Clearance Center Check No. 1671		-1,000.00
		22376	Goodwin and Marshall Inc		Final Plat for Oak Hill Ranch, Phase 2 - 114 lots Check No. 22376		-3,380.00
04/07/2021	Deposit			Northeast Police Department			6,325.42
				Northeast Police Department	April 2021 Credit Card Reimbursement		6,325.42
04/07/2021	Deposit			Northeast Police Department			374.50
				Northeast Police Department	April 2021 Seizure Funds Credit Card Reimbursements		374.50
04/07/2021	Deposit		Northeast Municipal Court				358.76
			Northeast Municipal Court		April 2021 Credit Card Reimbursement		358.76
04/08/2021	Deposit						1,999.00
		2821	Ronald E. Zohfeld		2021 Annual Vendor Market Application Fee Check No. 2821		-45.00
		1045	Bridget Johnson		2021 Annual Vendor Market Application Fee Check No. 1045		-45.00
		345795	Bloomfield Homes, LP		11251 Cedar Creek DR - new home permit fees Check No. 345795		-1,909.00
04/08/2021	Deposit			MDD			1,750.00
				MDD	April 2021 Payment Reimbursement for Denton Record Chronicle		1,750.00
04/09/2021	Deposit						1,130.06
		0585-4123-7312-2440	Popeye's Louisiana Kitchen		Popeye's annual health inspection fee		-275.05
		0585-4124-0613-0950	Champion Electrical		650 Oak Hill CT electrical permit		-119.93

TOWN OF CROSS ROADS

Deposit Detail

April 2021

DATE	TRANSACTION TYPE	NUM	CUSTOMER	VENDOR	MEMO/DESCRIPTION	CLR	AMOUNT
			Services		PayPal: 0585-4124-0613-0950		
		0588-7079-2408-3483	Pooky's Famous Yogurt		Annual Health Inspection Fee for Pooky's PayPal: 0588-7079-2408-3483		-275.05
		0588-7079-4276-9304	Kim Cordia		11401 Tanager LN - pool permit PayPal: 0588-7079-4276-9304		-310.07
		INV2J84FSLL9YK9A3TMJ	Dwayne O'Dell Landscaping, Inc.		Irrigation Permit for 3401 Hwy 377 (Atwoods)		-149.96
04/09/2021	Deposit			State Comptroller			182,874.50
				State Comptroller	April 2021 Sales Tax Collections		182,874.50
04/12/2021	Deposit			MDD			60,000.00
				MDD	2021 3rd Quarter Contributions		60,000.00
04/12/2021	Deposit						9,543.38
		310825		Interface Security System Inc.	1st Qtr 2021 Franchise Tax Fee		4.38
		345794	Bloomfield Homes, LP		Building Permit for 11600 Norcross Drive		-1,748.00
		345797	Bloomfield Homes, LP		Building Permit for 11700 Tanager Lane		-2,354.00
		345796	Bloomfield Homes, LP		Building Permit for 11600 Tanager Lane		-2,503.00
		345798	Bloomfield Homes, LP		Building Permit 11850 Tanager Lane		-2,934.00
04/13/2021	Deposit						519.00
		60682	Key Custom Homes		1090 Woodland DR plan review fee Check No. 60682		-429.00
		5136	Stephanie Wood		2021 Annual Vendor Application Fee Check No. 5136		-45.00
		1025	Pattie Johns		2021 Annual Vendor Application Fee Check No. 1025		-45.00
04/14/2021	Deposit			MDD			7,770.00
				MDD	Reimbursement for MDD Website Enhancement Recommendations, Invoice 011-2021-03-30		7,770.00
04/16/2021	Deposit						1,435.00
		4731	Robertson Pools.		1445 Stone Trail pool and misc. permit Check No. 4731		-570.00
		1051	Elite Backyards		11150 Tanager Lane pool project Check No. 1051		-310.00
		3691	Darren Deffner		401 Millcreek RD residential/accessory structure plan review Check No. 3691		-200.00
		1488	Blue Haven Pools & Spas		193 Las Colinas Trail Check No. 1488		-310.00
		1001	Steven Killfoil		2021 Annual Permit Fee Check No. 1001		-45.00
04/19/2021	Deposit			State Comptroller			1,444.74
				State Comptroller	April 2021 Beverage Tax Collections		1,444.74
04/19/2021	Deposit		Bloomfield Homes, LP				1,574.00
		346319	Bloomfield Homes, LP		11400 Cedar Creek DR plan review fee Check No. 346319		-332.00
		346317	Bloomfield Homes, LP		12300 Tanager LN plan review fee Check No. 346317		-320.00
		346316	Bloomfield Homes, LP		12200 Tanager LN plan review fee Check No. 346316		-341.00
		346318	Bloomfield Homes, LP		11101 Cedar Creek DR plan review fee Check No. 346318		-263.00
		346345	Bloomfield Homes, LP		11651 Norcross DR plan review fee Check No. 346345		-318.00

TOWN OF CROSS ROADS

Deposit Detail

April 2021

DATE	TRANSACTION TYPE	NUM	CUSTOMER	VENDOR	MEMO/DESCRIPTION	CLR	AMOUNT
04/19/2021	Deposit		Bloomfield Homes, LP				1,931.00
		346315	Bloomfield Homes, LP		12100 Tanager LN plan review fee Check No. 346315		-470.00
		346314	Bloomfield Homes, LP		12000 Tanager LN plan review fee Check No. 346314		-331.00
		346313	Bloomfield Homes, LP		11750 Tanager LN plan review fee Check No. 346313		-474.00
		346312	Bloomfield Homes, LP		11501 Cedar Creek DR plan review fee Check No. 346312		-323.00
		346311	Bloomfield Homes, LP		11401 Cedar Creek DR plan review fee Check No. 346311		-333.00
04/19/2021	Deposit						863.86
		14455150	Comcast Phone of Texas, LLC		March 2021 Telecom Franchise Fee Tax		4.38
		062782		Texas/New Mexico Power	January 21 through March 31, 2021 Franchise Fees		546.48
		346320	Bloomfield Homes, LP		11550 Cedar Creek DR plan review fee Check No. 346320		-313.00
04/23/2021	Deposit						1,090.73
		0596-2004-7772-2798	Doug Soell		8800 US 380, STE 100 - final fire inspection for sprinkler system PayPal: 0596-2004-7772-2798		-119.93
		0597-3004-0379-5621	Bloomfield Homes, LP		3500 Hickory Chase Drive - re-inspection fees PayPal: 0597-3004-0379-5621		-139.95
		0600-5998-8661-6356	Century Custom Homes Texas Inc.		1085 Forest Hills plan review fee PayPal: 0600-5998-8661-6356		-381.12
		0601-8979-0261-0980	Southwestern Plumbing		203 Lakeway - plumbing permit for gas line to grill PayPal: 0601-8979-0261-0980		-119.93
		0603-8933-2333-8548	Daunee Hernandez		2021 Application for Diggy Dawg Bone Co. PayPal: 0603-8933-2333-8548		-44.89
		0604-1018-8191-8795	Crystal L. Logan		2021 Market Vendor Fee PayPal: 0604-1018-8191-8795		-44.89
		0604-0975-4140-9616	Scott Perez		1625 Forest Hills and 2001 W Oak Shores foundation repair PayPal: 0604-0975-4140-9616		-240.02
04/26/2021	Deposit						6,282.20
		2787281	WASTE Connections		1st Qtr 2021 Franchise Fees		5,328.25
		302239	Coserv Gas		2020 CIAC Franchise Fees		939.35
		2227839		BullsEye Telecom, Inc	1st Qtr 2021 Franchise Fees		14.60
04/26/2021	Deposit		Northeast Municipal Court				11,236.18
			Northeast Municipal Court		April 2021 Staff and Judge Reimbursements		11,236.18
04/30/2021	Deposit						1,167.08
		0609-6012-3272-6414	7-Eleven		Annual Health Inspection Fee for 7-11 PayPal: 0609-6012-3272-6414		-275.05
		INV2FTRLFEEU9GADM6AT	Tim Crutsinger				-722.06
		0611-8011-2411-4579	Brian Bush		3401 US 377 - wall signs for Atwoods PayPal: 0611-8011-2411-4579		-169.97
04/30/2021	Deposit		Raising Cane's				3,498.90
		5001199437	Raising Cane's		Raising Cane's building permit fees Check No. 5001199437		-3,498.90



**MINUTES OF TOWN COUNCIL MEETING
FOR THE TOWN OF CROSS ROADS
LOCATION: VIRTUAL MEETING ONLY
MONDAY, APRIL 5, 2021 AT 7:00 P.M.**

Call to Order – **7:03 P.M.**

Roll Call –

Present: **Mayor Tompkins, Council Members Gaalema, Phillips, Meek, White-Stevens, and Roberson**

1. Invocation – **Pastor Ken Smith**
2. Pledge of Allegiance – **Council Member Gaalema**
3. Mayor Announcements and Updates.
Mayor gave the current development and construction updates.
4. Council Member Announcements and Updates.
**White-Stevens – Covid vaccinations; High School graduation; Denton Community Market.
Meek – ILA.**
5. Committee and Commissions Announcements and Updates.
6. Citizens Input for Items ON the Agenda.
- Lance VanZandt – Item 11.

- The following emails were received for Item 13.a.: Elizabeth Reger, Karen Aguilar, Bonnie Brown, John S. Findley, DDS, Laurel Wallace, Elva and Virden Seybold, Tammy Sweeney, Diane Bartek, Brian and Heather Mize, John Murray, Colette Olivieri, Shauna Bohren, Dorian Arledge, Sharon Baca, Ron King, Joe and Angela Lozano, and Marc Sweeney.

- The following people spoke on Item 13.a.: Ron Conrad, Debbie McKenna, Bob Gorton, Tammy Roberson, Steven Zuczek, Doug LeMaster, Herman Oosterwijk, Steven Killfoil, Kathryn Langley, Cody Clark, Diane Bartek, Eddie Army, Randy Wallace, Dwayne (no last name given), and Tammy Sweeney.
7. Citizens Input for Items NOT on the Agenda.
None.
8. Updates; Discussion of Same.
 - Town Administrator Announcements and Updates – Kristi Gilbert
 - Finance Director – Susan Zambrano
 - Law Enforcement – Chief Edland

- Building Permits and Development
- Mayor Update

Break at 9:44 P.M.

Reconvened at 9:50 P.M.

- Discuss and consider action regarding potential violations by members of the Public Safety Advisory Board concerning the Boards, Committees, and Commissions Policy, ethics, and Texas Open Meetings Act.
Motion to repeal the resolution for the Public Safety Advisory Board until a time as we can discuss as a Council, more structure, and more accountability, and more measurable actions to be taken should the board be reinstated in some form or fashion made by White-Stevens;
Second by Roberson;
Roll Call Vote:
Gaalema – No
Phillips – Yes
Meek – No
White-Stevens – Yes
Roberson – Yes
Passed 3 to 2.
 - Discuss and consider a request by Danny and Barbara Prins to deannex approximately 22.7 acres of land located at 3001 New Hope Road.
Motion to deny made by Meek;
Second by White-Stevens;
Roll Call Vote:
Gaalema – Yes
Phillips – Yes
Meek – Yes
White-Stevens – Yes
Roberson – Yes
Passed unanimously.
 - Discussion related to overnight parking violations within the Town of Cross Roads.
 - Discuss current legislation regarding building materials and design standards.
- Convened into Executive Session at 10:36 P.M.**
- The Town Council will convene into Executive Session pursuant to the following:
 - Texas Government Code, Section 551.071 (Consultation with Town Attorney) to consult and receive legal advice from the Town Attorney relating to the Northeast Police Department Interlocal Agreement with the City of Krugerville.
 - Texas Government Code, Section 551.074 (Personnel) to deliberate the appointment, employment, evaluation, or duties, of the Town Administrator.

Reconvened into Regular Session at 12:08 A.M.

~~14. Take action as may be necessary or appropriate on matters discussed in Executive session.~~

~~15. Staff Update on Current Projects.~~

~~16. Council requests for future agenda items.~~

Adjourn – **12:09 A.M.**

T. Lynn Tompkins, Jr., Town Mayor

Donna Butler, Town Secretary



**MINUTES OF JOINT WORK SESSION
OF THE CITY OF KRUGERVILLE COUNCIL AND
TOWN OF CROSS ROADS COUNCIL**

**LOCATION: Providence Village Town Hall, 1755 Main Street,
Providence Village, Texas
And
Virtually by Zoom**

MONDAY, APRIL 8, 2021 AT 7:00 P.M.

1. Called to order at 7:00 pm by Krugerville's Mayor Parrent.
2. Roll Call
**Cross Roads: Mayor Tompkins, Council Members Phillips, Meek, White-Stevens, and Roberson.
Gaalema joined virtually at 7:02.
Krugerville: Mayor Parrent, Council Members Nipe, Bridges, Wilthers, Wills, and Kromer.**
3. Citizens Comments
**The following citizens submitted comments by email:
Herman Oosterwijk, John Murray, John S. Findley DDS, Laurel Wallace, and Elva and Virden Seybold**

**The following citizens submitted comments in person or virtually:
Todd Walworth, Karen Aguilar, Bob Gorton, Eddie Army, Sharon Baca, Randy Wallace, Mike Starr, Tammy Sweeney, Janet Conrad, Amy Reece, Ron Conrad, Kathryn Langley, Sylvia Phillips, Debbie McKenna, Jim Siano, Jim Riley, Michelle Pruett, and Diane Bartek. Bonnie Brown wanted to speak but could not due to technical difficulties.**
4. Discuss the terms of the Northeast Police Department Interlocal Agreement between the City of Krugerville and Town of Cross Roads.
Statements were made by both T. Lynn Tompkins, Mayor of Cross Roads and Jeff Parrent, Mayor of the City of Krugerville.

**Break at 8:32 P.M.
Reconvened at 8:46 P.M.**

**Each Mayor requested comments from their Council Members.
At the conclusion of the meeting, Krugerville offered to draft a new ILA for negotiation with Cross Roads. Cross Roads agreed to review the new ILA.**
5. ADJOURNED AT 8:55 P.M.

T. Lynn Tompkins, Jr., Town Mayor

Donna Butler, Town Secretary



**MINUTES OF TOWN COUNCIL WORK SESSION
ON COMMUNITY VISIONING PROJECT
FOR THE TOWN OF CROSS ROADS
MONDAY, APRIL 12, 2021 at 7:00 P.M.
LOCATION: Virtual Meeting Only**

1. Call to Order – **Mayor Tompkins called meeting to order at 7:01 P.M.**
Present: Greg Gaalema, Dave Meek, Wendy White-Stevens, Ron King
Bobby Phillips joined at 7:16 P.M. and Duke Roberson joined at 8:11 P.M.
2. Citizens Input
None.
3. Discuss the Community Visioning Project for the Town of Cross Roads including the establishment of a vision and mission.
Mayor Tompkins left the meeting.
Debbie Womack walked through the visioning project with Council.

ADJOURN – 9:00 P.M.

T. Lynn Tompkins, Jr., Town Mayor

Donna Butler, Town Secretary



**MINUTES OF TOWN COUNCIL MEETING
FOR THE TOWN OF CROSS ROADS
MONDAY, APRIL 19, 2021 at 7:00 P.M.
LOCATION: Virtual Meeting Only**

1. Called to Order at **7:01 P.M.**
2. Roll Call
Mayor Tompkins; Council Members Gaalema, Phillips, Meek, White-Stevens, and Roberson
3. Invocation by **Jeff Kosack, Pastor of Trilogy Church.**
4. Pledge of Allegiance led by **Mayor Tompkins.**
5. Mayor's announcements and updates.
 - **Dunkin Donuts submitted an application for a tenant finish out.**
 - **Site discussions have been held on Chipotle and Dutch Brothers Coffee for the east side of Jack in the Box and a stone and landscaping retail sales yard on Pottershop Road.**
 - **Community Visioning Sessions will be held April 21st and 27th.**
 - **The town will be receiving a Covid-19 grant and hope to use that to fund the capability to hold meetings that are both in person and by Zoom.**
 - **The town clean-up event will be April 24th and residents were encouraged to volunteer their time to help.**
6. Council Member's announcements and updates.
 - **Phillips stated there seems to be a double standard for adding items to the Town Council Agendas and expressed the need for a single process to having items added to a Council Agenda.**
 - **Meek asked staff to look into why a permit had not been issued to a resident and to look into damage to Mill Creek Road by a pool contractor who went off the road with an excavator.**
 - **White-Stevens wanted to remind everyone that the upcoming weekend was tax-free weekend for emergency preparedness supplies.**
7. Citizens Input for Items ON the Agenda
Citizen comments regarding the NEPD ILA were given by: Herman Oosterwijk, Karen Aguilar, Sharon Baca, Steven Killfoil, Kathryn Langley, John Knox, Diane Bartek, and Bob Gorton.

Citizen emails regarding the NEPD ILA were read from: Peter Carrothers, Ron King, Ron and Carolyn Drahos Zohfeld, Brayden Sweeney, Marc Sweeney, Cody Clark, Tammy Sweeney, Bonnie Brown, Shauna Bohren, and Tiffani Christensen.

8. Citizens Input for Items NOT on the Agenda

Citizen comments were given by:

- **Ron Conrad stated the Pilot Post Signal gives local news and police reports, which he feels shows the NEPD is doing an effective job.**
- **Larry Fisher thanked the Mayor, Council and staff for the movement towards transparency; he likes how he can get the entire Council agenda packet online.**
- **Sharon Baca was unable to speak due to technical difficulties.**

9. CONDUCT A PUBLIC HEARING, discuss and consider an ordinance approving a request by applicant Kenneth Hollifield on behalf of owner Mike McCrary for a change in zoning from AG – agricultural to C-2 commercial for Tract 47, of the RJ Moseley Abstract A0803A, generally located at 7200 US 380, Cross Roads, Denton County, Texas.

Motion to approve made by White-Stevens;

Second by Phillips;

Roll Call Vote:

Gaalema – Yes

Phillips – Yes

Meek – Yes

White-Stevens – Yes

Roberson – Yes

Passed unanimously.

10. CONDUCT A PUBLIC HEARING, discuss and consider approval of an ordinance amending the Comprehensive Zoning Ordinance Section 14.03.008 Architectural Guidelines, Section 14.03.045 MF Apartment District, Section 14.03.076 C-Commercial District and Section 14.03.007 LI-Light Industrial District to remove references to the Architectural Review Committee.

Motion to table made by Phillips;

Second by White-Stevens;

Roll Call Vote:

Gaalema – Yes

Phillips – Yes

Meek – Yes

White-Stevens – Yes

Roberson – Yes

Passed unanimously.

11. Discuss and consider a preliminary plat application for property located at the southeast corner of Fishtrap Road and Oak Grove Lane for the Bartel Acres Addition located in the extraterritorial jurisdiction of the Town of Cross Roads. (2021-0308-06PPLAT)

Motion to deny due to deficiencies made by White-Stevens;

Second by Roberson;

Roll Call Vote:

Gaalema – Yes

Phillips – Yes
Meek – Yes
White-Stevens – Yes
Roberson – Yes
Passed unanimously.

12. Discuss and consider a preliminary plat application for property located at the southwest corner of US 380 and FM 720 for the Greenway Crossroads Addition located in the extraterritorial jurisdiction of the Town of Cross Roads. (2021-0308-03PPLAT)

Motion to approve made by Phillips;

Second by Meek;

Roll Call Vote:

Gaalema – Yes

Phillips – Yes

Meek – Yes

White-Stevens – Yes

Roberson – Yes

Passed unanimously.

13. Discuss and consider action on an application for a building permit, civil/landscape plan and technical site plan for property generally located at 11700 US HWY 380 for Raising Cane's. (2021-0104-04C)

Motion to approve made by Phillips;

Second by Gaalema;

Roll Call Vote:

Gaalema – Yes

Phillips – Yes

Meek – Yes

White-Stevens – Yes

Roberson – Yes

Passed unanimously.

14. Discuss and consider action on application for a civil/landscape plan and technical site plan for property generally located at the northeast corner of FM 424 and US 380 for Bank of America. (2021-0308-05TSP)

Motion to approve made by Meek;

Second by Phillips;

Roll Call Vote:

Gaalema – Yes

Phillips – Yes

Meek – Yes

White-Stevens – Yes

Roberson – Yes

Passed unanimously.

15. Discuss and consider action on a commercial building permit application for property generally located at the northeast corner of FM 424 and US 380 for Bank of America. (2021-0308-04C)

Motion to approve made by White-Stevens;
Second by Roberson;
Roll Call Vote:
Gaalema – Yes
Phillips – Yes
Meek – Yes
White-Stevens – Yes
Roberson – Yes
Passed unanimously.

16. Discuss and consider action on a request from Atwood's Home and Ranch for a variance to the sign regulations to allow for 718.75 total square feet of signage, 699.5 square feet for the primary sign and 19.75 square feet for a secondary sign.

Motion to approve made by Meek;
Second by Phillips;
Roll Call Vote:
Gaalema – Yes
Phillips – Yes
Meek – Yes
White-Stevens – Yes
Roberson – Yes
Passed unanimously.

CONSENT AGENDA

17. Consider action on the Town monthly financial reports.
18. Consider action on the Northeast Municipal Court Quarterly Financials.
19. Consider action regarding the March 1, 2021 and March 15, 2021 Town Council Meeting Minutes.
20. Consider authorizing repairs to Historic Lane in an amount not to exceed \$8,600 for the installation of grouted rock rip rap.
21. Consider authorizing the Mayor to execute the first amendment to the Advance Funding Agreement to terminate the initial agreement with the Texas Department of Transportation for the construction of a hooded left turn lane on FM 720.
22. Consider approval of a resolution formally expressing support for House Bill 233 exempting certain municipalities from Chapter 3000 of the Texas Government Code related to building materials.

Motion to approve made by Phillips;
Second by Roberson;
Roll Call Vote:
Gaalema – Yes
Phillips – Yes

Meek – Yes
White-Stevens – Yes
Roberson – Yes
Passed unanimously.

EXECUTIVE SESSION – 8:32 P.M.

23. The Town Council will convene into Executive Session pursuant to the following:
- a. Texas Government Code, Section 551.074 (Personnel) to deliberate the appointment, employment, evaluation, or duties, of a special counsel for negotiations related to the Northeast Police Department Interlocal agreement due to potential conflicts with the Town Attorney.

RECONVENED INTO REGULAR SESSION – 9:11 P.M.

Mayor Pro-Tem Phillips made a brief statement.

Motion to take no action made by Phillips;
Second by Roberson;
Roll Call Vote:
Gaalema – No
Phillips – Yes
Meek – Yes
White-Stevens – Yes
Roberson – Yes
Passed 4 to 1.

RECONVENED INTO EXECUTIVE SESSION – 9:17 P.M.

- b. Texas Government Code, Section 551.071 (Consultation with Town Attorney) to consult and receive legal advice from the Town Attorney relating to the Northeast Police Department Interlocal Agreement with the City of Krugerville and 6500 US 380.

RECONVENED INTO REGULAR SESSION – 11:44 P.M.

24. Take action as may be necessary or appropriate on matters discussed in Executive session.
No action taken.

- ~~25. Request for future agenda items.~~

ADJOURN – 11:44 P.M.

T. Lynn Tompkins, Jr., Town Mayor

Donna Butler, Town Secretary



COUNCIL AGENDA BRIEFING SHEET

Meeting Date:

May 17, 2021

Agenda Item:

Consider approval of a resolution denying the Distribution Cost Recovery Factor application proposed by Oncor.

Prepared by:

Kristi Gilbert, Interim Town Administrator

Description:

On April 8, 2021, Oncor Electric Delivery Company LLC (“Oncor” or “Company”) filed an Application for Approval to Amend its Distribution Cost Recovery Factor (“DCRF”) to Increase Distribution Rates with each of the cities in their service area. In the filing, the Company asserts that it is seeking an increase in total distribution revenue requirement by approximately \$97,826,277.

The resolution authorizes the City to join with the Steering Committee of Cities Served by Oncor (“OCSC”) to evaluate the filing, determine whether the filing complies with law, and if lawful, to determine what further strategy, including settlement, to pursue.

Recommended Action:

Approval of the resolution will serve as denial of the DCRF application proposed by Oncor.

Attachments:

Proposed Resolution

RESOLUTION NO. 2021-0517-

A RESOLUTION OF THE TOWN OF CROSS ROADS, TEXAS FINDING THAT ONCOR ELECTRIC DELIVERY COMPANY LLC'S APPLICATION FOR APPROVAL TO AMEND ITS DISTRIBUTION COST RECOVERY FACTOR TO INCREASE DISTRIBUTION RATES WITHIN THE TOWN SHOULD BE DENIED; AUTHORIZING PARTICIPATION WITH OCSC; AUTHORIZING THE HIRING OF LEGAL COUNSEL AND CONSULTING SERVICES; FINDING THAT THE TOWN'S REASONABLE RATE CASE EXPENSES SHALL BE REIMBURSED BY THE COMPANY; FINDING THAT THE MEETING AT WHICH THIS RESOLUTION IS PASSED IS OPEN TO THE PUBLIC AS REQUIRED BY LAW; REQUIRING NOTICE OF THIS RESOLUTION TO THE COMPANY AND LEGAL COUNSEL.

WHEREAS, the Town of Cross Roads, Texas ("Town") is an electric utility customer of Oncor Electric Delivery Company LLC ("Oncor" or "Company") with an interest in the rates and charges of Oncor; and

WHEREAS, the Steering Committee of Cities Served by Oncor ("OCSC") is a coalition of similarly situated cities served by Oncor that have joined together to efficiently and cost effectively review and respond to electric issues affecting rates charged in Oncor's service area in matters before the Public Utility Commission ("Commission") and the courts; and

WHEREAS, on or about April 8, 2021, Oncor filed with the Commission an Application for Approval to Amend its Distribution Cost Recovery Factor ("DCRF"), Commission Docket No. 51996, seeking to increase its total distribution revenue requirement by approximately \$97,826,277; and

WHEREAS, the Town of Cross Roads will cooperate with OCSC in coordinating their review of Oncor's DCRF filing with designated attorneys and consultants, prepare a common response, negotiate with the Company, and direct any necessary litigation, to resolve issues in the Company's filing; and

WHEREAS, all electric utility customers residing in the Town will be impacted by this ratemaking proceeding if Oncor's Application is granted; and

WHEREAS, working with the OCSC to review the rates charged by Oncor allows members to accomplish more collectively than each Town could do acting alone; and

WHEREAS, OCSC's members and attorneys recommend that members who have retained original jurisdiction over electric utility rates deny Oncor's DCRF.

NOW, THEREFORE, BE IT RESOLVED BY THE TOWN COUNCIL OF THE TOWN OF CROSS ROADS, TEXAS:

SECTION 1. That the Town is authorized to participate with OCSC in Commission Docket No. 51996.

SECTION 2. That, subject to the right to terminate employment at any time, the Town of Cross Roads hereby authorizes the hiring of the law firm of Lloyd Gosselink Rochelle & Townsend, P.C. and consultants to negotiate with the Company, make recommendations to the Town regarding reasonable rates, and to direct any necessary administrative proceedings or court litigation associated with an appeal Oncor's DCRF application.

SECTION 3. That the rates proposed by Oncor to be recovered through its DCRF charged to customers located within the Town limits should be denied.

SECTION 4. That the Company should continue to charge its existing rates to customers within the Town.

SECTION 5. That the Town's reasonable rate case expenses shall be reimbursed in full by Oncor within 30 days of the adoption of this Resolution, and within 30 days of presenting monthly bills to Oncor thereafter.

SECTION 6. That it is hereby officially found and determined that the meeting at which this Resolution is passed is open to the public as required by law and the public notice of the time, place, and purpose of said meeting was given as required.

SECTION 7. That a copy of this Resolution shall be sent to J. Michael Sherburne, Vice President – Regulatory, Oncor Electric Delivery Company LLC, 1616 Woodall Rodgers Freeway, Dallas, Texas 75202; to Tab R. Urbantke, Hunton Andrews Kurth LLP, 1445 Ross Avenue, Suite 3700, Dallas, Texas 7520; and to Thomas Brocato, General Counsel to OCSC, at Lloyd Gosselink Rochelle & Townsend, P.C., P.O. Box 1725, Austin, TX 78767-1725, or tbrocato@lglawfirm.com.

PASSED, APPROVED AND ADOPTED on this _____ day of _____, 2021.

Mayor

ATTEST:

Town Secretary

APPROVED AS TO FORM:

Town Attorney



COUNCIL AGENDA BRIEFING SHEET

Meeting Date:

May 17, 2021

Agenda Item:

Consider approval of a resolution denying the rate change application proposed by CoServ.

Prepared by:

Kristi Gilbert, Interim Town Administrator

Description:

On November 13, 2020, CoServ Gas, Ltd. ("CoServ" or "Company"), pursuant to Subchapter C of Chapter 104 of the Gas Utility Regulatory Act, filed its Statement of Intent to change gas rates at the Railroad Commission of Texas ("RRC") and in all municipalities exercising original jurisdiction within its service area, effective March 14, 2021.

In a prior action, CoServ's rate request was suspended from taking effect for 90 days, the fullest extension permissible under the law. This time period has permitted the Town, through its participation in the Steering Committee of Cities Served by CoServ, Ltd. ("CoServ Gas Cities"), to determine that the proposed rate increase and consolidation are unreasonable. Consistent with the recommendations of experts engaged by CoServ Gas Cities, CoServ's request for a rate increase and consolidation of service areas should be denied.

Accordingly, the purpose of this Resolution is to deny the rate change application proposed by CoServ.

Recommended Action:

Approval of the resolution will serve as denial of the CoServ Gas rate change application.

Attachments:

Proposed Resolution

RESOLUTION NO. _____

**RESOLUTION OF THE TOWN OF CROSS ROADS
DENYING COSERV GAS, LTD.'S REQUESTED RATE
INCREASE; REQUIRING THE COMPANY TO
REIMBURSE THE TOWN'S REASONABLE
RATEMAKING EXPENSES; FINDING THAT THE
MEETING AT WHICH THIS RESOLUTION IS PASSED IS
OPEN TO THE PUBLIC AS REQUIRED BY LAW;
REQUIRING NOTICE OF THIS RESOLUTION TO THE
COMPANY AND THE TOWN'S LEGAL COUNSEL**

WHEREAS, the Town of Cross Roads, Texas ("Town") is a gas utility customer of CoServ Gas Ltd. ("CoServ" or "Company"), and is a regulatory authority under the Gas Utility Regulatory Act ("GURA"), and under Chapter 104, § 104.001 et seq. of GURA has exclusive original jurisdiction over CoServ's rates, operations, and services within the Town; and

WHEREAS, the Town cooperated with a coalition of similarly situated cities served by the Company that have joined together to facilitate the review and response to natural gas issues affecting rates charged in CoServ's service area ("CoServ Gas Cities" or "Steering Committee of Cities Served by CoServ Gas, Ltd."); and

WHEREAS, on or about November 13, 2020 the Company filed a Statement of Intent to increase rates on a system-wide basis by \$9.6 million per year, and by \$8,113,409 in all municipalities exercising original jurisdiction within its service area; and

WHEREAS, CoServ proposed March 14, 2021 as the effective date for its requested increase in rates; and

WHEREAS, the Town passed resolution No. 2020-1221-02 to suspend the effective date of CoServ's requested rate increase for 90 days, the maximum period allowed by law; and

WHEREAS, the CoServ Gas Cities hired and directed legal counsel and consultants to prepare a common response to the Company's requested system-wide rate increase and proposed consolidation of service areas, which resulted in a conclusion that CoServ's rates are not reasonable, the proposed consolidation of services areas is not reasonable, and a recommendation that the rate request and consolidation be denied; and

WHEREAS, the GURA § 103.022 provides that costs incurred by CoServ Gas Cities in ratemaking activities are to be reimbursed by the regulated utility.

THEREFORE, BE IT RESOLVED BY THE TOWN COUNCIL OF THE TOWN OF CROSS ROADS, TEXAS:

1. That the rates proposed by CoServ to be recovered through its gas rates charged to customers located within the Town limits are hereby found to be unreasonable and shall be denied.

2. That CoServ shall continue to charge its existing rates to customers within the Town and that said existing rates are reasonable.

3. That the Town's reasonable rate case expenses shall be reimbursed by the Company.

4. That it is hereby officially found and determined that the meeting at which this Resolution is passed is open to the public as required by law and the public notice of the time, place, and purpose of said meeting was given as required.

5. A copy of this Resolution shall be sent to CoServ, care of Charles Harrell, CoServ Gas, Ltd. 7701 South Stemmons Freeway, Corinth, Texas 76210 (CHarrell@coserv.com), and to Thomas Brocato at Lloyd Gosselink Rochelle & Townsend, P.C., 816 Congress Avenue, Suite 1900, Austin, Texas 78701 (tbrocato@lglawfirm.com).

PASSED AND APPROVED this _____ day of _____, 2021.

Mayor

ATTEST:

Town Secretary

APPROVED AS TO FORM:

Town Attorney

2061/3/8034347



COUNCIL AGENDA BRIEFING SHEET

Meeting Date:

May 17, 2021

Agenda Item:

Consider approval of an ordinance providing for the creation of the Cross Roads Police Department.

Prepared by:

Kristi Gilbert, Interim Town Administrator

Description:

As part of the procedures required to create the Cross Roads Police Department, the Texas Commission on Law Enforcement requires an ordinance establishing the Police Department for the Town, as well as the approved minutes for said action. This will be included in the documentation for our licensing process.

Recommended Action:

Staff recommends approval.

Attachments:

Proposed Ordinance

ORDINANCE NO. _____

AN ORDINANCE OF THE TOWN COUNCIL OF THE TOWN OF CROSS ROADS, TEXAS, AMENDING THE CODE OF ORDINANCES, TOWN OF CROSS ROADS, TEXAS, TO AMEND CHAPTER 5 ("FIRE PREVENTION AND PROTECTION") TO RENAME CHAPTER 5 FROM "FIRE PREVENTION AND PROTECTION" TO "EMERGENCY SERVICES," AND TO CREATE THE CROSS ROADS POLICE DEPARTMENT; PROVIDING FOR THE GENERAL AUTHORITY, DUTIES AND RESPONSIBILITIES OF THE CHIEF OF POLICE AND THE OFFICERS EMPLOYED BY THE DEPARTMENT; PROVIDING A REPEALING CLAUSE; PROVIDING A SEVERABILITY CLAUSE; AND, PROVIDING AN EFFECTIVE DATE.

WHEREAS, the Constitution and laws of the State of Texas authorizes municipalities to provide for a Police Department for the health, safety and welfare of citizens; and

WHEREAS, the Town Council of the Town of Cross Roads, Texas finds and determines that a police force is necessary for the safety and protection of the citizens of the Town and that the creation of a police department is in the best interests of the citizens of the Town of Cross Roads. Now, Therefore

BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF CROSS ROADS, TEXAS:

SECTION 1. That Chapter 5 of the Code of Ordinances, Town of Cross Roads, Texas, be and is hereby amended to rename the title of Chapter 5 from "Fire Prevention and Protection" to "Emergency Services."

SECTION 2. That Chapter 5, "Emergency Services," be and is hereby amended by adding Article 1.01, to be entitled "Fire Prevention and Protection," and Article 1.02, to be entitled "Police Department," to read in their entirety as follows:

"CHAPTER 5

EMERGENCY SERVICES

Article 1.01 FIRE PREVENTION AND PROTECTION

[This article reserved for future expansion]

Article 1.02 Police Department

Sec. 1.02.001. Establishment of Police Department

There is hereby created a Police Department of the Town, the director of which shall be the Chief of Police. The Police Department shall be composed of the Chief of the Police and other officers and employees as the Town Council may provide. It shall be the duty

of the Police Department to enforce the ordinances of the Town and state and federal laws.

Sec. 1.02.002 Chief of Police

(a) The Chief of Police is appointed by the Town Council and serves at will and at the pleasure of the Town Council.

(b) The Chief of the Police shall carry out the functions of the Police Department relating to public safety and enforcement of ordinances and state and federal laws; organize the Police Department of the Town in conformity with the laws of the State and ordinances of the Town; and shall promulgate policies, procedures, rules, directives and orders for the administration of the department, including but not limited to discipline within the department.

Sec. 1.02.003 Police Officers

(a) Police officers of the Police Department possess the powers, duties and authority of peace officers of the State of Texas and have the powers, rights, duties and jurisdiction granted to or imposed on a peace officer by the laws of the State of Texas and such other powers and duties as may be prescribed by the Town Council.

(b) All police officers and personnel of the Police Department shall be bound by the directives, orders, rules, regulations and procedures for the operation of the Police Department as may be promulgated by the Chief of Police, and failure to abide thereby shall be subject to such disciplinary action as may be determined by the Chief of Police within the limits of state and federal law and city ordinance.

(c) No person may be employed or retained by the Police Department as a police officer unless that person has satisfied the basic requirements, completed necessary training, and earned the certifications required for peace officers of the State of Texas.

Sec. 1.02.004 Police Reserve

(a) The Chief of Police may establish a reserve police force composed of personnel who have earned the certifications, satisfied the basic requirements, and completed necessary training required for peace officers of the State of Texas.

(b) Members of the police reserve force serve at the discretion of the Chief of Police and may be called to service at any time deemed necessary by the Chief of Police. Reserve officers shall act in a supplementary capacity to regular police officers and shall not assume full-time duties of regular police officers.

(c) The members of the police reserve force shall operate under the direction of the Chief of Police and shall serve as peace officers during the discharge of official duties. Members shall serve at will, without compensation."

SECTION 3. That all provisions of the ordinances of the Town of Cross Roads, Texas in conflict with the provisions of this Ordinance be, and the same are hereby, repealed, and all

other provisions of the Code of Ordinances of the Town of Cross Roads, Texas not in conflict with the provisions of this ordinance shall remain in full force and effect.

SECTION 4. That should any sentence, paragraph, subdivision, clause, phrase or section of this ordinance be adjudged or held to be unconstitutional, unenforceable or invalid, the same shall not affect the validity of this ordinance as a whole or any part hereof other than the part so decided to be unconstitutional, unenforceable or invalid, and the same shall not affect the validity of the Town's ordinances as a whole.

SECTION 5. That the establishment of the Cross Roads Police Department, and the provisions of this Ordinance, shall be effective on the ____ day of _____, 2021.

PASSED AND APPROVED by the Town Council of the Town of Cross Roads, Texas, on this ____ day of _____, 2021.

APPROVED:

T. Lynn Tompkins, Jr., Mayor

ATTEST:

Donna Butler, Town Secretary

APPROVED AS TO FORM:

David M. Berman, Town Attorney



COUNCIL AGENDA BRIEFING SHEET

Meeting Date:

May 17, 2021

Agenda Item:

Consider a request from Volunteer Enterprises IV, LLC to extend the construction drawings and final replat for Volunteer Enterprises Addition for an additional 180 days.

Prepared by:

Kristi Gilbert, Interim Town Administrator

Description:

Section 10.05.001(g) of the Town's Subdivision state that the construction drawings and final plat shall expire after a period of one (1) year from the approval date, unless substantial construction has been completed, or the subdivider has requested in writing and received an extension of extra time. Extensions may be granted for up to 180 days at a time.

Fiscal Impact:

None

Recommended Action:

Approve the request for an extension of the approval of construction drawings and the final plat for a period of 180 days (November 14, 2021).

Attachments:

Request

Durham & Galindo, PLLC

Attorneys & Counselors at Law
www.durhamgalindo.com

1700 Adams Lane
Azle, Texas 76020

Phone: (817) 533-9641
Facsimile: (817) 719-9298
kdurham@durhamgalindo.com

May 6, 2021

Kristi Gilbert
Interim Town Administrator
Town of Cross Roads
Via E-mail to k.gilbert@crossroadstx.gov

Re: Extension of Plat – Cross Roads Market Square Development

Dear Ms. Gilbert:

According to Section 10.05.001(g) of the Town's ordinances, the current plat for the Cross Roads Market Square Development (the "Development") will expire on May 18, 2021 since substantial construction has not been completed. This letter is submitted on behalf of Volunteer Enterprises IV, LLC (the "Developer") to request an extension of the current plat for one hundred eighty (180) days, as permitted by Section 10.05.001(g).

Construction has not begun on the infrastructure for the Development because of uncertain market conditions due to the COVID-19 pandemic. Additionally, the Developer is awaiting guidance from the Town regarding certain adjustments to the infrastructure that may require a further re-platting of the Development. Since these reasons are outside of the Developer's control, we believe the requested extension to be reasonable and appropriate.

Thank you for your attention to this matter. Feel free to contact me if you should have any questions regarding this request.

Sincerely,

W. Kent Durham

cc: Fred Nichols



COUNCIL AGENDA BRIEFING SHEET

Meeting Date:

May 17, 2021

Agenda Item:

Discuss and consider approval of a preliminary plat application for the Pohlman Addition located within the Town of Cross Roads. (2021-0405-10PPLAT)

Prepared by:

Kristi Gilbert, Interim Town Administrator

Description:

Applicant Peter Pohlman submitted a preliminary plat application for the Pohlman Addition on April 5, 2021 to plat a previously unplatted 5.029-acre tract of land located on Keyes Lane.

Staff performed a technical review of the application on April 21, 2021. Attached is the preliminary plat application and associated documents along with comments from Town Engineer Jason Pool. There are several items still outstanding from a drainage perspective. Setback and right-of-way dedication was addressed in resubmitted documents on May 4, 2021.

Planning and Zoning Recommendation

Staff discussed the drainage related comments from the former Town Engineer and indicated the new engineering firm would review to determine if full engineering documents were necessary. The Planning and Zoning Commission considered the proposed plan at their May 4, 2021 meeting and recommended approval contingent on meeting the requirements of the new engineer.

Recommended Action:

Staff recommends approval of the preliminary preliminary plat contingent on meeting any engineering requirements.

Attachments:

Engineer Comments
Resubmitted Plat (5/4/21)
Plat Application
Plat Documents

R. J. MOSLEY SURVEY,
ABSTRACT NO. 803



beginning at the northeast corner of the Harris described premises, a mag nail—set in Keyes Lane for the northwest corner of said Tract 2, said corner being the structural corner of a tract, said to contain 5,004 acres as described under the caption "TRACT 1" in elsewhere cited in Father Dominic's Petition; with Keyes Road and the east line of said Tract 2, about 22 degrees 45 minutes 49 seconds west 150.20 feet to point and south 30 degrees 23 minutes 04 seconds west 363.5 feet to the southeast corner of said Tract.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS

- 1) The streets and alleys are dedicated for street and alley purposes.
- 2) All public improvements and dedications shall be firm and clear of all debris, snow, or encroachments.
- 3) The easement and public use areas, as shown for the public use, shall be properly dedicated to the public.
- 4) No buildings, structures, or improvements or grades shall be constructed or placed upon, or at across the easements or alleys, except that landscape improvements may be placed in landscape statements if approved by the town of Cross Roads.

[illegible]

Before make unknown Military Public in and for said County and State, on this day of personally appear PETER DOMINIC PORTMAN known to me to be the person whose name is subscribed to the foregoing Affidavit and acknowledged to me that he executed same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN under my hand and seal of office

This _____ day of _____ 2021.

This _____ day of _____, 2021.

That I, James E. Smith II, a Registered Professional Land Surveyor in the State of Texas, do hereby certify that I prepared this plat from an accurate on the ground survey of the premises depicted hereon and that I ran down all the corners hereon were placed under my personal supervision in accordance with the ordinances of the Town of Cross Roads, Texas.

for review only

JAMES E. SMITH JR.
Registered Professional Land Surveyor No. 37000

STATE OF TEXAS
COUNTY OF DENTON

Before me, the undersigned Notary Public in and for said County and State, on this day did personally appear James E. Smith known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed same for the purposes and considerations therein expressed and in the capacity therein stated.

Given under my hand and seal of office

this day of _____, 2021

NOTES

1) FLOOD INFORMATION: The property shown herein is not situated in a designated special flood hazard area per FEMA Map No. 48121CD450, dated 4/18/2012.

area per Field Map No. 48121C06150, dated 4/18/2011

2) **Basis of Bearings:** State Plane Coordinate System North Central Zone, NAD'83.

North Central Zone, MAD-23.

of time that does not involve in any pressing cases, codes, covenants or restrictions.

of time that does not involve in any pressing cases codes, covenants or restrictions.

4) FLOOD INDEMNITY: the property owner must be situated within the "non-shaded zone X" defined

chance floodplain" per FEMA Map No. 48121C0385G dated 04/18/2017.

UTILITY PROVIDERS
ELECTRIC: COSERV
WATER: Private We
SANITATION: Onsite

[illegible]

APPROVED AND ACCEPTED

Mayer, Town of Cross Roads, Texas

The undersigned, The City Secretary of the Town of Cross Roads, Texas, hereby certify that the foregoing Plot of Lot 1, Block A, Posthorn Addition, an addition to the Cross Roads, Texas, was submitted to the City Council on the _____ day of _____, 2021, and the Council, by formal action, then and there, approved the dedication of streets, utilities, easements, and drainage easements, and set forth in and on said Plot, then said Council further authorized the Mayor, the acceptance thereof by signing his name as herein above subscribed.

Attest this _____ day of _____, 2021.

City Secretary, Town of Cross Roads, Texas

**PRELIMINARY PLAT
POHLMAN ADDITION**

Being 5.028 Acres in the
R.J. MOSLEY SURVEY, ABSTRACT NO. 803
TOWN OF CROSS ROADS,
DENTON COUNTY, TEXAS

From: Jason Pool j.pool@crossroadstx.gov
Subject: Pohlman Preliminary Plat, 2021-045-10PPlat
Date: April 21, 2021 at 10:20 PM
To: Kristi Gilbert k.gilbert@crossroadstx.gov, Donna Butler d.butler@crossroadstx.gov, Rodney Patterson r.patterson@crossroadstx.gov



The paper submission did not include any preliminary civil paving, utility, or drainage plans. A complete review is not possible without preliminary civil and drainage engineering plans. When the engineering portion of the submission is provided, additional comments should be expected. Based on the condition of the submission, without any additional engineering information provided, I have to recommend denial of this preliminary plat.

Comments on the single survey sheet are below, ordinance in black, **my response in red:**

Sec. 10.03.003 (b) Prior to filing a preliminary plat and application for approval, the subdivider shall submit the preliminary plat to all relevant utility providers for review. The written comments of the utility providers shall be included with the application and preliminary plat.... **No support documentation has been submitted showing communication with utility providers.**

Sec. 10.03.006 **The plat is labeled as a minor plat. Cross Roads ordinance treats minor plat the same as non minor plats. This is actually a preliminary plat.**

Sec. 10.04.002 (3) Existing sewer mains, water mains, drainage culverts, or other underground structures within the tract and within two hundred feet (200') with pipe sizes and grades: **Not shown. Engineering plans not submitted.**

Sec. 10.04.002 (6) Permanent structures and uses within the subdivision including location of any houses, barns, wells, tanks, and other significant features; **Not shown.**

Sec. 10.04.002 (7) The exact location, dimension, description, and flow line of existing drainage structures and the location flow line and floodplain of existing watercourses within the subdivision. The 100-year flood line source information will be referenced. **Not shown. Engineering plans not submitted.**

Sec. 10.04.002 (8) Utilities on the tract with notations of line sizes, including the identification of transmission line. **Not shown. Engineering plans not submitted.**

Sec. 10.04.002 (9) Any other conditions adjacent to the tract affecting the design of the subdivision including such information as may be available from field observation, aerial photographs and available maps. **Not shown. Engineering plans not submitted.**

Sec. 10.04.003 (3) The names and addresses of the subdivider and of the engineer, surveyor, or planner. **No engineer contact provided.**

Sec. 10.04.003 (6) The layout, names, and width of proposed streets, alleys, and easements. **No internal streets appear to be proposed.**

Sec. 10.04.003 (7) The layout, numbers, setback lines, and dimensions of proposed lots, blocks, parks, etc. **No side or rear yard setbacks shown. Front set back is shown as 30 ft instead of the required 50 ft. ROW dedication on Keys is shown as 30 ft from centerline instead of 45 ft from centerline of pavement.**

Sec. 10.04.003 (11) Any proposed changes in topography shown by contour lines on a basis of two feet (2') vertical in terrain with a slope of two (2) percent or more, and on a basis of two (2') feet vertical interval in terrain with a slope of less than five percent (5%) (public agency source of datum shall be specific on the plan). **None shown.**

Sec. 10.04.003 (14) Proposed zoning and boundaries of new zoning districts. **None shown.**

Sec. 10.04.003 (15) Front building setback lines on all lots and tracts together with side yard

building setback lines at street intersections and crosswalks. No side or rear yard setbacks shown. Front set back is shown as 30 ft instead of the required 50 ft.

Sec. 10.04.003 (16) A copy of all existing protective covenants regulating the use of the land or the construction of improvements shall be submitted with the preliminary plat. None submitted.

Sec. 10.04.003 (17) A layout and plan indicating compliance with and understanding of the town's tree preservation ordinance, codified in chapter 3, article 3.08 of this code. Not shown.

Sec. 10.04.004 A plan for the perpetual maintenance of roads associated with the proposed subdivision shall be included on the preliminary plat. Not shown.

Sec. 10.04.005 A plan of the proposed water and sanitary sewer mains and proposed drainage facilities, including drainage areas, location of lines, inlets, culverts, bridges, and calculated run-off and points of concentration shall be submitted with the preliminary plat. Not shown. Engineering plans not submitted.

Sec. 10.04.007 Typical cross-sections of proposed streets showing the width of pavement, type of pavement, and location and width of sidewalks shall be submitted with the preliminary plat. Not shown. Engineering plans not submitted.

Sec. 10.04.008 Approval block. The following notice shall be placed on the face of each preliminary plat by the subdivider:

“Preliminary Plat for Review Purposes Only”

The following certificates shall be placed on the preliminary plat by the subdivider:

Recommended for Approval

Chairperson, Planning and Zoning Commission Date

Town of Cross Roads, Texas

Approved For Preparation of Final Plat

Mayor, Town of Cross Roads Date

Sec. 10.07.002 and 3 Abutting streets and drainage. Adjacent street and drainage facilities are below current specifications. Developer responsibility will need to be assessed based on the projects proportional impact on the road.

Sec. 10.07.004 (7) Utility easements shall be at least ten (10) feet wide on each side of the road, shall not lie within the street right-of-way, and no primary utilities will be located within the street right-of-way. 10 ft utility easements are shown along the incorrect ROW dedication width. MSUD may require dedicated easements for their facilities.

Sec. 10.07.004 (13) Residential lots shall not face major thoroughfares. Driveways or alley pavement cuts shall not be permitted on major thoroughfares. Alleys may be provided along side and/or rear lot lines on major thoroughfares for rear entrance. Lot is proposed to front on collector road.

Sec. 10.07.006 (a) Every drainage improvement intended to convey water from or along a road shall be designed and constructed to required specifications as delineated in the current county subdivision rules and regulations, section VIII, engineering plans. References to centralized road

and bridge shall, for the purposes of the town, mean either the town engineer or quality control agent as determined by the planning and zoning commission. **Not shown. Engineering plans not submitted.**

Sec. 10.07.006 (b) In all cases, perimeter drainage engineering plans for the subdivision or total development (project) shall be required with the preliminary plat. Where a subdivision will have interior roads or ingress/egress easements, the developer will be responsible for perimeter drainage improvements to the existing and adjacent town roads. **Not shown. Engineering plans not submitted.**

Sec. 10.07.006 (c) Complete engineering plans for storm drainage facilities shall be prepared, signed and sealed by an Engineer. **Not shown. Engineering plans not submitted.**

Sec. 10.07.006 (d) All drainage plans shall contain adequate provisions for drainage and shall provide no greater risk, hazard, or damage potential, in speed or volume, from rainfall and stormwater runoff than existing prior to development. **Not shown. Engineering plans not submitted.**

Sec. 10.07.006 (e) An erosion and sedimentation control plan may be required by the commission and/or the town council to provide for adequate protection from erosion and sedimentation nuisances that may occur as a result of the construction of the development or subdivision. **Not shown. Engineering plans not submitted.**

Let me know if you have any questions.

Jason Pool, P.E.
Tx Lic #92623, Tx Firm #11096
TCEQ #OS0033361 DR
214-850-7129 [cell]
J.Pool@CrossRoadsTx.gov

TOWN OF CROSS ROADS
PLATTING APPLICATION



DATE: 04-05-2021

APPLICATION # 2021-0405-10PPLAT

PROJECT: new home

Completed applications will be considered received on
the due date specified on the yearly Submission Schedule.
PLEASE VERIFY MEETING DATES.

TYPE OF PLAT

Preliminary
Final



Replat ☐

Administrative/Amending ☐

PLEASE SPECIFY THE PRIMARY CONTACT

Land Owner Name

PETER POHLMAN

Signature

Applicant Name

Signature

Project Contact Mailing Address

1301 KEYES LN., CROSS ROADS, TX. 76227

Project Contact Phone

469-767-2753

Email

peter.pohlman@gmail.com

Proposed Project Name

POHLMAN ADD

Location

Lot/Block

LOT 1, BLK A

Abstract

A-803

DCAD ID

38428

Number of Lots Created

1

SUBMISSION DOCUMENTS

Fee

Map

Site Plan (Commercial)

Legal Description

List of Neighbors

Stamped/Addressed

Envelopes

Drawings (4 full, 2 half)

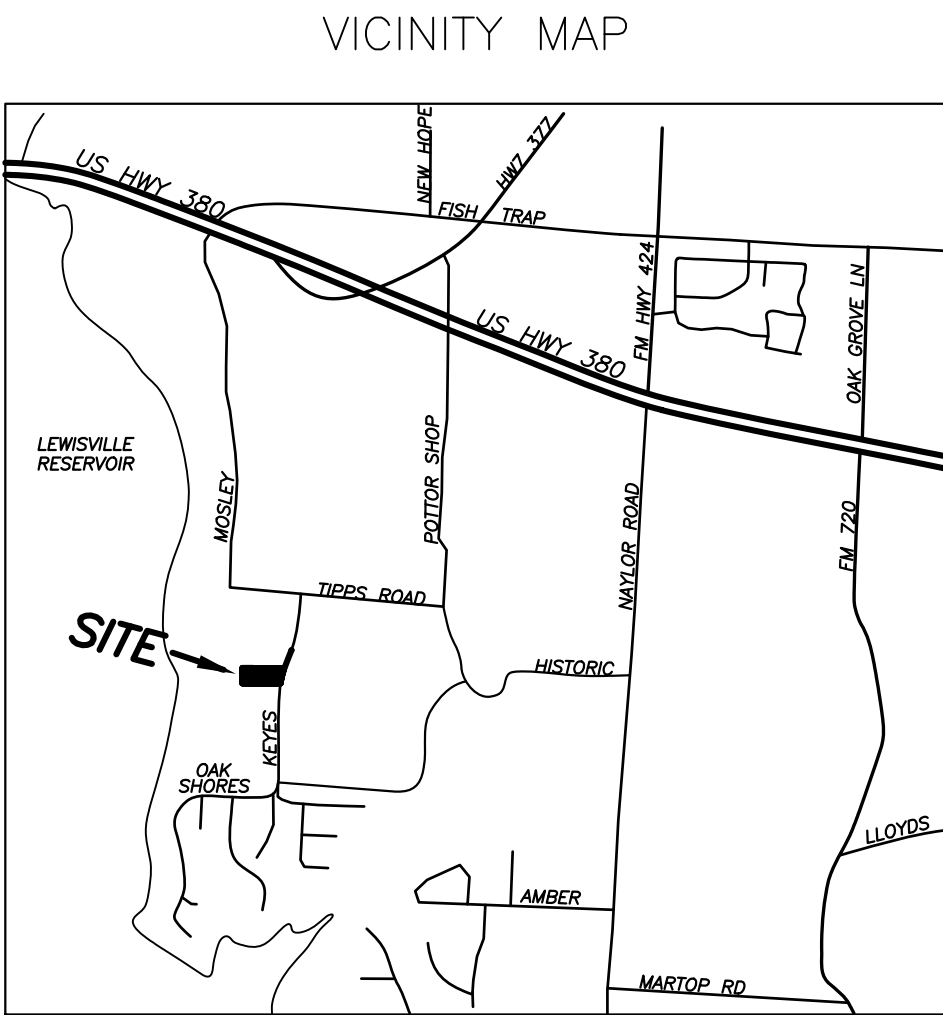
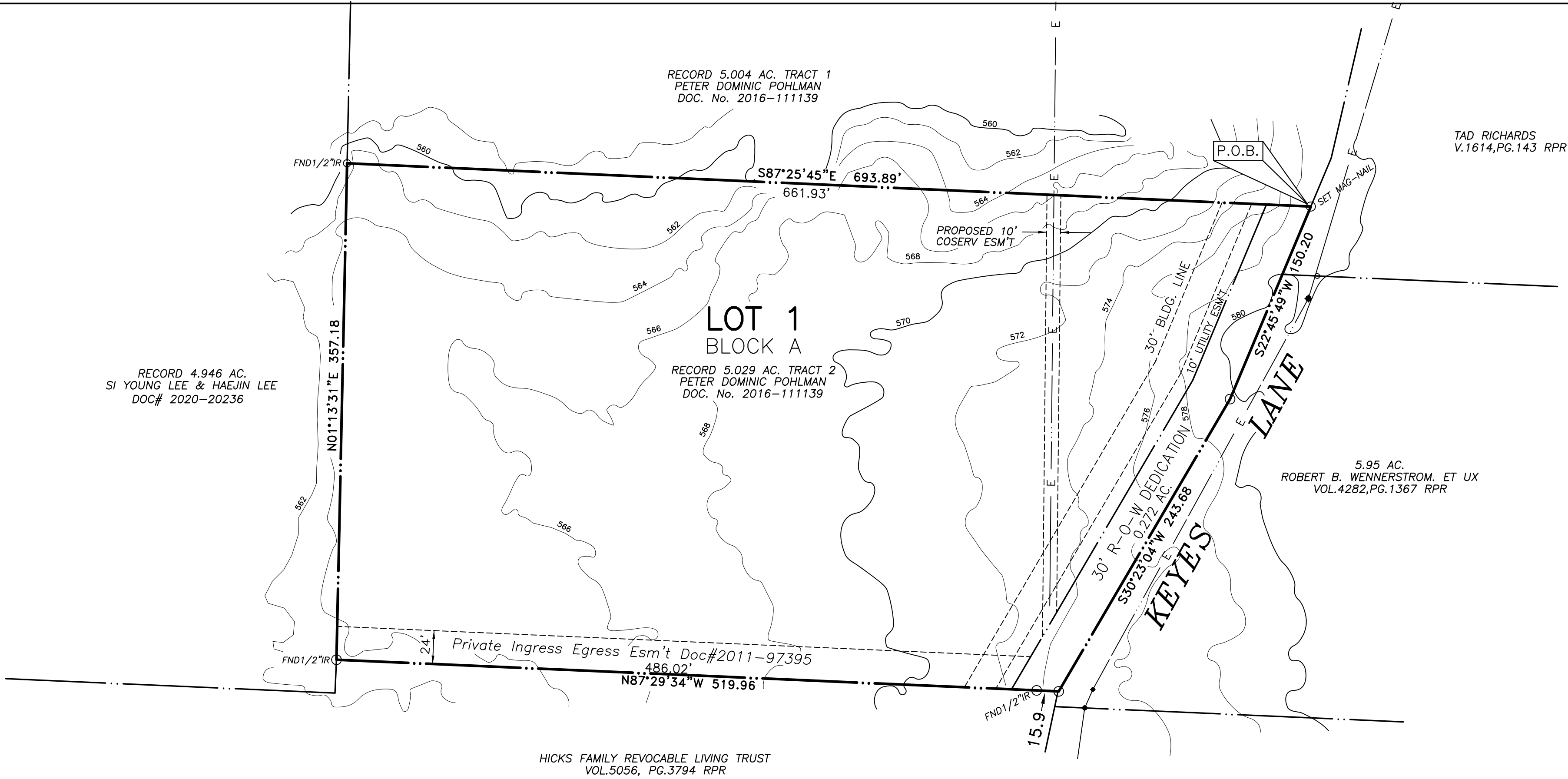
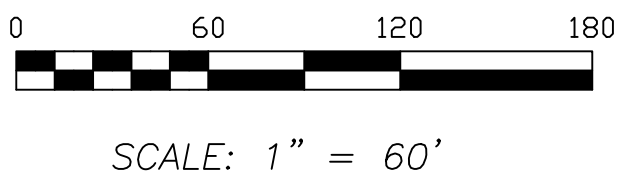
OTHER (Specify)

APPLICATION EXPLANATION

Explanation and Description of Request or Project

Before submitting an application, the applicant should consult with the Town Administrator to discuss the feasibility of the request and any additional requirements.

TOWN OF
CROSS ROADS,
DENTON COUNTY
TEXAS
R. J. MOSLEY SURVEY,
ABSTRACT NO. 803



WHEREAS, PETER DOMINIC POHLMAN is the owner of that certain tract or parcel of land lying and being situated in Denton County, Texas, a part of the R.J. MOSLEY SURVEY, ABSTRACT NO. 803, and being and including all that certain tract said to contain 5.029 acres as described under the caption "TRACT 2" in a deed to Peter Dominic Pohlman recorded under Clerk's Document No. 2016-111139, Real Property Records, Denton County, said tract or parcel of land is herein described as follows; to wit:

BEGINNING at the northeast corner of the herein described premises, a mag nail-set in Keyes Lane for the northeast corner of said Tract 2, said corner being the southeast corner of a tract said to contain 5.004 acres as described under the caption "TRACT 1" in aforesaid deed to Peter Dominic Pohlman; THENCE with Keyes Road and the east line of said Tract 2, south 22 degrees 45 minutes 49 seconds west 150.20 feet to a point and south 30 degrees 23 minutes 04 seconds west 243.68 feet to the southeast corner of said tract, THENCE north 87 degrees 29 minutes 34 seconds west at 15.90 feet passing an one-half inch iron rod found and in all 519.96 feet to a 3/8 inch iron rod found on the east line of a record 4.946 acre tract (as described in the deed recorded under Clerk's Document No. 2020-20236, Real Property Records, Denton County) at the southwest corner of said Tract 2; THENCE north 01 degree 13 minutes 31 seconds east 357.18 feet to an one-half inch iron rod found at the northwest corner of said Tract 2, said corner being the southwest corner of said Tract 1; THENCE south 87 degrees 25 minutes 45 seconds east a distance of 693.89 feet to the Place of BEGINNING and containing 5.026 acres of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS: THAT I, PETER DOMINIC POHLMAN, do hereby certify and adopt this plat designating the herein above described property as the POHLMAN ADDITION, an addition to the Town of Cross Roads, Denton County, Texas, and do hereby dedicate to the public use forever the streets and alleys shown thereon. Peter Dominic Pohlman does hereby certify the following:

- 1) The streets and alleys are dedicated for street and alley purposes.
- 2) All public improvements and dedications shall be free and clear of all debt, liens, and/or encumbrances.
- 3) The easement and public use areas, as shown, are dedicated for the public use forever for the purposes indicated on this plat.
- 4) No buildings, fences, trees, shrubs or other improvements or growths shall be constructed or placed upon, over or across the easements as shown, except that landscape improvements may be placed in landscape easements if approved by the Town of Cross Roads.
- 5) The Town of Cross Roads is not responsible for replacing any improvements in, under, or over any easements caused by maintenance or repair.
- 6) Utility easements may also be used for the mutual use and accommodation of all public utilities designed to use or using the same unless the easement limits the use to particular utilities, said use by public utilities being subordinate to the Public's and Town's use thereof.
- 7) The Town of Cross Roads and public utilities shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in the easements.
- 8) The Town of Cross Roads and public utilities shall at all times have the full right of ingress and egress to or from their respective easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, reading meters, and adding to or removing all or parts of their respective systems without the necessity at any time procuring permission from anyone.
- 9) All modifications to this document shall be means of plat and approved by the Town of Cross Roads.

WITNESS OUR HAND THIS _____ DAY OF _____, 2021.

PETER DOMINIC POHLMAN: Owner

STATE OF TEXAS }
COUNTY OF DENTON }

Before me, the undersigned Notary Public in and for said County and State, on this day did personally appear PETER DOMINIC POHLMAN known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed same the purpose and considerations therein expressed and in the capacity therein stated.

Given under my hand and seal of office

this _____ day of _____, 2021.

SURVEYOR'S CERTIFICATE

That I, James E. Smith II, a Registered Professional Land Surveyor in the State of Texas, do hereby certify that I prepared this plat from an accurate on the ground survey of the premises depicted hereon and that iron rods shown hereon were placed under my personal supervision in accordance with the ordinances of the Town of Cross Roads, Texas.

for review only

JAMES E. SMITH II
Registered Professional Land Surveyor No. 3700

STATE OF TEXAS }
COUNTY OF DENTON }

Before me, the undersigned Notary Public in and for said County and State, on this day did personally appear James E. Smith II known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed same the purpose and considerations therein expressed and in the capacity therein stated.

Given under my hand and seal of office

this _____ day of _____, 2021.

NOTES:

- 1) FLOOD INFORMATION: The property shown herein is not situated in a designated special flood hazard area per FEMA Map No. 48121C0415G, dated 4/18/2011.
- 2) Basis of Bearings: State Plane Coordinate System North Central Zone, NAD'83.
- 3) This Plat does not remove or alter existing deed codes, covenants or restrictions.
- 4) FLOOD INFORMATION: The property shown hereon is situated within the "non-shaded zone X" defined as "areas determined to be outside the 0.2% annual chance floodplain" per FEMA Map No. 48121C0385G dated 04/18/2011.

UTILITY PROVIDERS:
ELECTRIC: COSERV
WATER: Private Well
SANITATION: Onsite

APPROVED AND ACCEPTED:

Mayor, Town of Cross Roads, Texas

The undersigned, The City Secretary of the Town of Cross Roads, Texas, hereby certifies that the foregoing Plat of Lot 1, Block A, Pohlman Addition, an addition to the Town of Cross Roads, Texas, was submitted to the City Council on the _____ day of _____, 2021, and the Council by formal actions, then and there accepted the dedication of streets, utilities, easements, and drainage easements as shown and set forth in and on said Plat, then said Council further authorized the Mayor to note the acceptance thereof by signing his name as herein above subscribed.

Attest this _____ day of _____, 2021.

City Secretary, Town of Cross Roads, Texas

MINOR PLAT
POHLMAN ADDITION
Being 5.026 Acres in the
R.J. MOSLEY SURVEY, ABSTRACT NO. 803
TOWN OF CROSS ROADS,
DENTON COUNTY, TEXAS
1 Lot & Right-of-Way Dedication

OWNERS:
Peter Dominic Pohlman
1301 Keyes Lane
Cross Roads, Texas 76227
(469) 767-2753

SURVEYOR: J.E. SMITH
Texas Licensed Surveying Firm 101060-00
5269 Highway 377 South
AUBREY, TEXAS 76227
(940) 365-9289
jesmith@jesmithsurvey.com